

# Allen Matkins

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February 5, 2025

Board of Recreation and Park Commissioners  
Los Angeles City Recreation and Parks  
Department  
[rap.commissioners@lacity.org](mailto:rap.commissioners@lacity.org)

Honorable Board of Recreation and Park Commissioners:

This firm represents La Cienega Owner LLC (“**Owner**”), owner of the property located at 3401 S. La Cienega Blvd. (“**Property**”). We are writing to you on behalf of Owner seeking your assistance regarding Owner’s Recreation and Parks (“**RAP**”) fee credit application. ***For the reasons set forth in this letter, we hereby formally request that you place Owner’s fee credit application on the Commission’s February 20, 2025 agenda for a public hearing so that we may present our fee credit application to you for decision.***

In June 2022, the City approved Owner’s entitlements to redevelop the Property with the mixed-use “Habitat” project, consisting of 260 residential units (including 22 units affordable to very-low income households and 7 units affordable to workforce housing households), 228,000 sf of office, 3,000 sf of ground floor retail, and a spacious ground floor plaza and open space area abutting and connecting directly to the Metro E Line La Cienega/Jefferson station. Project construction commenced in June 2023, and Owner anticipates being ready for temporary certificates of occupancy in December 2025. Owner began the process in April 2023 of applying for a fee credit from the RAP fee to account for the additional ***33,859 sf of ground floor open space*** that Owner voluntarily set aside to distinguish Habitat as a truly pedestrian and transit oriented urban village. Owner has worked in good faith with RAP staff since that time to address numerous rounds of comments regarding the fee credit submission. Then, in a sudden about-face, RAP staff wrote in a letter dated October 31, 2024 that they would not recommend the fee credit proposal move forward and that they would not recommend Owner receive any RAP fee credit. In that letter, RAP staff cited criteria contrary to the City’s fee credit ordinance and implementation policies, including RAP’s Fee Credit Policy just adopted in Fall of 2023, and took a position that was wholly inconsistent with RAP staff’s treatment of Owner’s proposal up until that date, as well as with past fee credit applications at other properties.

Owner’s fee credit proposal conforms to the City’s fee credit ordinance and implementation policies. We strongly believe that Owner’s proposal will be of great benefit to the West Adams and transit ridership communities and, as required by the fee credit ordinance, the array of active and passive amenities will alleviate the project residents’ need for additional recreational facilities.

Board of Recreation and Park Commissioners  
February 5, 2025  
Page 2

Notwithstanding RAP staff's October 31, 2024 letter, Owner requested that RAP staff schedule our proposal for a hearing before the Board of RAP Commissioners (Commission) so that we could present our proposal to the Board for a final decision. RAP staff stated on January 16, 2025 that they would not schedule our fee credit proposal for a hearing and instructed Owner to reach out to the Board of Recreation and Park Commissioners directly to formally request a public hearing on Owner's fee credit proposal.

*Accordingly, we hereby formally request that you place our fee credit application on the Board's February 20, 2025 agenda for a public hearing so that we may present our fee credit application to you for decision.* The fee credit submission on which we request the Board to take action is the October 7, 2024 submission attached to this letter as Attachment 1, which is the most recent fee credit proposal that Owner submitted to RAP staff and which incorporates all of RAP staff's comments to date. Please confirm Owner's fee credit application will be placed on that agenda. If we do not receive confirmation from you that this application will be set for a hearing, we plan to attend the February 20, 2025 meeting to speak during general public comment on this topic.

For your background information, we attach the following materials:

- (1) **Attachment 1** – The most recent version of our fee credit proposal, which Owner submitted to RAP staff on October 7, 2024, and which is also the submission on which we would like the Board to render a decision. This proposal incorporates all comments received from RAP staff prior to the issuance of their letter dated October 31, 2024.
- (2) **Attachment 2** – RAP staff's letter to Owner dated October 31, 2024 stating that they did not recommend that our application move forward.
- (3) **Attachment 3** – A letter that this firm wrote to the Mayor's Office and Council District 10 on November 20, 2024 to discuss the fee credit, which provides the background and timeline of our application process with RAP staff.

We look forward to presenting the fee credit proposal for Habitat to you.

Regards,



Margaret R. Akerblom

MRA:sah



Sent via Email: jimmy.kim@lacity.org

October 7, 2024

Jimmy Kim  
General Manager  
Los Angeles Department of Recreation and Parks  
221 N. Figueroa Street, Suite 400  
Los Angeles, CA 90012

**RE: PARK FEE RECREATION CREDIT RE-SUBMISSION FOR VTT-83350-CN LOCATED AT 3401 LA CIENEGA BOULEVARD IN RESPONSE TO LETTER RECEIVED FROM THE LOS ANGELES DEPARTMENT OF RECREATION AND PARKS DATED MAY 13, 2024**

Dear Mr. Kim,

We are the developer of Habitat, located at 3401 S La Cienega, and acknowledge the letter received from the Los Angeles Department of Recreation and Parks ("RAP") dated May 13, 2024 in regards to our most recent Recreation Credits Application submission which was sent to RAP via email on April 22, 2024. Enclosed herewith we are pleased to submit a revised Recreation Credits submission including updated exhibits and estimates which address the comments received from RAP ("Revised Submission"). The foregoing letter provides RAP with further background and narrative specific to each comment received from RAP to assist in its review.

Habitat is a transit-oriented, live-work-thrive destination situated on 3.5 acres at 3401 S. La Cienega Blvd in Los Angeles located directly adjacent to the La Cienega/Jefferson Metro station. Designed by SHoP Architects (Design Architect) and RELM Studio (Landscape Architect), the all-electric development will feature 260 rental units (including 22 affordable units at the Very Low Income level as well as 7 units of Workforce Housing), commercial space, and an acre of open space designed to resemble a neighborhood park. Scheduled for completion in early 2026, Habitat is a sustainable project that will achieve LEED Platinum for commercial, LEED Gold for residential as well as Fitwel certifications.



**Public Recreation Credit Area (Pedestrian View)**

The heart of the Public Recreation Credit Area includes a walking and jogging path, landscaped open space with chaise seating lounge areas, terraced seating, open grass areas, and connecting to a games areas with ping pong tables for the public to enjoy.



**Public Recreation Credit Area (Aerial View)**

The generous open space comprising the Public Recreation Credit Area extends across the site including additional landscaped open space with seating, tables and other landscape features such as boulders and timber walls providing the community with a first-class environment to pause, relax and enjoy the surrounding nature.



**Public Recreation Credit Area (Cyclist View)**

Located adjacent to the LA Metro shared-use bike path, the Public Recreation Area provides a safe and natural walking and jogging path extending across the length of the site from La Cienega at the eastern edge to the western edge. Moments of pause for pedestrians, places for cyclists to rest and refill their tires, and an abundance of native landscaping provides an enhanced experience for Los Angeles residents from across the region.



**Public Recreation Credit Area (Aerial View)**

Highly visible and accessible to Metro Rail E Line riders, the Public Recreation Credit Area will serve to enhance the urban experience providing space to exercise while walking or jogging, resting at the many seating areas, and cooling off under shade provided by trees and the adjacent buildings.

### **RAP Recreation Credit Policy:**

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Applicant submitted an application for Vesting Tentative Tract Map VTT-83550 for Habitat on September 14, 2021, and that application was deemed complete on January 7, 2022 and therefore vested on that date. Applicant submitted its application for the Recreation Credit on August 10, 2023. Therefore, the standards that RAP can apply to this application for a Park Fee Recreation Credit are the written standards in effect on January 7, 2022, which consisted of LAMC § 12.33 and Recreation Credit Exhibit Instructions PF-3002-1 [revised 11.28.2017]. The current RAP Credit Policy was not adopted until October 19, 2023. Because it was adopted after Habitat's entitlements vested, as well as after Applicant applied for the Recreation Credit, the current RAP Credit Policy does not apply to this application. Nonetheless, Applicant has carefully reviewed each comment in RAP's comment letter dated May 13, 2024 and has, in good faith, attempted to implement as many of RAP's comments from the current RAP Credit Policy as are feasible.

### **Applicant response to RAP's May 13, 2024 comments regarding the April 22, 2024 submission:**

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#### **Open Space Exhibits:**

- The open space exhibits that detailed the required and excess open space areas provided in the Publicly Accessible and Privately Accessible exhibits do not match the Department of Building and Safety (LADBS) approved open space plan. If the open space on the LADBS approved open space plan is identified as part of the code required open space, then it is not eligible for credit. For example, this means that a portion of the ground floor plaza on the west side of the property (as shown on "Sheet 08" of the Publicly Accessible exhibits) and the outdoor space on the second level are not eligible for credit.

**Applicant Response:** *The Revised Submission is in conformance with the approved LADBS open space plan. The prior submission did not conform to the currently approved LADBS open space plan because the applicant had made revisions to the open space plan in an attempt to address RAP's previous comments and had planned to subsequently seek LADBS approval for the revised open space plan. Applicant held off seeking that LADBS approval until receiving confirmation from RAP that staff would support the recreation credit proposal. However, to simplify the process, this Revised Submission reverts back to the LADBS open space plan.*

- The amount of open space identified in the April 2024 submission is much higher than the previous Recreation Credit submission and it is unclear why areas not previously identified as Publicly Accessible and Privately Accessible space are identified as such in this submission.

**Applicant Response:** *As outlined above, the applicant was attempting to address RAP staff comments from a prior submission by reallocating code required open space and Recreation Credit Areas as well as identify areas not previously included within either. Nevertheless, the amount of open space identified in the Revised Submission aligns with*



*the approved LADBS open space plan and the Recreation Credit area is within that of the pre-April 2024 Recreation Credit submission.*

- There is lack of coherence in the areas identified for publicly accessible credit. Areas identified for recreation credit should have clear and visible boundaries (on the plans and in reality) to ensure future enforcement of the areas is possible.

***Applicant Response:*** *Please refer to the detailed exhibits in the Revised Submission. The amenities which are included in the publicly accessible recreation credit areas have been labelled and identified as either active or passive on Sheet 05 for clarity and ease of reference. While not included within the Recreation Credit areas, there are no fences or boundaries that separate the remaining open space at the ground level (aside from the dog area which is part of the LADBS open space area) providing visitors with additional access to the Metro shared use bike path and an open sports area at the northwest corner of the site with additional landscaping and seating areas. The walking and jogging path will be clearly identified with signage and markings on the pathway itself but the overall outdoor ground level area will function and flow as a seamless experience.*

- The onus is on the applicant to ensure that the exhibits are clear and legible and match the open space plan approved by LADBS. Any submission of recreation credit exhibits shall include a copy of the LADBS approved open space plan.

***Applicant Response:*** *The LADBS approved open space plan is included in the Revised Submission.*

#### **Privately Accessible spaces:**

- RAP will not grant credit for the community room and gym area (as shown on “Sheet 04” on the Privately Accessible exhibits) as the community room does not have a mix of active and passive amenities and therefore does not meet the overall requirements of the adopted Recreation Credit Policy. Additionally, the gym area does not have any fixed or permanent equipment, which is a requirement per the Recreation Credit Policy.

***Applicant Response:*** *The private recreation credit area in the Revised Submission includes both active (Yoga Room, Gym/Fitness Room) and passive (Community Room and Kitchen/Lounge Area) amenities. The Gym/Fitness room will provide a variety of equipment types including some of which will be affixed. The Yoga Room will include equipment and space for activities such as yoga and meditation. The Community Room and attached Kitchen/Lounge area provide a gathering place for residents looking to get out of their apartment and enjoy time with friends, play board games, arts and crafts, as well as to host meetings and events. All of these amenities are listed as eligible for credit per the applicable Recreation Credit Exhibit Instructions PF – 3002-I [revised 11.28.2017] provided by RAP staff. The RAP Board has previously approved privately-accessible recreation credit for community rooms within development projects. Specifically, [Council File No. 19-0023-](#)*

*S1 contains the [RAP Board Report dated September 16, 2022](#) (“Board Report”), detailing the approval of privately-accessible recreation credit for VTT-82227-CN, located at 942 N. Broadway. Page 5 of the Board Report describes the “3,151 s.f.” community room and how the proposed areas meet the requirements per LAMC 12.32 H.2. to receive RAP credit. Relevant excerpts from the Board Report are attached for reference including the exhibit and estimate sheets.*

*Furthermore, we have observed that recreation centers found in a variety of Los Angeles parks include gym areas and community rooms which we agree are essential amenities to support the health and wellbeing of the public as they provide opportunities for fitness and social engagement outside of the home. The existing City of Los Angeles [Public Recreation Plan](#) (part of the Service Systems Element of the General Plan) details the standards, policies, and programs for new park development in the City. Multiple policies identify the need to include community buildings as part of park development in the City of LA. These policies were re-affirmed in a [2016 Resolution](#) accompanying the adoption of the RAP Credit Program.*

**Publicly Accessible space:**

- RAP will not grant credit for the walking/jogging path that extends on the south, east and west sides of the building. Based on the submission, those areas appear to just be a minor extension of the side walk and not part of walking/jogging path along La Cienega Boulevard. A dedicated walking/jogging path should be clearly delineated from pedestrian path or sidewalk and should not create conflict with cyclists. Additionally, the proposed configuration of the path is not optimal as it would encourage residents and the public to jog along the south side of the building where the most vehicular traffic and driveways are located.

***Applicant Response:*** *The walking/jogging path that extends on the south, east and west sides of the building has been removed in the Revised Submission.*

- The combination of active and passive amenities needs substantial revision in order to meet the intent of the Recreation Credit Policy. RAP recommends the addition of active amenities, useable grass or synthetic turf, and permanent shade canopies or structures, which are detailed in the Recreation Credit Policy.

***Applicant Response:*** *All of the active and passive amenities have been identified in the Revised Submission and are delineated and labeled accordingly. These amenities include useable grass, shade provided by an abundance of trees, games areas including ping pong tables, a walking jogging path, seating areas, and both hard and soft landscaping elements.*

### **Raised Planters / Inaccessible Landscaping:**

- Per the Recreation Credit Policy, raised planters or inaccessible landscaping not meant for recreational use shall not be more than 25% of the Area. In order to be able to review this submission, RAP would need a calculation confirming the percentage of raised planters or inaccessible landscaping in relation to the rest of the ground floor plaza. Any future submission shall provide a site plan identifying the raised planters or inaccessible landscaping with a calculation of the accessible and inaccessible areas.

**Applicant Response:** *The areas of raised planters and inaccessible landscaping are identified in the Revised Submission along with a calculation confirming the percentage of same.*

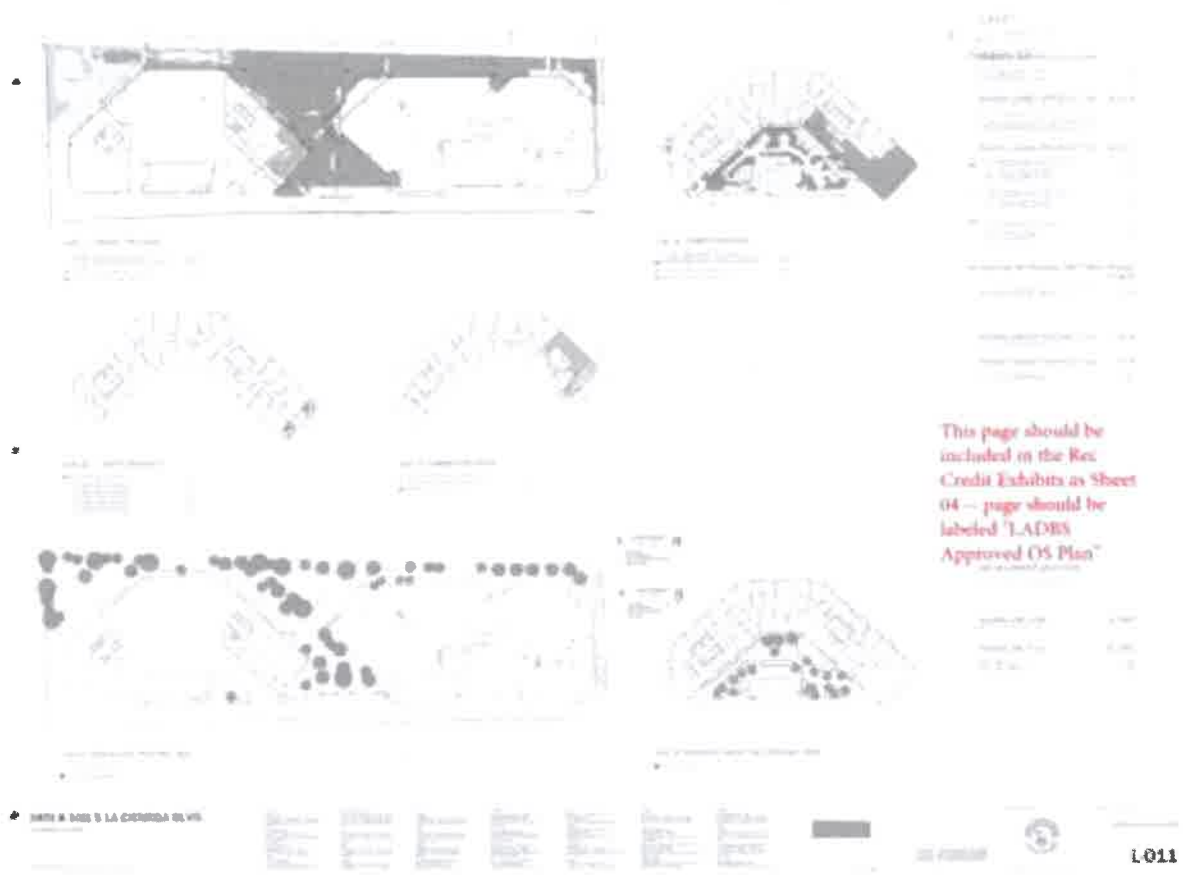
- As currently proposed, the areas requesting Recreation Credit do not meet the requirements of the Recreation Credit Policy and do not resemble green, neighborhood parks. These areas would likely not reduce the impact to the existing park system

**Applicant Response:** *The proposed Recreation Credit areas in the Revised Submission provide a variety of active and passive amenities commonly found within the existing park system and will enhance and complement the recreational offering available to Los Angeles residents. RAP maintains and operates a wide range of recreational facilities throughout the City of Los Angeles, including parks, child care centers, public pools, historical sites, senior citizen centers, recreation centers, and community centers. Among these many sites, there are numerous examples of community room / community center type facilities offering arts & crafts, hobbies and games, computer labs, space for classes, meetings, or conferences, ballrooms, banquet halls, etc. Such facilities include the [Cypress Park Club House](#), the [Devonshire House](#), the [Ramona Hall Community Center](#), and the [South Seas House](#). As such, it is clear that the type of facilities and amenities proposed in the Revised Submission resemble uses and community facilities common among RAP's various facilities. Further, a central goal of the West Adams – Baldwin Hills – Leimert Community Plan ("Community Plan") is to:*

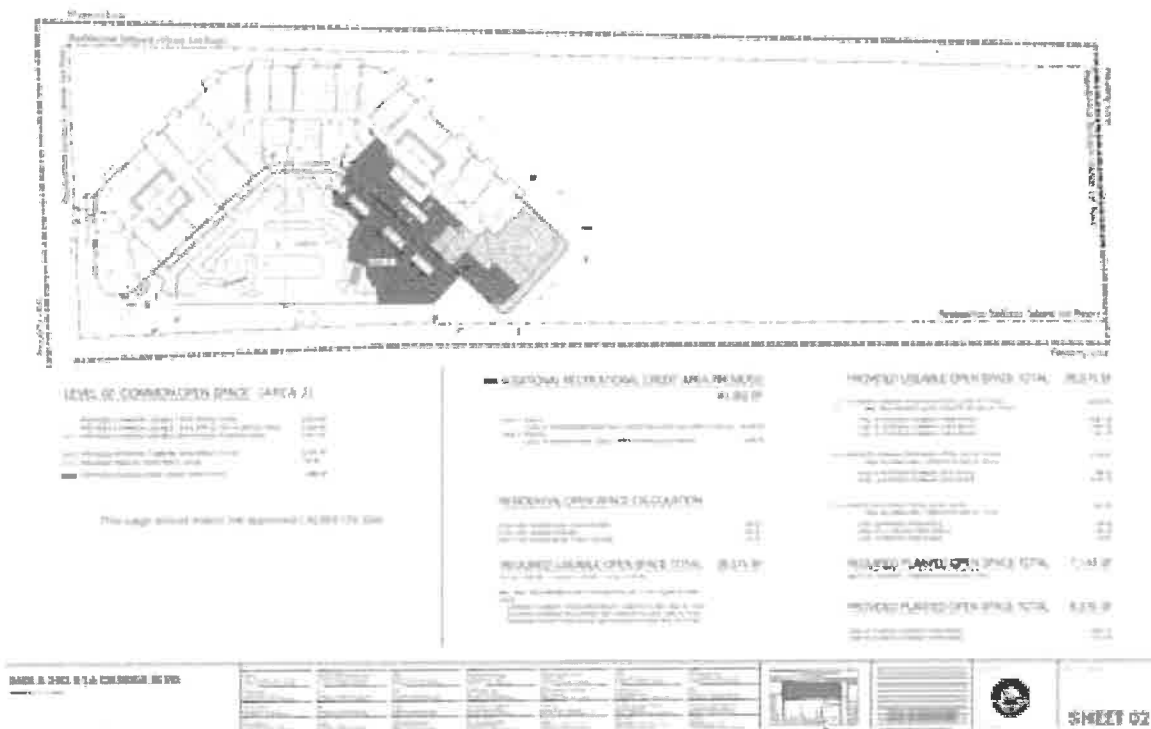
***Create more small parks, pedestrian districts, and public plazas.***

*While regional parks and green networks are an important component of the City's open space strategy, more small-scale, urban open spaces must be developed as well, as they are crucial to the quality of life of the City's residents. There are many opportunities at the community level to create public "pocket" parks as part of new developments, to enhance pedestrian orientation in key commercial areas, and to build well-designed public plazas. (1-11).*

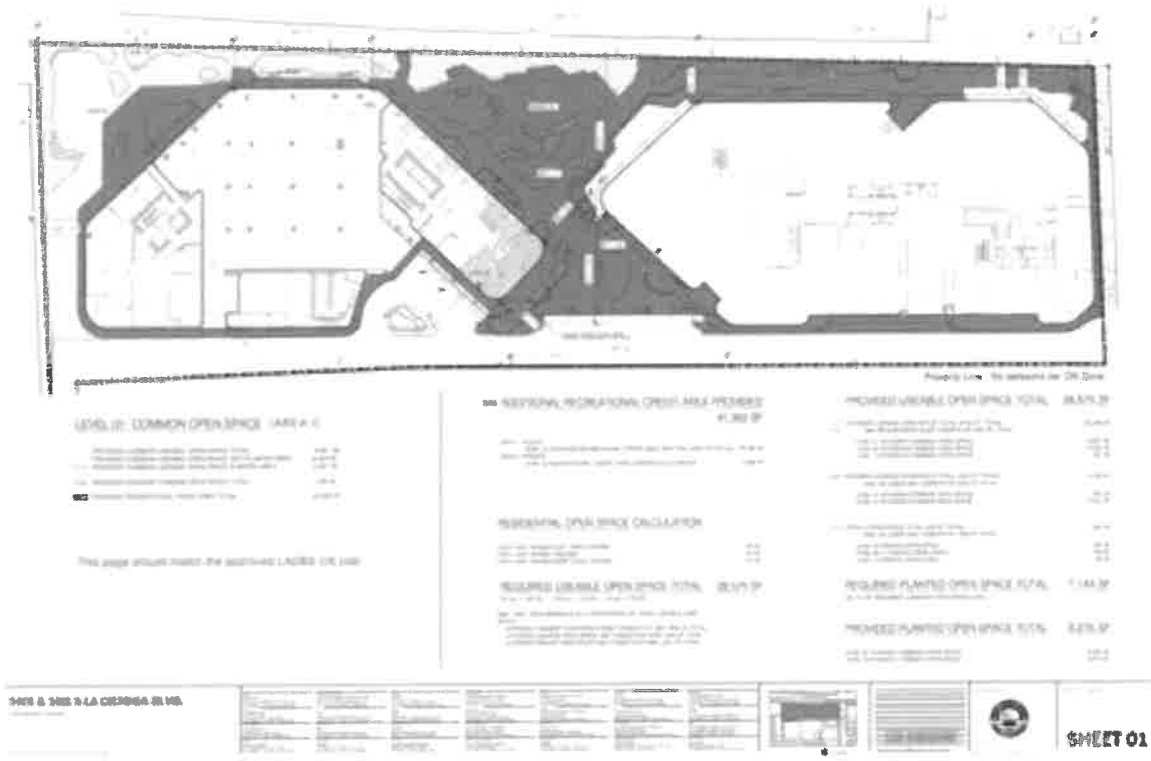
*Chapter 5 of the Community Plan also details the need for Neighborhood Parks, which provide "space and facilities for outdoor and indoor recreation activities to all residents in its immediate neighborhood (5-19). Table 5-7 of the Community Plan identifies the need for 411 acres of additional "Neighborhood Parks (including mini parks)" to meet the desired standard of RAP park development.*



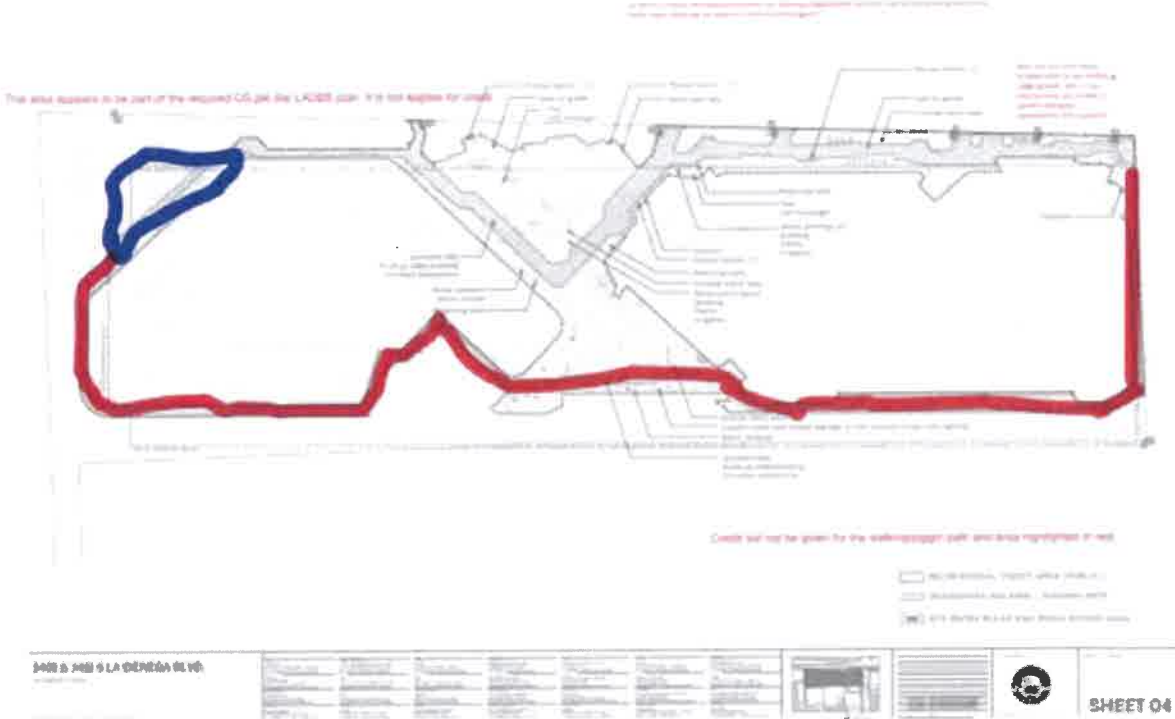
**Applicant Response:** The LADBS approved open space plans are included within the Revised Submission.



**Applicant Response:** The Revised Submission conforms to the approved LADBS open space plan.

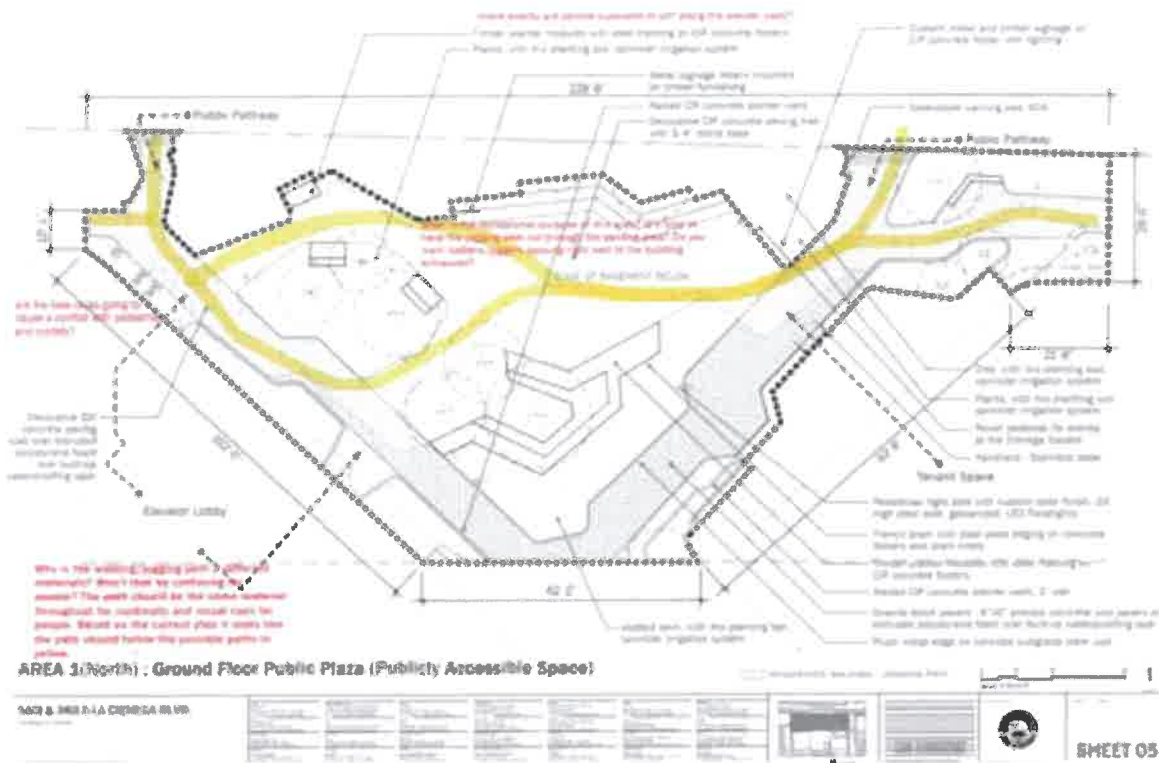


**Applicant Response:** The Revised Submission conforms to the approved LADBS open space plan.



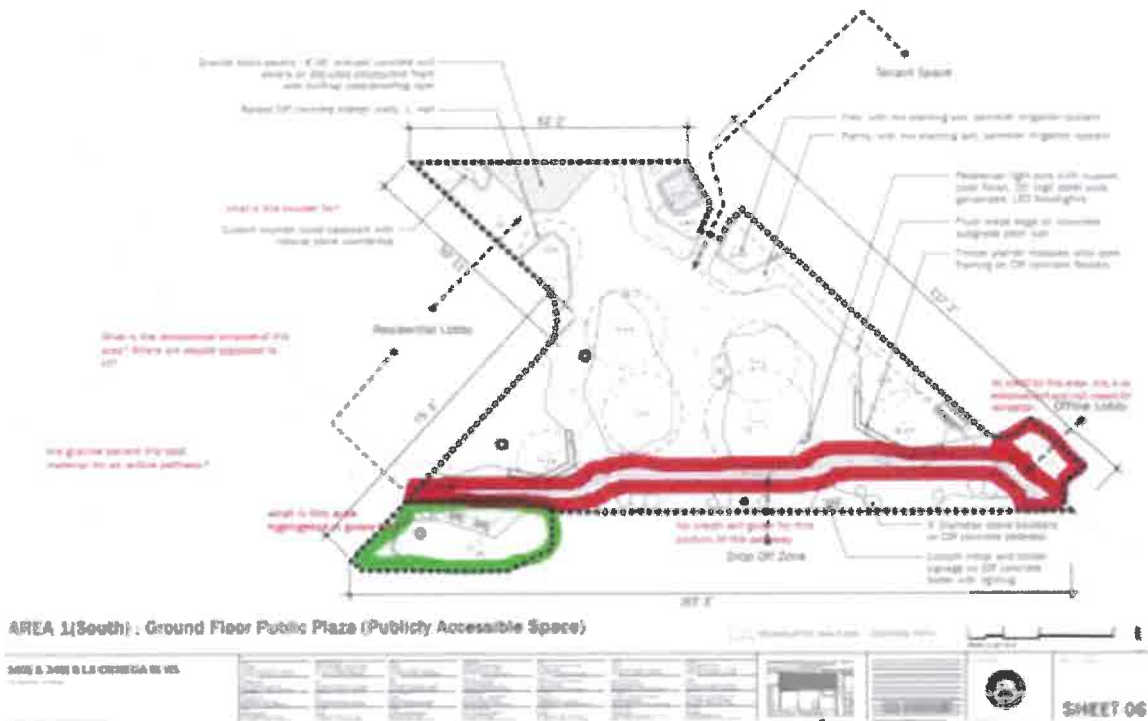
**Applicant Response:** The areas highlighted in red and blue are removed and not included in the Recreation Credit areas in the Revised Submission.

The walking jogging path which extends across the entire site from east to west will be denoted by signage and markings on the pathway itself. Bike rack areas are located adjacent to the Metro shared use bike path and will include signage instructing cyclists to dismount in the pedestrian areas.



**Applicant Response:** The project's focal point and ceremonial heart, Cienega Square anchors the urban park experience and defines the project's character. A large thicket of native trees and shrubs softly screens the shared bike-way and serves as one side of a continuous tree canopy wrapping all edges of the square. Bike rack areas are located adjacent to the Metro shared use bike path and will include signage instructing cyclists to dismount in the pedestrian areas. The canopy is a mix of evergreen and deciduous with closely spaced groves of Western Sycamore in the shade of the residential building and evergreen Oaks in the sunnier areas providing their own shade year-round. The understory beneath is dense with evergreen shrubs like heuchera and toyon that provide color and interest. Both sides of the square feature terraced timber planter walls for seating and appropriation, as well as fixed, colorful, metal and wood chair and table elements. Moveable seating will also be provided. The paving design establishes the jogging/walking path as a spine across the project through its material identity of natural gray concrete with large, seeded aggregates and widely spaced joint pattern and will also be denoted by signage and markings on the pathway itself. It flows through the center of the square flanked by carpets of natural gray concrete with smaller, denser seeded aggregate and tighter web-like joint patterns that define respite areas tethered to fixed furnishing elements providing them an understood space for use outside of the jogging path. A central 360-degree stacked wood timber feature links the square to the larger plaza and Grove to the south via a small turf area that extends from the base of the terraces.

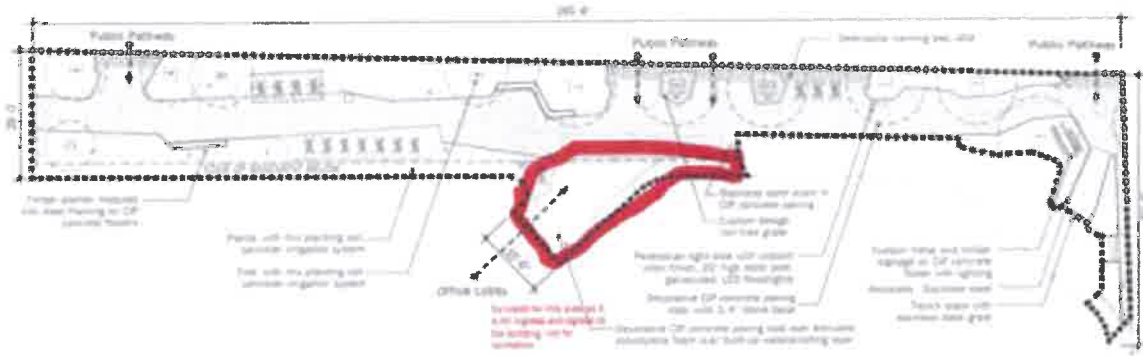




**Applicant Response:** The Grove is a more plaza-like counterpart to Cienega Square, providing an open, largely paved expanse of public space between the residential and office buildings. The plaza is defined through a 4-color mix of earth toned square pavers that warm the atmosphere and distinguish the plaza against the cast-in-place materiality of Cienega Square and the jogging/walking path. Planting beds are organic in shape to encourage movement and exploration. The planter edges sit flush with the paving to eliminate visual barriers to the larger park beyond and allow for a connected experience with the native habitat. The counter provides a location for park visitors to place food or other objects as they pause to enjoy the park atmosphere. Locally sourced boulder features are set along planting edges, as well as gravel drainage swales (matching the golden tones of both the boulders and the aggregates seeded in the cast-in-place concrete pathway) that soften the transition from planting to paving. Seating in the form of timber walls and anchored lounge chairs with tables are dispersed throughout to maximize shade and opportunities for intimate conversations. The Grove itself is well shaded by an evergreen canopy of Olive and Arbutus trees, and the seating environment is lush and colorful, with native sages and grasses forming a meadow atmosphere that blooms throughout the year.

The areas highlighted in green and red form part of the Landscaped Open Space, however, the area outlined in red identified as the building entrance/exit has been removed from the Recreation Credit area in the Revised Submission.

See this red-outlined area with signage posted "bicycle use only" and "dismount" when entering the parking rigging area"



AREA 1(East) : Ground Floor Public Plaza (Publicly Accessible Space)

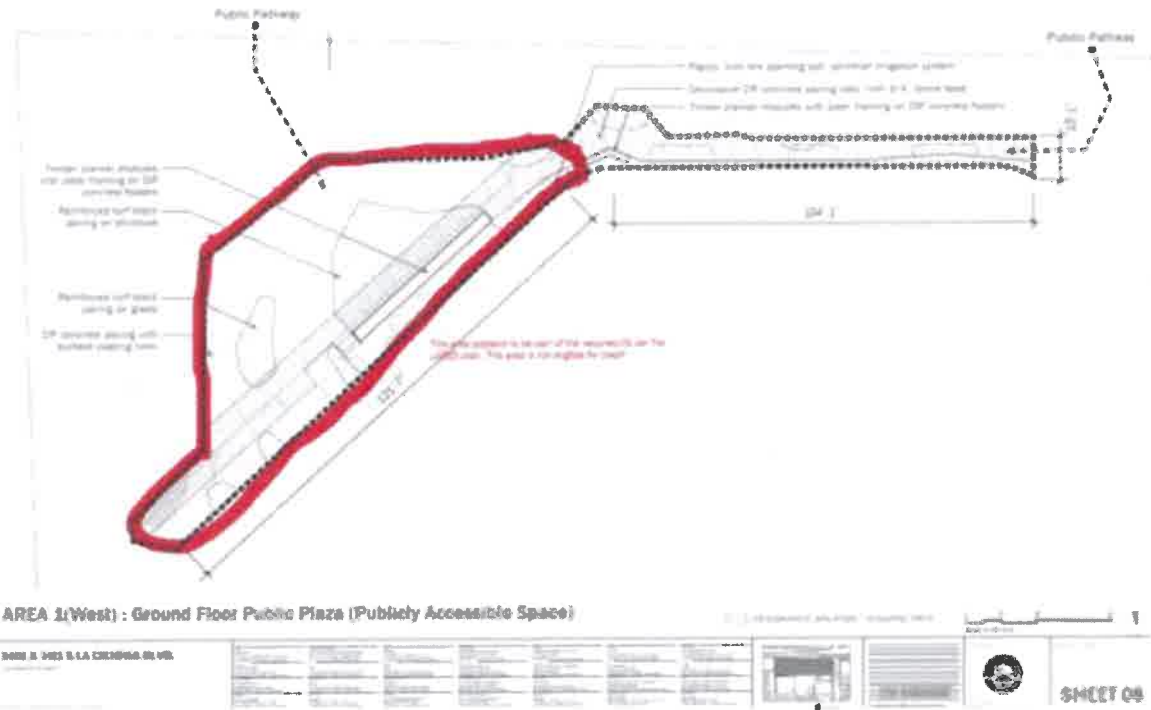
9020 & 3400 S LA CINCHBA BLVD.

NO. 1	NO. 2	NO. 3	NO. 4	NO. 5	NO. 6	NO. 7	NO. 8	NO. 9	NO. 10

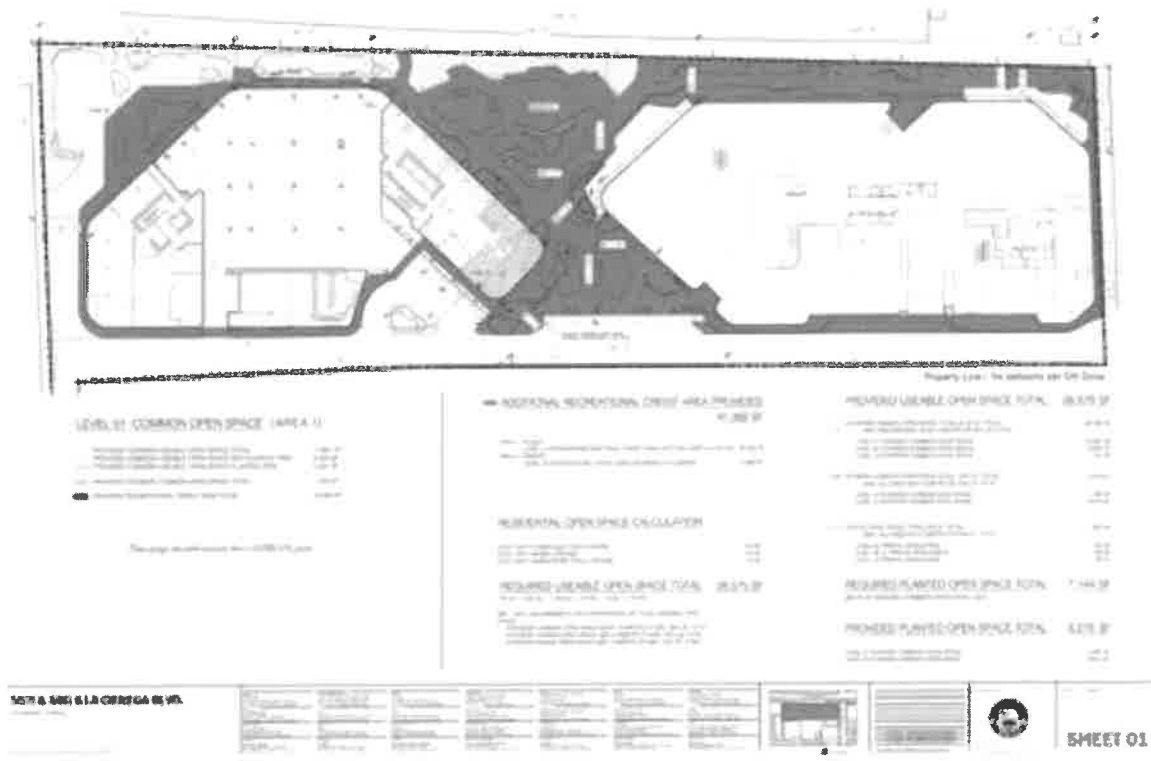
SHEET 07

**Applicant Response:** The bike racks are located at convenient points for cyclists arriving from the adjacent Metro shared use (bicycle and pedestrian) path. Signage will be posted instructing cyclists to dismount.

The area outlined in red at the building entrance has been removed from the Recreation Credit area in the Revised Submission.



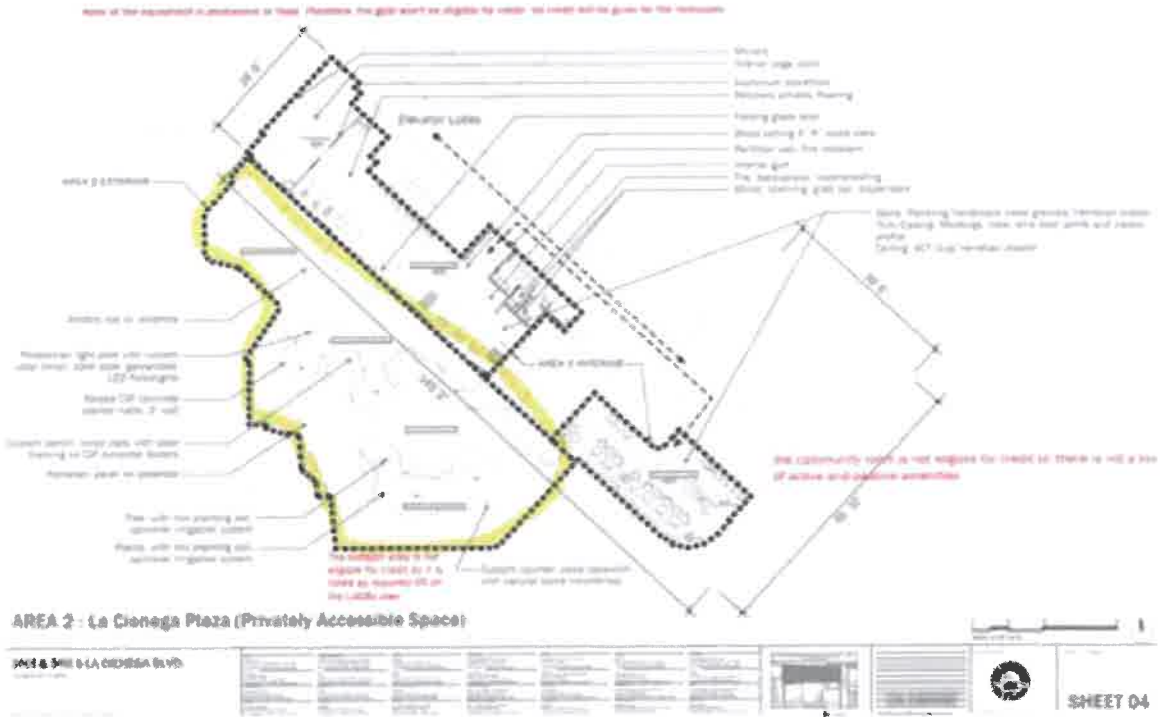
**Applicant Response:** The Revised Submission conforms to the LADBS approved space plan and the area highlighted in red is excluded.



**Applicant Response:** The Revised Submission conforms to the LADBS approved space plan.



**Applicant Response:** The Revised Submission conforms to the LADBS approved space plan.



**Applicant Response:** The applicant will include fixed equipment within the Gym/Fitness Room, and therefore the room itself should be eligible for credit. However, the applicant acknowledges that there is no credit for loose fitness equipment and none has been included in the Estimate within the Revised Submission.

The Gym/Fitness room will provide a variety of fixed and moveable equipment types including free weights, benches, and cardiovascular equipment such as treadmills. The Yoga Room will include equipment and space for activities such as yoga and meditation. The Community Room and attached Kitchen/Lounge area provide a gathering place for residents looking to get out of their apartment and enjoy time with friends, play board games, arts and crafts, as well as to host meetings and events. These three rooms together comprise a multipurpose indoor recreation area much like a community center with a variety of active and passive amenities.

Restrooms form an integral and code required function in any enclosed recreation area and the community room and fitness areas cannot function without adequate restroom facilities. Residents would not utilize these rooms if they or their guests only had access to restrooms in the dwelling units. Accordingly, they are a necessary part of the indoor activity area and should be eligible for credit.

The Revised Submission conforms to the existing LADBS approved space plan and so the outdoor area highlighted in yellow is not included.

We look forward to working with you and your team to finalize our Recreation Credits Application in a timely manner and scheduling an in-person meeting to review any questions that you may have about our Revised Submission.

Sincerely,



**La Cienega Owner LLC**  
**Ryan Burton**  
**Senior Vice President and Development Director**

Attachments: 241004\_LL\_RECREATION CREDIT EXHIBITS\_PRIVATE  
2024.10.01 - Recreational Credits - Private R3  
241004\_LL\_RECREATION CREDIT EXHIBITS\_PUBLIC  
2024.10.01 - Recreation Credits - Public R3  
Recreation Credit 83550 Response dtd 05.13.2024  
942Broadway\_CommunityRoom\_RAPapprovedCosts  
942BroadwayCommunityRoomfromRAPboardApproval  
942BroadwayCommunityRoomfromRAPboardApproval

Cc: RAP Park Fees Group, rap.parkfees@lacity.org  
Meghan Leura, meghan.luera@lacity.org  
Darryl Ford, Darryl.ford@lacity.org  
Kimani Black, Office of Council District 10, kimani.black@lacity.org  
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Tanner Blackman, tanner@irvineassoc.com  
Marty Akerblom, makerblom@allenmatkins.com

Recreation Credit Cost Estimate Sheet

CASE NUMBER: VTT-82227-CN		AREA 4					
RECREATIONAL AMENITY: COMMUNITY ROOM		EXHIBIT/SHEET REFERENCE: SHEET 06					
Line Number	Description	QTY	Unit	MATERIAL	LABOR	EQMT	EST TOTAL
03 30 5340	1950 Structural concrete, in place, elevated slab (4000 psi), flat slab with drop panels, 125 psf superimposed load, 30' span, includes forms(4 uses), Grade 60 rebar, concrete (Portland cement Type I), placing and finishing	136	cy	\$ 57,120.00	\$ 31,144.00	\$ 2,087.60	
<b>Division 3</b>	<b>Subtotal</b>			<b>\$ 57,120.00</b>	<b>\$ 31,144.00</b>	<b>\$ 2,087.60</b>	<b>\$ 90,351.60</b>
062213155280	Moldings, base, rectangular profile, 1/2" x 3-1/2", oak	232	LF	\$ 700.64	\$ 417.60	\$ -	
<b>Division 06</b>	<b>Subtotal</b>			<b>\$ 700.64</b>	<b>\$ 417.60</b>	<b>\$ -</b>	<b>\$ 1,118.24</b>
08 13 1315 0080	Doors, fire, steel, flush, "B" label, 90 minutes, full panel, 20 ga, 3'-0" x 7'-0"	2	Ea.	\$ 1,180.00	\$ 106.00	\$ -	
081416092280	Door, wood, architectural, flush, interior, 5 ply particle core, oak face, 1-3/8", 3'-0" x 7'-0"	8	Ea.	\$ 1,608.00	\$ 556.00	\$ -	
0832213105025	Doors, aluminum sliding telescoping glass door system, 8' wide opening biparting, 8'x7'	6	Ea.	\$ 38,250.00	\$ 2,700.00	\$ -	
0844413100150	Curtain wall, aluminum, stock, double glazed, including glazing, average	2240	S.F.	\$ 172,480.00	\$ 23,072.00	\$ -	
087120300020	Door hardware, door closer, rack and pinion, adjustable backcheck, 3 way mount, all sizes, regular arm	12	Ea.	\$ 2,004.00	\$ 900.00	\$ -	
087120306520	Door closer, electro magnetic closer/holder, multi-point, excludes detector	1	Ea.	\$ 1,100.00	\$ 113.00	\$ -	
087120306570	Door closer, electric automatic operators, wall plate actuator	1	Ea.	\$ 299.00	\$ 113.00	\$ -	
087120410011	Door hardware, deadlocks, mortise, heavy duty	1	Ea.	\$ 242.00	\$ 50.00	\$ -	
087120440500	Door hardware, anti-ligature cylindrical lockset, arch handle passage set, US32D	2	Ea.	\$ 598.00	\$ 113.00	\$ -	
087120440510	Door hardware, anti-ligature cylindrical lockset, arch handle privacy set, US32D	4	Ea.	\$ 1,500.00	\$ 226.00	\$ -	
087120440530	Door hardware, anti-ligature cylindrical lockset, arch handle storeroom set, US32D	2	Ea.	\$ 740.00	\$ 113.00	\$ -	
087120440770	Door hardware, anti-ligature mortise lockset, lever handle classroom set, US32D, sectional trim	11	Ea.	\$ 4,785.00	\$ 621.50	\$ -	
087120500020	Door hardware, doorstops, holder and bumper, floor or wall	13	Ea.	\$ 422.50	\$ 183.30	\$ -	
087120652360	Threshold, aluminum, ADA, 6" wide x 36" long	5	Ea.	\$ 60.25	\$ 187.50	\$ -	
087120900012	Door hardware, hinges, full mortise, average frequency, steel base, USP, 4-1/2" x 4-1/2"	19	Pr.	\$ 655.50	\$ -	\$ -	
087120950070	Door hardware, kick plate, stainless steel, .05", 16 ga, 10" x 34"	6	Ea.	\$ 480.00	\$ 180.00	\$ -	
<b>Division 08</b>	<b>Subtotal</b>			<b>\$ 226,404.25</b>	<b>\$ 29,234.30</b>	<b>\$ -</b>	<b>\$ 255,638.55</b>

Applicant: TF Broadway LP

Project: HARMONY - 942 N Broadway, Los Angeles, CA

2022-06-10



Recreation Credit Cost Estimate Sheet

CASE NUMBER: VTT-82227-CN		AREA 4					
RECREATIONAL AMENITY: COMMUNITY ROOM		EXHIBIT/SHEET REFERENCE: SHEET 06					
Line Number	Description	QTY	Unit	MATERIAL	LABOR	EQMT	EST TOTAL
092116331000	Partition wall, interior, standard, taped both sides, installed on & incl.25 ga, NLB metal studs, 3-5/8" wide, 16" OC, 8' to 12' high, 1/2" gypsum drywall	278	S.F.	\$ 333.60	\$ 714.46	\$ -	
093133103283	Ceramic tile, floors, glazed, thin set, color group 1, 24" x 24"	2863	S.F.	\$ 10,621.73	\$ 8,789.41	\$ -	
093133103290	Ceramic tile, border tile, 3" x 12" tile	482	S.F.	\$ 3,952.40	\$ 1,850.88	\$ -	
097216133400	Wall coverings, vinyl, fabric-backed, heavyweight, type 3 (28 oz./S.Y.), incl. sizing	964	S.F.	\$ 1,802.68	\$ 848.32	\$ -	
099123740200	Paints & coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, primer or sealer coat, smooth finish, brushwork	4086	S.F.	\$ 286.02	\$ 1,348.38	\$ -	
<b>Division 09</b>	<b>Subtotal</b>			<b>\$ 16,996.43</b>	<b>\$ 13,551.45</b>	<b>\$ -</b>	<b>\$ 30,547.88</b>
102813130610	Toilet accessories, dispenser units, towel dispenser & waste receptacle, 18 gallon capacity	3	Ea.	\$ 1,335.00	\$ 135.00	\$ -	
102813131300	Toilet accessories, grab bars, straight, satin finish, 2-1/2" diameter x 36" long	4	Ea.	\$ 140.00	\$ 90.00	\$ -	
102813133200	Toilet accessories, mirror, 48" x 24", with stainless steel 3/4" square frame	5	Ea.	\$ 490.00	\$ 225.00	\$ -	
102813134400	Toilet accessories, robe hook, heavy duty, concealed mounting	5	Ea.	\$ 107.50	\$ 40.25	\$ -	
102813134600	Toilet accessories, soap dispenser, chrome, surface mounted, liquid	4	Ea.	\$ 210.00	\$ 90.00	\$ -	
102813136050	Toilet accessories, toilet seat cover dispenser, stainless steel, surface mounted	5	Ea.	\$ 185.00	\$ 150.00	\$ -	
102813136240	Toilet accessories, toilet tissue dispenser, plastic, surface mounted, twin/jumbo double roll	5	Ea.	\$ 165.00	\$ 93.75	\$ -	
102813137000	Toilet accessories, towel holder, hotel type, 2 guest size	1	Ea.	\$ 67.50	\$ 22.50	\$ -	
102819104500	Shower doors, sliding, tempered glass, 48" opening, excludes plumbing	1	Ea.	\$ 490.00	\$ 90.00	\$ -	
<b>Division 10</b>	<b>Subtotal</b>			<b>\$ 3,190.00</b>	<b>\$ 936.50</b>	<b>\$ -</b>	<b>\$ 4,126.50</b>

Recreation Credit Cost Estimate Sheet

CASE NUMBER: VTT-82227-CN		AREA 4					
RECREATIONAL AMENITY: COMMUNITY ROOM		EXHIBIT/SHEET REFERENCE: SHEET 06					
Line Number	Description	QTY	Unit	MATERIAL	LABOR	EQMT	EST TOTAL
123223109600	Custom cabinets, rule of thumb: kitchen cabinets, excl. counters & appliances, maximum	76	L.F.	\$ 34,960.00	\$ 2,736.00	\$ -	
123661190150	Engineered stone countertops, color group C, 25" wide, 4" backsplash, maximum	82	L.F.	\$ 13,694.00	\$ 4,920.00	\$ -	
125416701520	Booths, banquet booths, upholstered seat & back, straight, maximum	7.5	L.F.	\$ 9,937.50	\$ 187.50	\$ -	
<b>Division 12</b>	<b>Subtotal</b>			<b>\$ 58,591.50</b>	<b>\$ 7,843.50</b>	<b>\$ -</b>	<b>\$ 66,435.00</b>
224113131140	Water closet, tank type, vitreous china, floor mounted, close coupled, ADA, two piece, 1.28 gpf, includes seat, supply pipe with stop	5	Ea.	\$ 1,380.00	\$ 950.00	\$ -	
224116163100	Sink, kitchen, counter top style, stainless steel, self rimming, single bowl, 25" x 22", includes faucet and drain	3	Ea.	\$ 2,160.00	\$ 540.00	\$ -	
224139102810	Faucets/fittings, lavatory faucet, automatic sensor and operator, with faucet head, residential	5	Ea.	\$ 3,075.00	\$ 455.00	\$ -	
224139104200	Faucets/fittings, shower thermostatic mixing valve, concealed, with shower head trim kit	1	Ea.	\$ 375.00	\$ 70.00	\$ -	
<b>Division 22</b>	<b>Subtotal</b>			<b>\$ 6,990.00</b>	<b>\$ 2,015.00</b>	<b>\$ -</b>	<b>\$ 9,005.00</b>
265113550160	Interior LED fixtures, downlight, cylinder, 10 watts, incl lamps, mounting hardware and connections (TYPE A)	109	Ea.	\$ 6,867.00	\$ 7,194.00	\$ -	
265113552000	Interior LED fixtures, strip, surface mounted, 3,500 K, one light bar 4' long, incl lamps, mounting hardware and connections (TYPE D)	25	Ea.	\$ 7,875.00	\$ 1,562.50	\$ -	
265113554000	Interior LED fixtures, high bay, surface mounted, round, 150 watt (TYPE B)	12	Ea.	\$ 5,700.00	\$ 2,352.00	\$ -	
265113556100	Interior LED fixtures, garage, pendant mounted, 80 watts (TYPE C)	6	Ea.	\$ 4,440.00	\$ 978.00	\$ -	
<b>Division 26</b>	<b>Subtotal</b>			<b>\$ 24,882.00</b>	<b>\$ 12,086.50</b>	<b>\$ -</b>	<b>\$ 36,968.50</b>

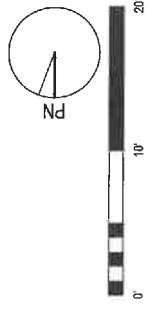
Recreation Credit Cost Estimate Sheet

<b>CASE NUMBER: VTT-82227-CN</b>		<b>AREA 4</b>					
<b>RECREATIONAL AMENITY: COMMUNITY ROOM</b>		<b>EXHIBIT/SHEET REFERENCE: SHEET 06</b>					
Line Number	Description	QTY	Unit	MATERIAL	LABOR	EQMT	EST TOTAL

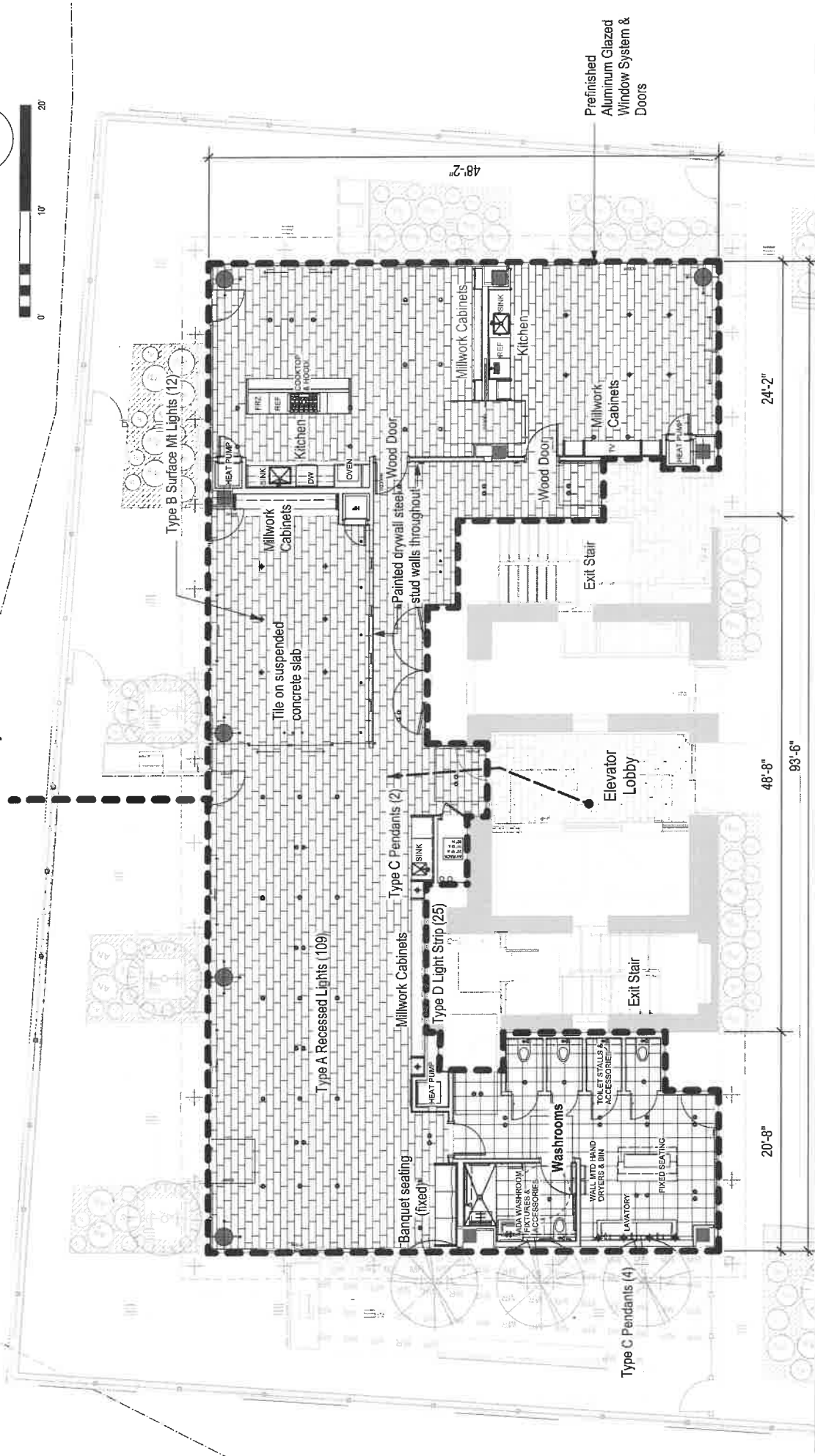
284611275200	Detection system, heat detector, smoke detector, ceiling type, excl. wires & conduit	6	Ea.	\$ 858.00	\$ 513.00	\$ -	
<b>Division 28</b>	<b>Subtotal</b>			<b>\$ 858.00</b>	<b>\$ 513.00</b>	<b>\$ -</b>	<b>\$ 1,371.00</b>

(Cost based on National Average - RS Means 2022) \$ 395,732.82 \$ 97,741.85 \$ 2,087.60 \$ 495,562.27  
 Sales Tax 9.5% \$ 37,594.61 \$ 198.32 \$ 37,792.93

<b>Estimated Subtotal</b>							<b>\$ 533,355.20</b>
<b>Los Angeles City Index / 100</b>						1.132	<b>\$ 70,402.88</b>
<b>Adjusted Cost (Los Angeles)</b>							<b>\$ 603,758.08</b>
	Architectural Fees (01 11 31.10 0060)					4.9%	\$ 29,584.14
	Construction Management (01 11 31.20 0350)					4.0%	\$ 24,150.32
	Permit (01 41 26.50 0100)					2.0%	\$ 12,075.16
	Engineering Fees (01 11 31.30 0800)					2.5%	\$ 15,093.95
	Grading (if applicable)					2.0%	N/A
	Survey					2.0%	\$ 12,075.16
<b>GRAND TOTAL</b>							<b>\$ 696,736.81</b>



**Privately Accessible Space**  
Community Room 3151 sf

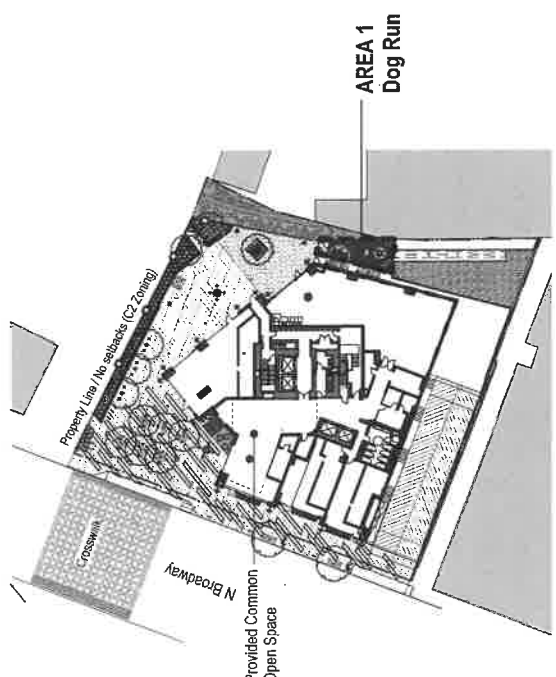


Prefinished  
Aluminum Glazed  
Window System &  
Doors

Drawing Title  
**AREA 4 - L23 COMMUNITY ROOMS**  
Scale  
1:100  
Date  
10 JUNE 2022  
Revision

Project  
**Harmony**  
942 N Broadway Los Angeles, CA

**FORME**  
517-177 W. Hastings St. #423  
Los Angeles, 90012-1000

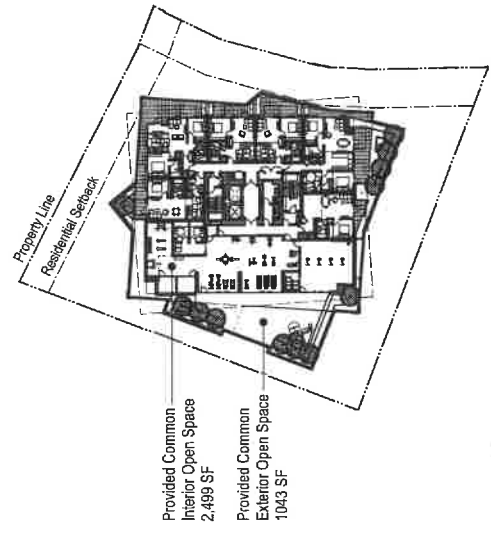


1 Ground - Overall Plan  
See Sheet 04

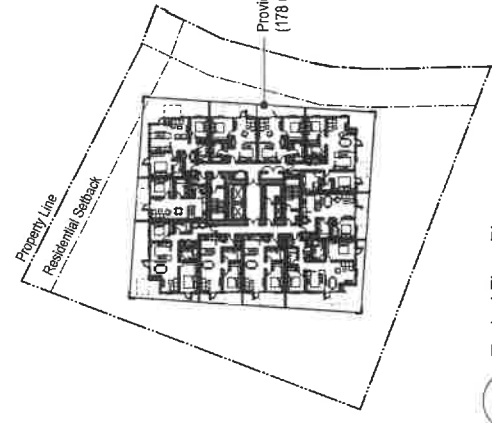
OPEN SPACE	19,962 SF
TOTAL REQUIRED OPEN SPACE	33,894 SF
TOTAL PROVIDED OPEN SPACE	13,942 SF
EXCESS OPEN SPACE FOR REC CREDIT	



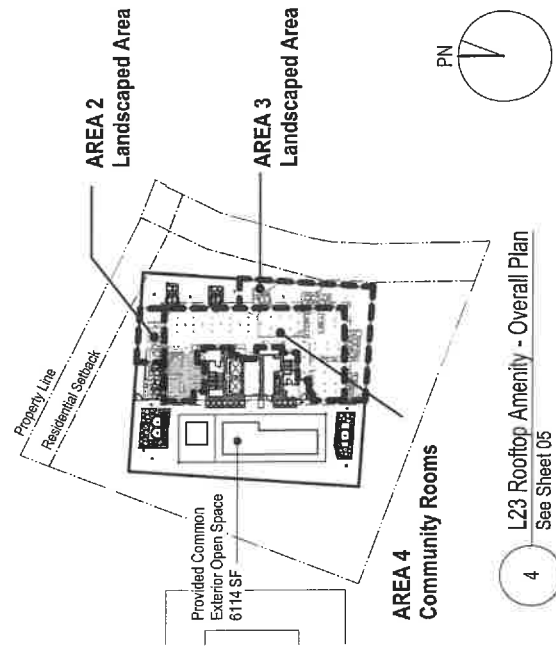
\* THE PROJECT UTILIZES ALL YARD REQUIREMENTS FOR THE C2 ZONE (LAMC 12.14C) IN ITS COMMERCIAL PORTION (PARKADE & GROUND FLOOR LEVELS) AND R5 ZONE PER LAMC 12.12.C AND LAMC 12.22(C)(3) IN ITS RESIDENTIAL PORTION.



2 L4 Fitness Amenity - Overall Plan



3 Typical Floor Plan



4 L23 Rooftop Amenity - Overall Plan  
See Sheet 05

CASE NUMBER: VTT-83350-CN		AREA 1		EXHIBIT/SHEET REFERENCE: SHEETS 06-09		ESTIMATE TOTAL (2024 Index to LA - RSMIANS)	
RECREATIONAL AMENITY: Landscaped Public Open Space		QTY	UNITS	MATERIAL	LABOR	EQUIPMENT	SUBCONTRACT
RSMean Line Number	RSMean Description						

Division 02		222	LF	21.83	4.89	0	0	\$5,931.84
A1 01 03.10 3400	Perforated Pipe at Crush Stone Surfacing (SD4 Civil)							\$5,931.84
Division 02 Subtotal								
Division 03								
03 30 53.40 1950	Elevated Slab (4000 PSI), flat slab with drops, 125 psf Sup. Load, 30' span.	1,042	CY	\$436.17	\$306.94	\$23.25	\$233.93	\$1,042,742.31
A1 03 01.20 2240	Slab on grade, 3500 PSI, trowelled finish, 4" thick	1,030	SF	\$3.59	\$5.03	\$0.01	\$0.00	\$8,892.35
A1 01 01.05 1700	Concrete Wall - 2' x 6" 6/L-641 Type 6 Timber Bench	84	LF	\$12.57	\$40.65	\$2.81	\$0.00	\$4,706.40
A1 01 01.05 1700	Concrete Wall - 2' x 6" 11/L-602 at Planter	224	LF	\$25.14	\$81.30	\$5.61	\$0.00	\$25,099.20
A1 01 01.05 1700	Concrete Wall - 4.5' x 6" 14/L-602 at Planter	147	LF	\$28.28	\$91.46	\$5.61	\$0.00	\$18,427.19
A1 01 01.05 1700	Concrete Wall - Flush Planter 2.25'x6"	2,460	LF	\$15.71	\$50.81	\$3.51	\$0.00	\$172,276.88
03 21 11.60 2410	Epoxy Dowels at Structural Slab - Reinforcing at Planter Wall	2,915	EA	\$0.92	\$2.06	\$0.00	\$1.41	\$12,796.85
03 63 05.10 1535	Epoxy Dowels at Structural Slab - Epoxy Cartridge + Drilling at Planter Wall	2,915	EA	\$9.06	\$14.61	\$0.00	\$10.23	\$98,818.50
A1 01 02.10 7200	Foundation at Boulders on Structure	16	EA	\$107.34	\$146.99	\$0.00	\$0.00	\$4,069.28
A1 01 02.10 7850	Foundation at Timber benches on structure (12x12=144 )	592	SF	\$23.67	\$16.01	\$0.00	\$0.00	\$23,491.15
A1 01 02.10 7850	Foundation at Timber benches on Grade	703	SF	\$23.67	\$16.01	\$0.00	\$0.00	\$27,899.11
32 16 13.13 0406	Concrete for metal edging at Crushed Stone Paving	222	LF	\$10.54	\$10.82	\$0.00	\$7.73	\$6,457.98
32 16 13.13 0406	Concrete for metal edging on Structure - Unit Paver at Turf Grass	471	LF	\$10.54	\$10.82	\$0.00	\$7.73	\$13,701.39
32 16 13.13 0406	Curb at Timber bench on structure	131	LF	\$10.54	\$10.82	\$0.00	\$7.73	\$3,810.79
32 16 13.13 0406	Raised Curb on Structure	448	LF	\$10.54	\$10.82	\$0.00	\$7.73	\$13,032.32
32 16 13.13 0406	Curb at paving edge	1,729	LF	\$10.54	\$10.82	\$0.00	\$7.73	\$50,296.61
32 16 13.13 0406	Curb at Tree Well / grate on grade	52	LF	\$10.54	\$10.82	\$0.00	\$7.73	\$1,512.68
A1 01 02.10 7200	Boilard Footings on Structure	14	EA	\$107.34	\$146.99	\$0.00	\$0.05	\$3,561.37
26 56 13.10 3200	Footings for light poles on structure	7	EA	\$2,376.32	\$529.62	\$78.35	\$570.22	\$24,881.54
26 56 13.10 3200	Footings for light poles on grade	5	EA	\$2,376.32	\$529.62	\$78.35	\$570.22	\$17,772.53
A1 01 02.10 7200	Footings at Trash can pads	3	EA	\$107.34	\$146.99	\$0.54	\$3.96	\$776.50
03 11 23.75 0015	Cast in place stairs	230	SF	\$10.69	\$15.83	\$0.00	\$10.96	\$8,621.27
Division 03 Subtotal								\$1,583,643.89

CASE NUMBER: VTT-83350-CN		AREA 1		EXHIBIT/SHEET REFERENCE: SHEETS 06-09		ESTIMATE TOTAL (2024 Index to LA - RSM EANS)	
RECREATIONAL AMENITY: Landscaped Public Open Space							
RSM Means Line Number	RSM Means Description	QTY	UNITS	MATERIAL	LABOR	EQUIPMENT	SUBCONTRACT
<b>Division 05</b>							
05 12 23.17 3300	Timber Bench Galvanized Steel Frame Supports: Type 1, 2 & 4. Galvanized Angle Clips FOB. 2/L-642 & 1/L-643 (embed plates & threaded rods are excluded)	2,031	LB	\$1.63	\$0.24	\$0.25	\$0.35
05 12 23.17 3300	Timber Bench Galvanized Steel Frame Supports: Type 3. Galvanized Steel Frames. 4/L-643	14,759	LB	\$1.63	\$0.24	\$0.25	\$0.35
05 12 23.17 3300	Timber Bench Galvanized Steel Frame Supports: Type 5. Galvanized Steel Frames. 1/L-643	3,751	LB	\$1.63	\$0.24	\$0.25	\$0.35
05 12 23.17 3300	Timber Bench Galvanized Steel Frame Supports: Type 6. Galvanized Steel Frames. 3/L-642	13,756	LB	\$1.63	\$0.24	\$0.25	\$0.35
05 12 23.75 0140	Metal Header - 693 LF (1/4"x6" typ.)	693	LF	\$35.78	\$4.50	\$4.70	\$7.31
05 52 13 .50 0960	Handrail, 1 rail, Stainless	60	LF	\$270.00	\$17.15	\$1.55	\$38.59
<b>Subtotal</b>							\$140,587.96
<b>Division 07</b>							
07 12 13.20 0700	Built up asphalt waterproofing On slabs, 3 ply, glass fiber fabric, mopped.	23,312	SF	\$1.98	\$1.81	\$0.48	\$1.61
07 12 13.20 0700	Built up asphalt waterproofing On slabs, 3 ply, glass fiber - Planter walls	2,893	SF	\$1.98	\$1.81	\$0.48	\$1.61
07 12 13.20 1050	Protection Board	23,312	SF	\$0.43	\$0.24	\$0.00	\$0.23
07 12 13.20 1050	Root Barrier at planting	9,912	SF	\$0.43	\$0.24	\$0.00	\$0.23
07 65 10. 10 0300	Flashing and counter flashing at planter walls	738	SF	\$11.65	\$2.62	\$0.00	\$3.18
07 65 10. 10 0300	Flashing and counter flashing at build perimeter	1,433	SF	\$11.65	\$2.62	\$0.00	\$3.18
07 22 16.10 1966	Extruded Polystyrene - 60 PSI, 4" thick (4"x3 =1 CF)	18,648	CF	\$13.03	\$1.07	\$0.00	\$2.17
<b>Subtotal</b>							\$525,209.51
<b>Division 10</b>							
10 14 26.10 0150	Entry Signs	8	Ea.	\$2,825.00	\$39.24	\$0.00	\$324.37
<b>Subtotal</b>							\$25,508.88
<b>Division 12</b>							
12 32 23.10 1540	Manufactured wood casework (Exterior casework)	20	LF	\$485.00	\$56.48	\$0.00	\$72.34
12 36 40.10 2800	Natural stone countertop	20	LF	\$162.00	\$29.73	\$0.00	\$35.42
<b>Subtotal</b>							\$16,819.40
<b>Division 22</b>							
22 14 26.19 6670	Trench drain, polyester polymer concrete	106	LF	\$148.00	\$8.12	\$0.00	\$19.15
22 14 26.13 3920	Plaza drain	21	EA	\$1,100.00	\$93.72	\$0.00	\$184.40
<b>Subtotal</b>							\$47,519.14

CASE NUMBER: VTT-83350-CN		AREA 1	EXHIBIT/SHEET REFERENCE: SHEETS 06-09				ESTIMATE TOTAL (2024 Index to LA - RSMEANS)
RECREATIONAL AMENITY: Landscaped Public Open Space							
RSMeans Line Number	RSMeans Description	QTY	UNITS	MATERIAL	LABOR	EQUIPMENT	SUBCONTRACT
<b>Division 26</b>							
26 05 19.90 0040	Copper wire	5	CLF	\$37.81	\$56.36	\$0.00	\$38.21
26 05 33.13 1030	1-1/2" diameter conduit	500	LF	\$7.92	\$8.62	\$0.00	\$6.14
26 05 90.10 4100	Duplex outlet 20 amp receptacle	2	EA	\$32.19	\$45.49	\$0.00	\$31.59
26 56 36.55 0120	LED floodlights	117	EA	\$689.85	\$139.87	\$0.00	\$153.35
26 56 13.10 4600	Steel pole, galvanized, 20' high	13	EA	\$1,711.85	\$529.62	\$78.35	\$519.15
<b>Subtotal</b>							
							\$164,146.24
<b>Division 32</b>							
A1 03 01.20 2240	Seeded Aggregate Paving on Grade	7,785	SF	\$3.59	\$5.03	\$0.01	\$0.00
A1 03 01.20 2240	Seeded Aggregate Paving on Structure	4,179	SF	\$3.59	\$5.03	\$0.01	\$0.00
03 35 23.30 1650	Concrete finishings Seeded exposed Aggregate	11,964	SF	\$0.38	\$0.93	\$0.00	\$0.59
32 12 16.14 0055	AC Paving on Grade	670	SF	\$4.68	\$0.22	\$0.31	\$0.63
32 12 16.14 0055	AC Paving on Structure	371	SF	\$4.68	\$0.22	\$0.31	\$0.63
32 12 36.33 1210	AC Paving Durasell/SRI coating	1041	SF	\$3.16	\$0.66	\$0.65	\$0.78
32 14 13.18 0200	Turf block	659	SF	\$4.62	\$2.93	\$0.55	\$2.35
<b>Not found in Means</b>		16	EA				\$1,025.00
32 11 23.23 0100	Landscaped Boulders	1,042	SY	\$6.64	\$0.37	\$1.00	\$0.98
32 14 40.10 1550	Crushed 3/4" stone base, 6" deep	8,322	SF	\$29.47	\$7.07	\$0.00	\$7.51
32 14 40.10 1550	Granite block pavers	42	SF	\$29.47	\$7.07	\$0.00	\$7.51
32 14 40.10 1550	Stone paver at Residential on concrete base	438	SF	\$27.47	\$1.47	\$0.00	\$3.41
32 17 26.10 0100	Detectable warning pad, ADA	48	EA	\$4,782.25	\$127.12	\$0.00	\$570.01
32 33 33.10 1600	Planter/bench, 72"	298	EA	\$240.54	\$32.86	\$0.00	\$45.00
32 84 23.10 1288	Sprinkler irrigation system	2	EA	\$399.00	\$3,029.65	\$0.00	\$1,939.85
32 84 23.10 1420	Electronic controller	2	EA	\$1,065.90	\$121.19	\$0.00	\$178.59
32 84 23.10 1460	Back Flow Preventer	883	CY	\$22.80	\$1.94	\$5.76	\$4.04
31 05 13.10 0800	Import Soil for planting	883	CY	\$0.00	\$31.62	\$0.00	\$19.50
32 91 13.26 0100	Backfill planting pit, by hand, on site topsoil	1,272	CY	\$24.78	\$9.49	\$0.00	\$8.38
32 91 13.26 2000	Mix planting soil spread by hand	14	EA	\$644.36	\$80.44	\$24.77	\$116.95
32 17 13.13 1500	Pipe bollard	29	EA	\$212.40	\$211.85	\$134.46	\$165.09
32 93 43.20 1800	Oak, 2-1/2"-3" caliper	3,611	EA	\$30.09	\$7.59	\$0.00	\$7.52
32 93 33.20 0500	Plants - Shrubs						
<b>Subtotal</b>							
							\$1,250,293.61



Recreation Credit Cost Estimate Sheet

CASE NUMBER: VTT-83350-CN		AREA 1	EXHIBIT/SHEET REFERENCE: SHEETS 06-09				ESTIMATE TOTAL (2024 Index to LA - RSM MEANS)
RSM Means Line Number	RSM Means Description	QTY	UNITS	MATERIAL	LABOR	EQUIPMENT	SUBCONTRACT

Subtotal							
(Cost based on LA 2024 Cost Index)							
Sales Tax 9.5%							
Estimate Subtotal							
Los Angeles City Index/100 - Pricing above is indexed							
Adjusted Cost (Los Angeles)							
Architectural Fees			(01 11 31.10 0090)		7.75%		\$4,116,828.21
Construction Management			(01 11 31.20 0100)		5.00%		\$319,054.19
Permit			(01 41 26.50 0100)		2.00%		\$205,841.41
Engineering Fees			(01 11 31.30 0800)		4.25%		\$82,336.56
Performance Bond			(01 31 13.90 0900)		2.50%		\$174,965.20
Survey			(01 31 13.90 0900)		2.00%		\$102,920.71
<b>Grand Total</b>							<b>\$5,084,282.84</b>

Recreation Credit Cost Estimate Sheet

CASE NUMBER: VTT-83350-CN		AREA 2		EXHIBIT/SHEET REFERENCE: SHEET 06		ESTIMATE TOTAL (2024 Index to LA - RSM EANS)		
RSM eans Line Number	RSM eans Description	QTY	UNITS	MATERIAL	LABOR	EQUIPMENT	SUBCONTRACT	
<b>Division 01</b>								
01 76 13.20 0020	Temporary protection, flooring, 1/8" tempered hardboard	2,495	SF	\$0.51	\$0.60	\$0.00	\$0.42	\$3,817.35
<b>Division 01 Subtotal</b>				\$436.17	\$231.53	\$17.69	\$191.55	\$3,817.35
<b>Division 03</b>								
03 30 53.40 1950	Concrete in place, Elevated slab, flat slab with dropss, 30' spans	305	CY					\$267,151.00
<b>Division 03 Subtotal</b>								\$267,151.00
<b>Division 05</b>								
05 12 23.17 5100	Structural tubing, rect - Frame External Door	2,856	LB	\$1.63	\$0.34	\$0.35	\$0.42	\$7,825.44
05 12 23.17 5100	Structural Tubing, rect - Supports for Sliding door	2,000	LB	\$1.63	\$0.34	\$0.35	\$0.42	\$5,480.00
05 12 23.17 5100	Structural Tubing, rect - Vanity Steel supports	1,200	LB	\$1.63	\$0.34	\$0.35	\$0.42	\$3,288.00
05 52 13.50 2010	2-line pipe rail - 42" high aluminum, satin finish, straight & level	80	LF	\$445.00	\$15.29	\$1.39	\$50.32	\$40,960.00
<b>Division 05 Subtotal</b>								\$57,553.44
<b>Division 06</b>								
C3 01 02.30 1662	Interior Finishes, Paint & Covering, Paneling, Prefinished, Mahogany	202	SF	\$4.71	\$4.91	\$0.00	\$0.00	\$1,943.24
06 22 13.15 5140	Moldings, Base, Classic Profile, 5/8"x5-1/2" finger jointed, Maple	37	SF	\$6.30	\$2.21	\$0.00	\$1.98	\$388.13
06 22 13.40 2640	Moldings, Exterior, Pine, D & Better, 1"x4"	56	LF	\$1.47	\$1.96	\$0.00	\$1.35	\$267.68
C3 01 02.30 1665	Interior Finishes, Paint & Covering, Paneling, Prefinished, Rosewood	74	LF	\$5.40	\$4.77	\$0.00	\$0.00	\$752.58
C3 01 02.30 1665	Interior Finishes, Paint & Covering, Paneling, Prefinished, Rosewood	40	LF	\$5.40	\$4.77	\$0.00	\$0.00	\$406.80
12 32 23.10 9560	Manufactured Wood Casework, appliances & counter tops	9	LF	\$249.00	\$27.35	\$0.00	\$40.64	\$2,852.91
12 32 23.10 9600	Manufactured Wood Casework, Rule of Thumb, Maximum	4	LF	\$550.00	\$32.70	\$0.00	\$75.21	\$2,651.64
12 32 23.10 6000	Manf'd Wood Casework, Kitchen wall cabinets, hardwd, Corner wall	9	LF	\$232.50	\$22.59	\$0.00	\$39.27	\$2,649.24
10 51 53.10 2100	Locker Room Benches, Locker bench, laminated maple, top only	8	LF	\$128.00	\$4.54	\$0.00	\$14.95	\$1,179.92
12 32 23.10 9560	Manufactured Wood Casework, appliances & counter tops	9	LF	\$249.00	\$27.35	\$0.00	\$40.64	\$2,852.91
06 22 13.40 2640	Moldings, Exterior, Pine, D & Better, 1"x4"	101	LF	\$1.47	\$1.96	\$0.00	\$1.35	\$482.78
C3 01 02.30 1662	Interior Finishes, Paint & Covering, Paneling, Prefinished, Mahogany	1,021	SF	\$4.71	\$4.91	\$0.00	\$0.00	\$9,822.02
C3 01 02.30 1662	Interior Finishes, Paint & Covering, Paneling, Prefinished, Mahogany	241	SF	\$4.71	\$4.91	\$0.00	\$0.00	\$2,318.42
06 43 16.10 0100	Wood Handrails & Railings, Custon Designed, Shape	28	LF	\$66.72	\$16.09	\$0.00	\$16.76	\$2,787.96
<b>Division 06 Subtotal</b>								\$31,336.23
<b>Division 07</b>								
07 11 16.20 0020	Dampproofing, portland cement, 2 coats	400	SF	\$0.45	\$3.40	\$0.00	\$2.20	\$2,420.00
<b>Division 07 Subtotal</b>								\$2,420.00

Recreation Credit Cost Estimate Sheet

CASE NUMBER: VTT-83350-CN		AREA 2		EXHIBIT/SHEET REFERENCE: SHEET 06				
RECREATIONAL AMENITY: Level 2 Private Amenity space								
RSMMeans Line Number	RSMMeans Description	QTY	UNITS	MATERIAL	LABOR	EQUIPMENT	SUBCONTRACT	
<b>Division 08</b>								
08 11 16.10 0520	Aluminum Doors and Frames, Entrance Doors, 3'-0"x7'-0" opening	1	EA	\$2,515.50	\$488.37	\$0.00	\$579.36	\$3,583.23
08 11 16.10 0600	Aluminum Doors and Frames, Entrance Doors, 7'-0"x7'-0" opening	1	EA	\$4,136.60	\$976.74	\$0.00	\$1,081.56	\$6,194.90
08 11 16.10 1200	Aluminum Doors & Frames, Entrance Doors, For non-standard size,	1	EA	\$7,445.88	\$1,758.13	\$0.00	\$1,946.81	\$11,150.82
08 14 35.10 0520	Tortrid Exterior Doors, 6 panel, fir, 1-3/4"x3'-0"x7'-0" half glass	1	EA	\$2,571.40	\$76.94	\$0.00	\$299.04	\$2,947.38
08 14 16.20 0790	Wood Fire Doors, Particle Core, 90 minutes, birch face, 3'-0"x7'-0"	1	EA	\$911.17	\$76.94	\$0.00	\$136.93	\$1,125.04
08 41 26.10 0100	Window Walls Alum, Stock, including glazing, Maximum	601	SF	\$222.81	\$13.09	\$0.00	\$30.08	\$159,853.98
08 32 13.10 5030	Sliding Alum Doors, Alum sliding glass door system, folding glass door	1	EA	\$10,676.90	\$461.61	\$0.00	\$1,349.77	\$12,488.28
08 32 13.10 5030	Sliding Alum Doors, Alum sliding glass door system, folding glass door	5	EA	\$10,676.90	\$461.61	\$0.00	\$1,349.77	\$62,441.40
08 11 16.10 0520	Entrance Doors & Frame, Anodizing Alum, 3'-0"x7'-0"	1	EA	\$2,515.50	\$488.37	\$0.00	\$579.36	\$3,583.23
08 83 13.10 0500	Mirrors, No frames, wall type, Door Type, 1/4" plate glass, up to 12sf	318	SF	\$41.91	\$6.43	\$0.00	\$8.35	\$18,027.42
08 83 13.10 0500	Mirrors, No frames, wall type, Door Type, 1/4" plate glass, up to 12sf	25	SF	\$41.91	\$6.43	\$0.00	\$8.35	\$1,417.25
08 81 10.10 3300	Various Types of Float Glass, 3/4" thick, clear, plain, tempered	122	SF	\$114.71	\$29.35	\$0.00	\$29.34	\$21,154.80
08 11 16.10 0520	Entrance Doors & Frame, Anodizing Alum, 3'-0"x7'-0"	1	EA	\$2,515.50	\$488.37	\$0.00	\$579.36	\$3,583.23
08 14 16.20 0790	Wood Fire Doors, Particle Core, 90 minutes, birch face, 3'-0"x7'-0"	4	EA	\$911.17	\$76.94	\$0.00	\$136.93	\$4,500.16
08 41 26.10 0100	Window Walls Alum, Stock, including glazing, Maximum	609	SF	\$222.81	\$13.09	\$0.00	\$30.08	\$161,981.82
08 83 13.10 0500	Mirrors, No frames, wall type, Door Type, 1/4" plate glass, up to 12sf	286	SF	\$41.91	\$6.43	\$0.00	\$8.35	\$16,213.34
08 41 26.10 0100	Window Walls Alum, Stock, including glazing, Maximum	129	SF	\$222.81	\$13.09	\$0.00	\$30.08	\$34,311.42
<b>Subtotal</b>								\$524,557.70

Recreation Credit Cost Estimate Sheet

CASE NUMBER: VTT-83350-CN		AREA 2		EXHIBIT/SHEET REFERENCE: SHEET 06		ESTIMATE TOTAL (2024 Index to LA-RSMEANS)	
RECREATIONAL AMENITY: Level 2 Private Amenity space							
RSMeans Line Number	RSMeans Description	QTY	UNITS	MATERIAL	LABOR	EQUIPMENT	SUBCONTRACT
<b>Division 09</b>							
C1 01 01.26 6250	Drywall Partitions, Metal Stud, 5/8" FR Drywall, 3-5/8"@24" OC	410	SF	\$3.91	\$5.42	\$0.00	\$0.00
C1 01 01.26 6250	Drywall Partitions, Metal Stud, 5/8" FR Drywall, 3-5/8"@24" OC	220	SF	\$3.91	\$5.42	\$0.00	\$0.00
C1 01 01.26 6130	Drywall Partitions, Metal Stud, 5/8" FR Drywall, 3-5/8"@16" OC	230	SF	\$2.70	\$3.89	\$0.00	\$0.00
09 23 20.10 0600	Gypsum Plaster, 2 coats, on walls, incl 3/8" gypsum lath on steel	82	SF	\$1.21	\$3.03	\$0.14	\$1.98
09 23 20.10 0600	Gypsum Plaster, 2 coats, on walls, incl 3/8" gypsum lath on steel	94	SF	\$1.21	\$3.03	\$0.14	\$1.98
09 23 20.10 0600	Gypsum Plaster, 2 coats, on walls, incl 3/8" gypsum lath on steel	692	SF	\$1.21	\$3.03	\$0.14	\$1.98
C1 01 01.26 6130	Drywall Partitions, Metal Stud, 5/8" FR Drywall, 3-5/8"@16" OC	1,030	SF	\$2.70	\$3.89	\$0.00	\$0.00
C1 01 01.26 6250	Drywall Partitions, Metal Stud, 5/8" FR Drywall, 3-5/8"@24" OC	650	SF	\$3.91	\$5.42	\$0.00	\$0.00
09 21 16.23 0710	Gypsum Board shaft wall, 4 hr assembly, 6" J-Track, C-H Studs	80	SF	\$5.37	\$8.86	\$0.00	\$0.00
C1 01 01.26 6130	Drywall Partition at Exterior Skin	190	SF	\$2.70	\$3.89	\$0.00	\$0.00
09 23 20.10 0600	Gypsum Plaster, 2 coats, on walls, incl 3/8" gypsum lath on steel	1,102	SF	\$1.21	\$3.03	\$0.14	\$1.98
09 23 20.10 0600	Gypsum Plaster, 2 coats, on walls, incl 3/8" gypsum lath on steel	17	SF	\$1.21	\$3.03	\$0.14	\$1.98
09 23 20.10 0600	Gypsum Plaster, 2 coats, on walls, incl 3/8" gypsum lath on steel	186	SF	\$1.21	\$3.03	\$0.14	\$1.98
C1 01 01.26 6130	Drywall Partitions, Metal Stud, 5/8" FR Drywall, 3-5/8"@16" OC	220	SF	\$2.70	\$3.89	\$0.00	\$0.00
C1 01 01.26 6130	Drywall Partitions, Metal Stud, 5/8" FR Drywall, 3-5/8"@16" OC	360	SF	\$2.70	\$3.89	\$0.00	\$0.00
C1 01 01.26 6130	Drywall Partitions, Metal Stud, 5/8" FR Drywall, 3-5/8"@16" OC	270	SF	\$3.91	\$5.42	\$0.00	\$0.00
C1 01 01.26 6130	Drywall Partitions, Metal Stud, 5/8" FR Drywall, 3-5/8"@16" OC	80	SF	\$2.70	\$3.89	\$0.00	\$0.00
09 23 20.10 0600	Gypsum Plaster, 2 coats, on walls, incl 3/8" gypsum lath on steel	3	SF	\$1.21	\$3.03	\$0.14	\$1.98
07 21 16.20 1320	Blanket Insulation, Wall or Ceiling insulation, 3/-1/2" thick, R15	500	SF	\$1.21	\$0.40	\$0.00	\$0.00
09 22 26.13 8400	Ceiling Suspension System, 1-5/8" channels, 16" OC	2,334	SF	\$1.50	\$2.42	\$0.00	\$0.00
09 29 15.10 1000	Accessories, Furring Channel, galv steel, 7/8" deep, resilient	796	LF	\$1.45	\$1.91	\$0.00	\$0.00
09 29 10.30 3190	Gypsum Board, On ceilings, standard, with compound skim coat (level 5)	2,334	SF	\$0.81	\$1.59	\$0.00	\$0.00
09 31 13.10 0024	Thin Set Ceramic Tile, Backsplash, Luxury grade tiles	28	SF	\$15.60	\$8.79	\$0.00	\$6.74
09 31 13.10 0100	Thin Set Ceramic Tile, Base using 1'x4" high piece	47	LF	\$4.87	\$6.08	\$0.00	\$4.14
09 31 13.10 0024	Thin Set Ceramic Tile, Backsplash, Luxury grade tiles	161	SF	\$15.60	\$8.79	\$0.00	\$6.74
09 31 13.10 0024	Thin Set Ceramic Tile, Backsplash, Luxury grade tiles	81	SF	\$15.60	\$8.79	\$0.00	\$6.74
09 34 13.10 0030	Ceramic Tile Waterproofing, on floors, Fleece Laminated	161	SF	\$3.38	\$3.11	\$0.00	\$2.19
09 64 23.10 7100	Wood Parquet Flooring, Walnut or teak, intricate pattern	692	SF	\$33.55	\$4.15	\$0.00	\$6.34
09 65 66.10 1050	Resilient Athletic Flooring, Interlocking 2'x2' squares	1060	SF	\$15.60	\$1.27	\$0.00	\$2.30
09 64 23.10 7000	Wood Parquet Flooring, Walnut or teak, plain pattern	379	SF	\$20.24	\$3.66	\$0.00	\$3.88
09 91 23.72 1670	Painting Walls, complete, incl surface prep, 2 coat finish, on drywall	470	SF	\$0.15	\$1.66	\$0.00	\$0.85
09 72 16.16 0100	Rigid Sheet Vinyl Wall Coverings, Acrylic, modified, semi-rigid PVC	74	SF	\$8.84	\$3.84	\$0.00	\$2.69
<b>Subtotal</b>							
<b>Division 09</b>							
<b>\$143,613.23</b>							

Recreation Credit Cost Estimate Sheet

CASE NUMBER: VTT-83350-CN									
RECREATIONAL AMENITY: Level 2 Private Amenity space									
EXHIBIT/SHEET REFERENCE: SHEET 06									
RSMeans Line Number	RSMeans Description	QTY	UNITS	MATERIAL	LABOR	EQUIPMENT	SUBCONTRACT	ESTIMATE TOTAL (2024 Index to LA - RSMEANS)	
<b>Division 10</b>									
10 28 13.13 0610	Commercial Toilet Accessories, Towel Dispenser and waste receptacle	5	EA	\$580.00	\$41.02	\$0.00	\$80.56	\$3,507.90	
10 28 13.13 6200	Commercial Toilet Accessories, Toilet tissue dispenser, double roll	5	EA	\$108.00	\$17.06	\$0.00	\$21.29	\$731.75	
10 28 13.13 6050	Commercial Toilet Accessories, toilet seat dispenser, Surface mounted	5	EA	\$46.00	\$27.35	\$0.00	\$21.14	\$472.45	
10 28 13.13 1100	Commercial Toilet Accessories, Grab bar, 36" long	5	EA	\$44.50	\$20.45	\$0.00	\$17.34	\$411.45	
10 44 13.53 2700	Fire equipment cabinet	3	EA	\$325.00	\$122.47	\$0.00	\$112.28	\$1,679.25	
<b>Subtotal</b>								<b>\$6,802.80</b>	
<b>Division 11</b>									
11 30 13.18 3350	Waste Disposal Equipment, Garbage Disposal sink type, maximum	1	EA	\$255.00	\$59.45	\$0.00	\$62.86	\$377.31	
<b>Subtotal</b>								<b>\$377.31</b>	
<b>Division 12</b>									
12 36 40.10 2800	Natural Stone countertop, Granite, average, 1-1/4" thick, 24" wide	6	LF	\$162.00	\$29.73	\$0.00	\$35.42	\$1,362.90	
12 36 40.10 2800	6" Stone Backsplash Stone countertop Gym Restrooms	6	LF	\$40.50	\$10.85	\$0.00	\$35.42	\$520.62	
12 24 13.10 1400	Shades, Vinyl coated cotton, lightproof decorator shades	2,175	SF	\$10.95	\$0.59	\$0.00	\$1.47	\$28,296.75	
<b>Subtotal</b>								<b>\$30,180.27</b>	
<b>Division 21</b>									
D4 01 04.10 0600	Wet-Fire Sprinkler - concealed heads	2,495	SF	\$4.01	\$2.73	\$0.00	\$0.00	\$16,816.30	
<b>Subtotal</b>								<b>\$16,816.30</b>	
<b>Division 22</b>									
22 42 13.13 3200	Water Closets, Bowl only, Wall Hung, for rough in, waste and vent	5	EA	\$1,700.00	\$365.64	\$0.00	\$403.36	\$12,345.00	
22 41 16.13 7990	Lavatories, Pedestal type, Rough in, supply, waste and vent	5	EA	\$630.00	\$567.60	\$0.00	\$414.40	\$8,060.00	
22 42 13.13 3100	Water Closets, Bowl only, Wall Hung	5	EA	\$1,050.00	\$161.04	\$0.00	\$226.64	\$7,188.40	
22 41 16.13 1040	Lavatories, Vanity Top, Cultured Marble, 25"x19", single bowl	4	EA	\$221.00	\$146.52	\$0.00	\$114.40	\$1,927.68	
22 41 39.10 2280	Faucets & Fittings, Lavatory faucet, single lever handle. satin nickel	4	EA	\$400.00	\$77.88	\$0.00	\$89.50	\$2,269.52	
22 41 16.13 1040	Lavatories, Vanity Top, Cultured Marble, 25"x19", single bowl	1	EA	\$221.00	\$146.52	\$0.00	\$114.40	\$481.92	
22 41 39.10 2280	Faucets & Fittings, Lavatory faucet, single lever handle. satin nickel	1	EA	\$400.00	\$77.88	\$0.00	\$89.50	\$567.38	
22 41 16.13 3580	Lavatories, Vanity top, Rough in, supply, waste and vent	10	EA	\$545.00	\$409.20	\$0.00	\$300.80	\$12,550.00	
22 11 13.23 1200	Pipe/Tube Copper, solder joints, 1" Diameter	300	LF	\$9.60	\$7.92	\$0.00	\$5.90	\$7,026.00	
<b>Subtotal</b>								<b>\$52,415.90</b>	
<b>Division 23</b>									
D3 01 05.10 1760	Apartment Building Heating System, Heating Systems 1,000 sf	2,495	SF	\$9.43	\$11.14	\$0.00	\$0.00	\$51,322.15	
<b>Subtotal</b>								<b>\$51,322.15</b>	

Recreation Credit Cost Estimate Sheet

CASE NUMBER: VTT-83350-CN									
RECREATIONAL AMENITY: Level 2 Private Amenity space									
EXHIBIT/SHEET REFERENCE: SHEET 06									
RSMeans Line Number	RSMeans Description	QTY	UNITS	MATERIAL	LABOR	EQUIPMENT	SUBCONTRACT	ESTIMATE TOTAL (2024 Index to LA - RSM EANS)	
<b>Division 26</b>									
26 51 13.55 0100	Interior LED fixtures, Down Light	10	EA	\$373.03	\$69.94	\$0.00	\$79.22	\$5,221.90	
26 52 13.16 0220	Emergency Lighting, Exit Signs, LED Standard, Double Face	2	EA	\$52.63	\$83.52	\$0.00	\$57.90	\$388.10	
26 51 13.55 2000	Interior LED fixtures, Downlight, Strip, one light bar 4' long	31	EA	\$332.15	\$65.86	\$0.00	\$77.19	\$14,731.20	
26 51 13.55 0100	Interior LED fixtures, Down Light	7	EA	\$373.03	\$69.94	\$0.00	\$79.22	\$3,655.33	
26 52 13.16 0220	Emergency Lighting, Exit Signs, LED Standard, Double Face	4	EA	\$52.63	\$83.52	\$0.00	\$57.90	\$776.20	
D5 02 01.35 0520	Electrical, Misc Power, 3 watts	2,495	SF	\$0.35	\$0.86	\$0.00	\$0.00	\$3,018.95	
D5 02 01.40 0400	Electrical, Central AC Power, 10 Watts	2,495	SF	\$1.06	\$1.03	\$0.00	\$0.00	\$5,214.55	
D5 03 09.10 0220	Electrical, Communication & alarm systems, 12 outlets	1	ea	\$13,183.80	\$18,333.00	\$0.00	\$0.00	\$31,516.80	
<b>Division 26 Subtotal</b>								\$64,523.03	
<b>Division 32</b>									
32 14 13.16 0800	Precast concrete patio block, 2-3/8" thick, Exposed local aggregate colors	400	SF	\$12.39	\$2.83	\$0.00	\$2.98	\$7,280.00	
<b>Division 32 Subtotal</b>								\$7,280.00	
<b>Subtotal</b>								\$1,260,166.71	
<b>(Cost based on Los Angeles 2024 Index)</b>									
Sales Tax 9.5%									
Estimate Subtotal									
Los Angeles City Index/100 Included in Cost Above									
<b>Adjusted Cost (Los Angeles)</b>									
Architectural Fees									
Construction Management									
Permit									
Engineering Fees									
Performance Bond									
Survey									
<b>Grand Total</b>							\$343.30	\$1,704,154.95	



Property Line / No setbacks per CM Zone

**LEVEL 01: RECREATIONAL CREDIT AREA PROVIDED (AREA 1)**

- PROVIDED RECREATIONAL CREDIT AREA TOTAL: 28,859 SF
- PROVIDED PAVED AREA TOTAL: 18,721 SF (64.8%)
- PROVIDED PLANTING AREA WITH ACCESSIBLE PAVED AREA TOTAL: 9,381 SF (32.5%)
- PROVIDED ACCESSIBLE PLANTING AREA IN TRAGED PLANTED TOTAL: 762 SF (2.7%)

**ADDITIONAL RECREATIONAL CREDIT AREA PROVIDED: 33,859 SF**

- AREA 1 - PUBLIC: 17,417 SF (51.5% OF TOTAL)
- AREA 2 - PRIVATE: 16,442 SF (48.5% OF TOTAL)
- LEVEL 01 RECREATIONAL CREDIT AREA (INTERIOR & EXTERIOR): 33,859 SF

**RESIDENTIAL OPEN SPACE CALCULATION**

- EACH UNIT HAVING LESS THAN 3 ROOMS: 100 SF
- EACH UNIT HAVING 3 ROOMS: 175 SF
- EACH UNIT HAVING MORE THAN 3 ROOMS: 175 SF
- REQUIRED USEABLE OPEN SPACE TOTAL: 28,575 SF**

**PROVIDED USEABLE OPEN SPACE TOTAL: 28,575 SF**

- EXTERIOR COMMON OPEN SPACE TOTAL (8% OF TOTAL): 2,301 SF
- LEVEL 01 EXTERIOR COMMON OPEN SPACE: 12,000 SF
- LEVEL 02 EXTERIOR COMMON OPEN SPACE: 10,274 SF
- LEVEL 03 EXTERIOR COMMON OPEN SPACE: 581 SF
- INTERIOR COMMON OPEN SPACE TOTAL (8% OF TOTAL): 2,301 SF
- LEVEL 01 INTERIOR COMMON OPEN SPACE: 1,100 SF
- LEVEL 02 INTERIOR COMMON OPEN SPACE: 1,201 SF

**REQUIRED PLANTED OPEN SPACE TOTAL: 7,144 SF**

- LEVEL 01 PLANTED COMMON OPEN SPACE: 3,327 SF
- LEVEL 02 PLANTED COMMON OPEN SPACE: 3,817 SF
- PROVIDED PLANTED OPEN SPACE TOTAL: 7,144 SF**

**RECREATIONAL CREDIT AREA (PUBLIC)**

3401 & 3411 S LA CIENEGA BLVD.  
LOS ANGELES, CA 90018

PROJECT: 200000  
DATE: 11/11/2024  
SHEET 01



DATE: 11/11/2024  
SCALE: AS SHOWN

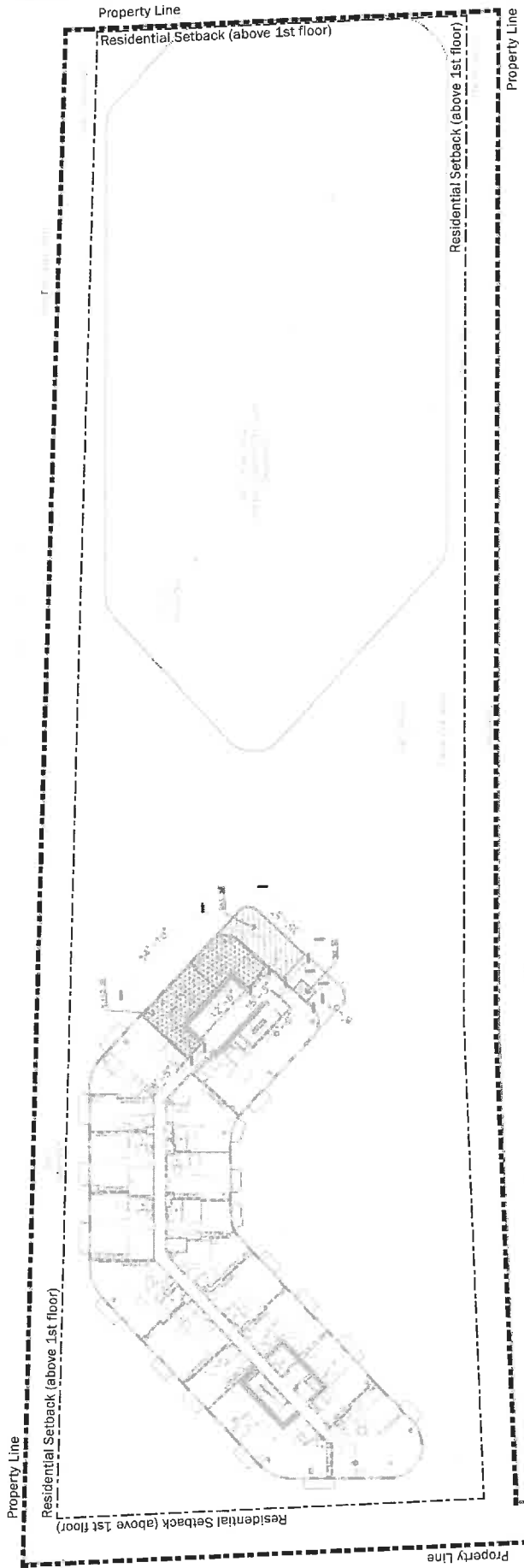
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DRAWN BY: [Firm Name]  
CHECKED BY: [Firm Name]  
DATE: 11/11/2024

RECREATIONAL CREDIT AREA PROVIDED (AREA 1)  
PROVIDED RECREATIONAL CREDIT AREA TOTAL: 28,859 SF  
PROVIDED PAVED AREA TOTAL: 18,721 SF (64.8%)  
PROVIDED PLANTING AREA WITH ACCESSIBLE PAVED AREA TOTAL: 9,381 SF (32.5%)  
PROVIDED ACCESSIBLE PLANTING AREA IN TRAGED PLANTED TOTAL: 762 SF (2.7%)

RECREATIONAL CREDIT AREA (PUBLIC)  
REQUIRED PLANTED OPEN SPACE TOTAL: 7,144 SF  
LEVEL 01 PLANTED COMMON OPEN SPACE: 3,327 SF  
LEVEL 02 PLANTED COMMON OPEN SPACE: 3,817 SF







**LEVEL 12: COMMON OPEN SPACE**

- PROVIDED COMMON USEABLE OPEN SPACE TOTAL: 651 SF
- PROVIDED INTERIOR COMMON OPEN SPACE TOTAL: 1,110 SF
- PROVIDED PRIVATE OPEN SPACE TOTAL: 80 SF

**ADDITIONAL RECREATIONAL CREDIT AREA PROVIDED: 33,859 SF**

- AREA 1 - PUBLIC: 17,691 SF INTERIOR RECREATIONAL CREDIT AREA INCLUDING IN-COURT, 28,885 SF
- AREA 2 - LEVEL 12 RECREATIONAL CREDIT AREA: INTERIOR & EXTERIOR: 4,864 SF

**RESIDENTIAL OPEN SPACE CALCULATION**

- EACH UNIT HAVING LESS THAN 3 ROOMS: 100 SF
- EACH UNIT HAVING 3 ROOMS: 174 SF
- EACH UNIT HAVING MORE THAN 3 ROOMS: 175 SF

**REQUIRED USEABLE OPEN SPACE TOTAL: 28,575 SF**

157 UNITS x 180 SF = 28,260 SF + 315 SF = 28,575 SF  
 MINIMUM REQUIREMENTS AS APPLICABLE TO TOTAL USEABLE OPEN SPACE  
 EXTERIOR COMMON OPEN SPACE MUST CONSTITUTE 10% 50% OF TOTAL  
 INTERIOR COMMON OPEN SPACE MAY CONSTITUTE MAX. 75% OF TOTAL  
 EXTERIOR PRIVATE OPEN SPACE MAY CONSTITUTE MAX. 20% OF TOTAL

**PROVIDED USEABLE OPEN SPACE TOTAL: 28,575 SF**

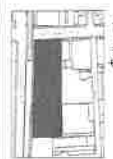
- EXTERIOR COMMON OPEN SPACE TOTAL (MIN. OF TOTAL REQUIRED) MUST CONSTITUTE 28% OF TOTAL: 28,575 SF
- LEVEL 01 EXTERIOR COMMON OPEN SPACE: 12,000 SF
- LEVEL 02 EXTERIOR COMMON OPEN SPACE: 12,000 SF
- LEVEL 03 EXTERIOR COMMON OPEN SPACE: 150 SF
- INTERIOR COMMON OPEN SPACE TOTAL (MIN. OF TOTAL REQUIRED) MUST CONSTITUTE 50% OF TOTAL: 14,287 SF
- LEVEL 01 INTERIOR COMMON OPEN SPACE: 7,144 SF
- LEVEL 02 INTERIOR COMMON OPEN SPACE: 7,143 SF
- LEVEL 03 INTERIOR COMMON OPEN SPACE: 0 SF
- LEVEL 04 INTERIOR COMMON OPEN SPACE: 0 SF
- LEVEL 05 INTERIOR COMMON OPEN SPACE: 0 SF
- LEVEL 06 INTERIOR COMMON OPEN SPACE: 0 SF
- LEVEL 07 INTERIOR COMMON OPEN SPACE: 0 SF
- LEVEL 08 INTERIOR COMMON OPEN SPACE: 0 SF
- LEVEL 09 INTERIOR COMMON OPEN SPACE: 0 SF
- LEVEL 10 INTERIOR COMMON OPEN SPACE: 0 SF
- LEVEL 11 INTERIOR COMMON OPEN SPACE: 0 SF
- LEVEL 12 INTERIOR COMMON OPEN SPACE: 7,144 SF

**REQUIRED PLANTED OPEN SPACE TOTAL: 7,144 SF**

28,575 SF REQUIRED COMMON OPEN SPACE (28%)

**PROVIDED PLANTED OPEN SPACE TOTAL: 7,144 SF**

- LEVEL 01 PLANTED COMMON OPEN SPACE: 3,572 SF
- LEVEL 02 PLANTED COMMON OPEN SPACE: 3,572 SF



NO.	DATE	DESCRIPTION
1	11/11/11	ISSUED FOR PERMITTING
2	11/11/11	ISSUED FOR PERMITTING
3	11/11/11	ISSUED FOR PERMITTING
4	11/11/11	ISSUED FOR PERMITTING
5	11/11/11	ISSUED FOR PERMITTING
6	11/11/11	ISSUED FOR PERMITTING
7	11/11/11	ISSUED FOR PERMITTING
8	11/11/11	ISSUED FOR PERMITTING
9	11/11/11	ISSUED FOR PERMITTING
10	11/11/11	ISSUED FOR PERMITTING

NO.	DATE	DESCRIPTION
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7	11/11/11	ISSUED FOR PERMITTING
8	11/11/11	ISSUED FOR PERMITTING
9	11/11/11	ISSUED FOR PERMITTING
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9	11/11/11	ISSUED FOR PERMITTING
10	11/11/11	ISSUED FOR PERMITTING

NO.	DATE	DESCRIPTION
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8	11/11/11	ISSUED FOR PERMITTING
9	11/11/11	ISSUED FOR PERMITTING
10	11/11/11	ISSUED FOR PERMITTING

3401 & 3411 S LA CIENEGA BLVD.  
 LOS ANGELES, CA 90006  
 PROJECT: 200400  
 L.A. CITY PLANNING DEPARTMENT  
 11/11/11

10085  
 LA 315 24  
 PROJECT NO. 10085



LEVEL 01 - CONCRETE PAVEMENT



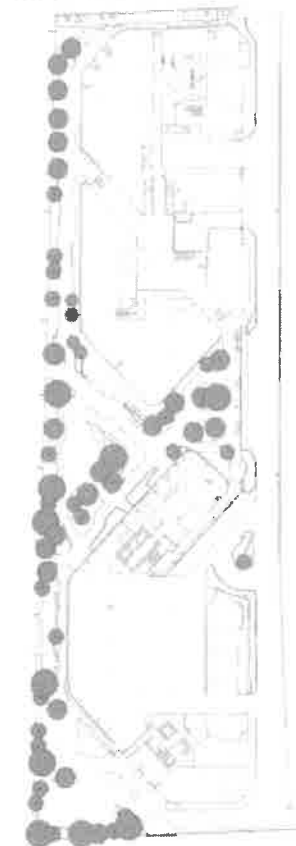
LEVEL 02 - CONCRETE PAVEMENT



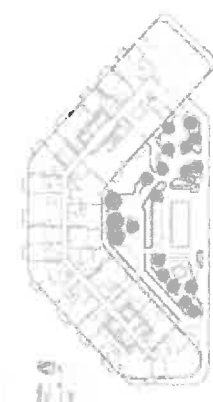
LEVEL 03 - PRIVATE DRIVEWAY



LEVEL 04 - CONCRETE PAVEMENT



LEVEL 05 - ASPHALT DRIVEWAY



LEVEL 06 - PAVED DRIVEWAY

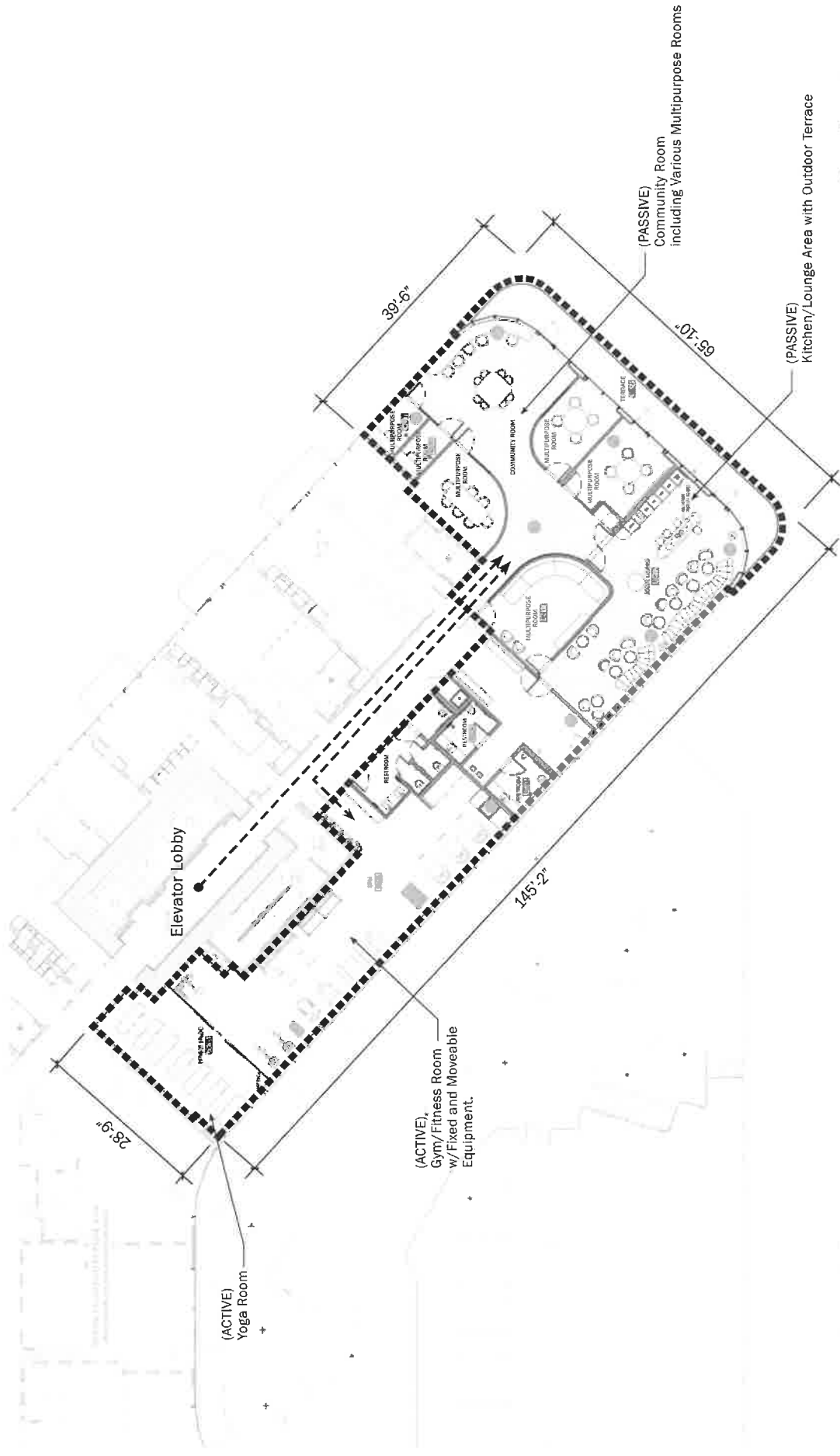
SEE REQUIRED DRAWINGS  
 SEE REQUIRED DRAWINGS  
 SEE REQUIRED DRAWINGS

**3401 & 3411 S LA CIENEGA BLVD.**  
 LOS ANGELES, CA 90015

NO.	DESCRIPTION	DATE	BY	CHKD.
1	ISSUED FOR PERMITS	08/15/2018	J. GARCIA	M. GARCIA
2	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
3	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
4	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
5	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
6	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
7	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
8	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
9	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
10	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
11	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
12	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
13	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
14	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
15	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
16	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
17	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
18	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
19	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
20	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
21	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
22	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
23	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
24	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
25	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
26	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
27	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
28	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
29	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
30	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
31	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
32	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
33	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
34	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
35	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
36	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
37	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
38	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
39	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
40	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
41	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
42	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
43	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
44	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
45	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
46	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
47	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
48	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
49	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA
50	REVISIONS	08/15/2018	J. GARCIA	M. GARCIA

PROJECT NO. 10085  
 LA 315 24  
 PROJECT NO. 10085

SHEET 04



RECREATIONAL CREDIT AREA (PRIVATE)

**3401 & 3411 S LA CIENEGA BLVD.**  
LOS ANGELES, CA 90006

DATE: 08/11/2010  
DRAWN BY: J. L. GARCIA  
CHECKED BY: J. L. GARCIA  
SCALE: 1/8" = 1'-0"

PROJECT NO: 10000000  
SHEET NO: 05

ARCHITECT: J. L. GARCIA & ASSOCIATES  
10000 W. PICO BLVD., SUITE 1000  
LOS ANGELES, CA 90006  
TEL: 310.441.1111  
WWW.JLGARCIA.COM

CONTRACT NO: 10000000  
SHEET NO: 05

DATE: 08/11/2010  
DRAWN BY: J. L. GARCIA  
CHECKED BY: J. L. GARCIA  
SCALE: 1/8" = 1'-0"

PROJECT NO: 10000000  
SHEET NO: 05

ARCHITECT: J. L. GARCIA & ASSOCIATES  
10000 W. PICO BLVD., SUITE 1000  
LOS ANGELES, CA 90006  
TEL: 310.441.1111  
WWW.JLGARCIA.COM

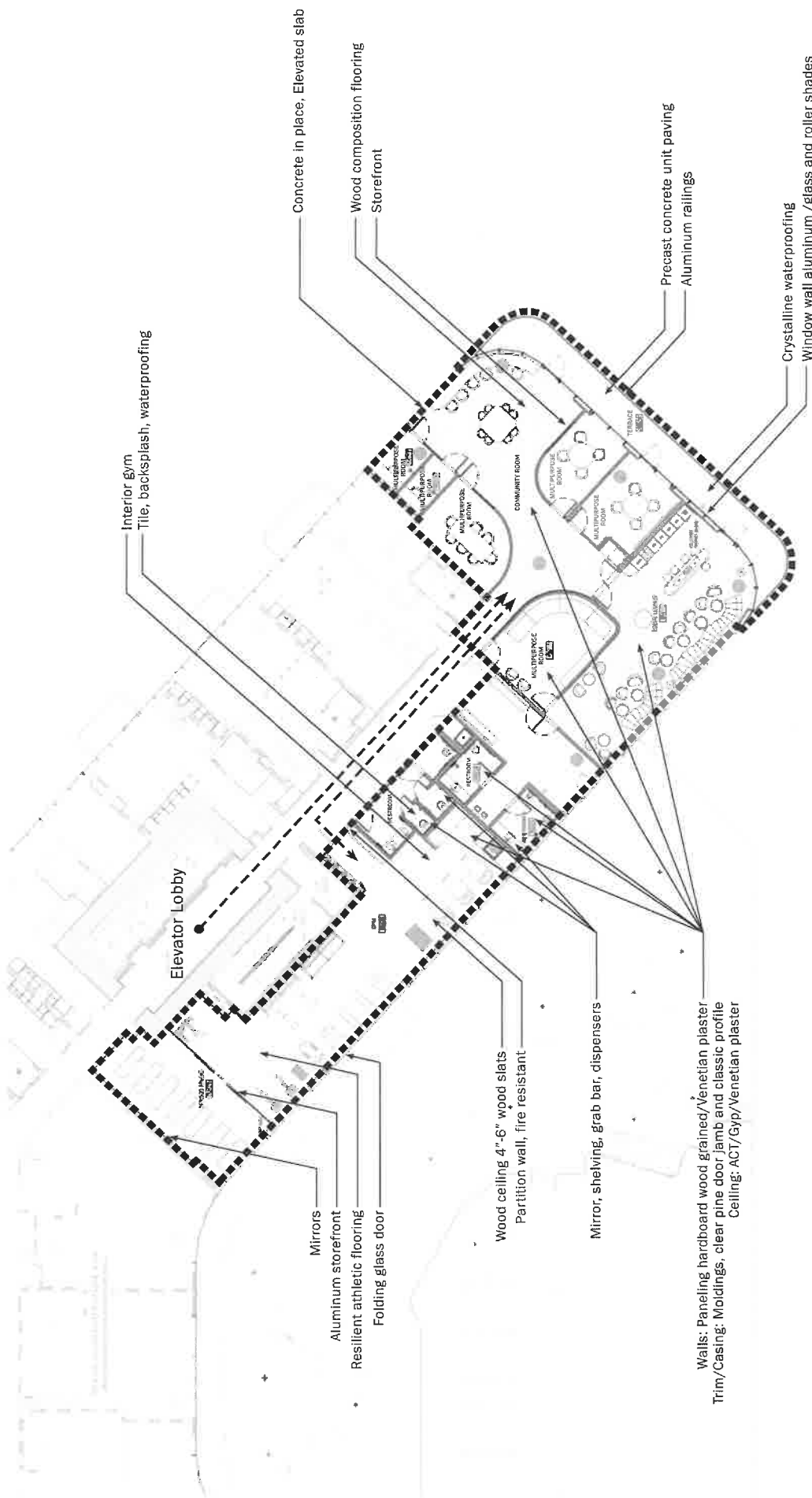
CONTRACT NO: 10000000  
SHEET NO: 05

DATE: 08/11/2010  
DRAWN BY: J. L. GARCIA  
CHECKED BY: J. L. GARCIA  
SCALE: 1/8" = 1'-0"

PROJECT NO: 10000000  
SHEET NO: 05

ARCHITECT: J. L. GARCIA & ASSOCIATES  
10000 W. PICO BLVD., SUITE 1000  
LOS ANGELES, CA 90006  
TEL: 310.441.1111  
WWW.JLGARCIA.COM

CONTRACT NO: 10000000  
SHEET NO: 05



Interior gym  
Tile, backplash, waterproofing

Elevator Lobby

Mirrors  
Aluminum storefront  
Resilient athletic flooring  
Folding glass door

Concrete in place, Elevated slab  
Wood composition flooring  
Storefront

Wood ceiling 4"-6" wood slats  
Partition wall, fire resistant

Mirror, shelving, grab bar, dispensers  
Walls: Paneling hardboard wood grained/Venetian plaster  
Trim/Casing: Moldings, clear pine door jamb and classic profile  
Ceiling: ACT/Gyp/Venetian plaster

Precast concrete unit paving  
Aluminum railings

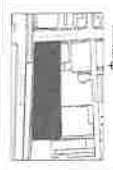
Crystalline waterproofing  
Window wall aluminum /glass and roller shades

## AREA 2 : Level 2 Private Amenity Space (Privately Accessible Space)

3401 & 3411 S LA CIENEGA BLVD.  
LOS ANGELES, CA 90016



PROJECT # 2006490  
ARCHITECT  
SHEET 06



GENERAL NOTES:  
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC) AND THE CALIFORNIA MECHANICAL CODE (CMC).  
2. ALL MATERIALS AND METHODS SHALL BE APPROVED BY THE ARCHITECT.  
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.  
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT AREAS AT ALL TIMES.  
5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.  
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.  
7. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.

DATE: 08/15/2016  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
APPROVED BY: [Name]

DATE: 08/15/2016  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
APPROVED BY: [Name]

DATE: 08/15/2016  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
APPROVED BY: [Name]

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APPROVED BY: [Name]

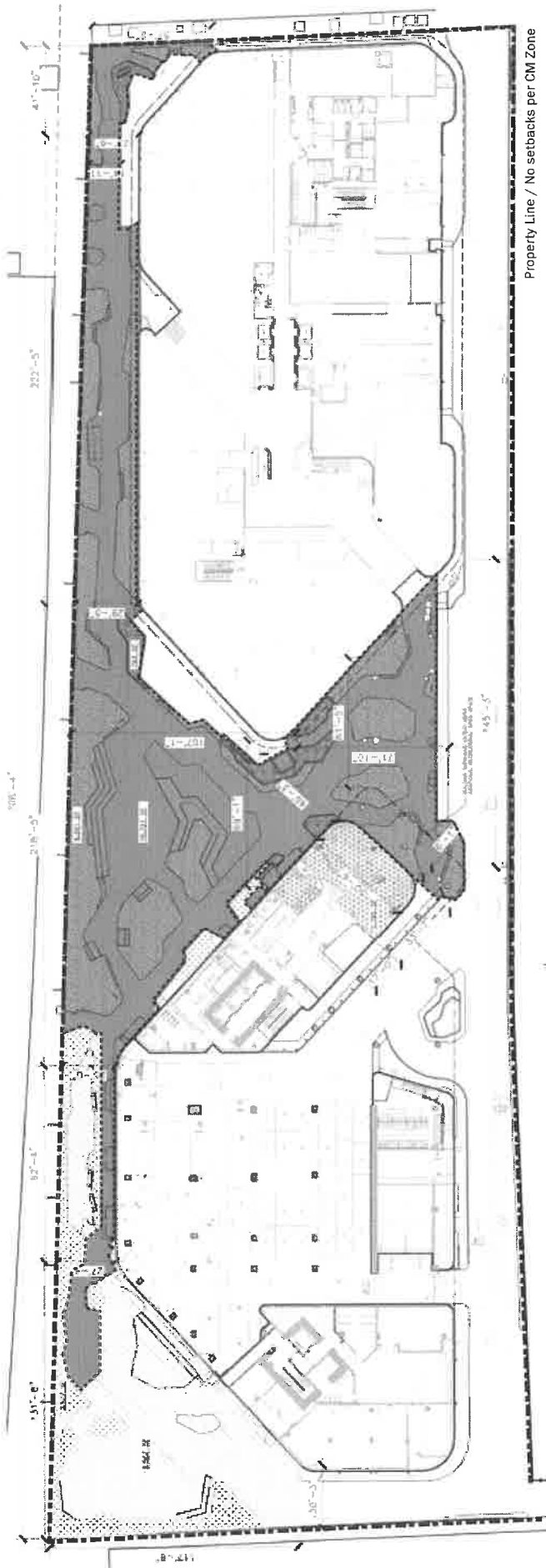
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DRAWN BY: [Name]  
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DATE: 08/15/2016  
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DATE: 08/15/2016  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
APPROVED BY: [Name]

DATE: 08/15/2016  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
APPROVED BY: [Name]



Property Line / No setbacks per CM Zone

**ADDITIONAL RECREATIONAL CREDIT AREA PROVIDED:**  
**33,959 SF**

- AREA 1 - PUBLIC
- LEVEL 01 EXTERIOR COMMON OPEN SPACE
- LEVEL 02 EXTERIOR COMMON OPEN SPACE
- LEVEL 03 EXTERIOR COMMON OPEN SPACE

**LEVEL 01: RECREATIONAL CREDIT AREA PROVIDED (AREA 1)**

- PROVIDED RECREATIONAL CREDIT AREA TOTAL: 28,575 SF
- PROVIDED PAVED AREA TOTAL: 18,727 SF (65.9%)
- PROVIDED PLANTING AREA FLUSH WITH ACCESSIBLE PAVED AREA TOTAL: 9,391 SF (33.0%)
- PROVIDED INACCESSIBLE PLANTING AREA IN RIMPED PLANTED TOTAL: 792 SF (2.8%)

**RECREATIONAL CREDIT AREA (PUBLIC)**

**3401 & 3411 S LA CIENEGA BLVD.**  
 LOS ANGELES, CA 90008

**SHEET 01**

**REQUIRED USEABLE OPEN SPACE TOTAL: 28,575 SF**  
 (EXTERIOR COMMON OPEN SPACE TOTAL 10% OF TOTAL FLOOR AREA MUST CONSTITUTE 50% OF TOTAL)

- LEVEL 01 EXTERIOR COMMON OPEN SPACE: 12,694 SF
- LEVEL 02 EXTERIOR COMMON OPEN SPACE: 8,781 SF
- LEVEL 03 EXTERIOR COMMON OPEN SPACE: 7,100 SF
- MAX. ALLOWED MAY CONSTITUTE 25% OF TOTAL: 2,800 SF
- LEVEL 01 INTERIOR COMMON OPEN SPACE: 1,144 SF
- LEVEL 02 INTERIOR COMMON OPEN SPACE: 1,144 SF
- LEVEL 03 INTERIOR COMMON OPEN SPACE: 1,144 SF
- MAX. ALLOWED MAY CONSTITUTE 50% OF TOTAL: 572 SF
- LEVEL 01 PRIVATE OPEN SPACE: 100 SF
- LEVEL 02 PRIVATE OPEN SPACE: 700 SF
- LEVEL 03 PRIVATE OPEN SPACE: 50 SF

**REQUIRED PLANTED OPEN SPACE TOTAL: 7,144 SF**  
 (EXTERIOR COMMON OPEN SPACE 25%)

- LEVEL 01 PLANTED COMMON OPEN SPACE: 3,572 SF
- LEVEL 02 PLANTED COMMON OPEN SPACE: 3,572 SF

**RESIDENTIAL OPEN SPACE CALCULATION**

EACH UNIT HAVING MORE THAN 3 ROOMS: 100 SF  
 EACH UNIT HAVING 3 ROOMS: 175 SF  
 EACH UNIT HAVING MORE THAN 3 ROOMS: 175 SF

**REQUIRED USEABLE OPEN SPACE TOTAL: 28,575 SF**  
 (57 sq. ft. x 175 sq. ft. x 1,000 units = 9,817,500 sq. ft. / 344 = 28,575 SF)

MIN. MAX. REQUIREMENT IS AS A PERCENTAGE OF TOTAL USEABLE OPEN SPACE.  
 EXTERIOR COMMON OPEN SPACE MUST CONSTITUTE MIN. 10% OF TOTAL FLOOR AREA.  
 EXTERIOR PRIVATE OPEN SPACE MAY CONSTITUTE MAX. 50% OF TOTAL FLOOR AREA.

**RECREATIONAL CREDIT AREA (PUBLIC)**

**LEVEL 01: RECREATIONAL CREDIT AREA PROVIDED (AREA 1)**

- PROVIDED RECREATIONAL CREDIT AREA TOTAL: 28,575 SF
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- PROVIDED PLANTING AREA FLUSH WITH ACCESSIBLE PAVED AREA TOTAL: 9,391 SF (33.0%)
- PROVIDED INACCESSIBLE PLANTING AREA IN RIMPED PLANTED TOTAL: 792 SF (2.8%)

**RECREATIONAL CREDIT AREA (PUBLIC)**

**LEVEL 01: RECREATIONAL CREDIT AREA PROVIDED (AREA 1)**

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- PROVIDED PLANTING AREA FLUSH WITH ACCESSIBLE PAVED AREA TOTAL: 9,391 SF (33.0%)
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**RECREATIONAL CREDIT AREA (PUBLIC)**

**LEVEL 01: RECREATIONAL CREDIT AREA PROVIDED (AREA 1)**

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**RECREATIONAL CREDIT AREA (PUBLIC)**

**LEVEL 01: RECREATIONAL CREDIT AREA PROVIDED (AREA 1)**

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- PROVIDED PLANTING AREA FLUSH WITH ACCESSIBLE PAVED AREA TOTAL: 9,391 SF (33.0%)
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**RECREATIONAL CREDIT AREA (PUBLIC)**

**LEVEL 01: RECREATIONAL CREDIT AREA PROVIDED (AREA 1)**

- PROVIDED RECREATIONAL CREDIT AREA TOTAL: 28,575 SF
- PROVIDED PAVED AREA TOTAL: 18,727 SF (65.9%)
- PROVIDED PLANTING AREA FLUSH WITH ACCESSIBLE PAVED AREA TOTAL: 9,391 SF (33.0%)
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**RECREATIONAL CREDIT AREA (PUBLIC)**

**LEVEL 01: RECREATIONAL CREDIT AREA PROVIDED (AREA 1)**

- PROVIDED RECREATIONAL CREDIT AREA TOTAL: 28,575 SF
- PROVIDED PAVED AREA TOTAL: 18,727 SF (65.9%)
- PROVIDED PLANTING AREA FLUSH WITH ACCESSIBLE PAVED AREA TOTAL: 9,391 SF (33.0%)
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**RECREATIONAL CREDIT AREA (PUBLIC)**

**LEVEL 01: RECREATIONAL CREDIT AREA PROVIDED (AREA 1)**

- PROVIDED RECREATIONAL CREDIT AREA TOTAL: 28,575 SF
- PROVIDED PAVED AREA TOTAL: 18,727 SF (65.9%)
- PROVIDED PLANTING AREA FLUSH WITH ACCESSIBLE PAVED AREA TOTAL: 9,391 SF (33.0%)
- PROVIDED INACCESSIBLE PLANTING AREA IN RIMPED PLANTED TOTAL: 792 SF (2.8%)

**RECREATIONAL CREDIT AREA (PUBLIC)**

**LEVEL 01: RECREATIONAL CREDIT AREA PROVIDED (AREA 1)**

- PROVIDED RECREATIONAL CREDIT AREA TOTAL: 28,575 SF
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**RECREATIONAL CREDIT AREA (PUBLIC)**

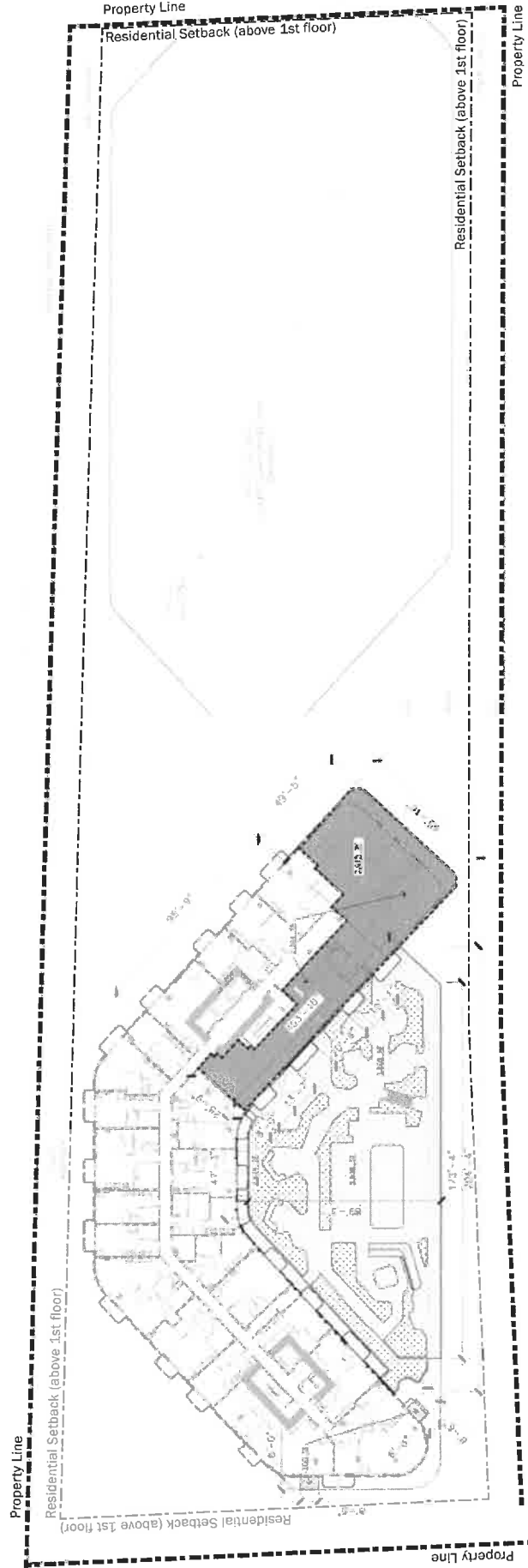
**LEVEL 01: RECREATIONAL CREDIT AREA PROVIDED (AREA 1)**

- PROVIDED RECREATIONAL CREDIT AREA TOTAL: 28,575 SF
- PROVIDED PAVED AREA TOTAL: 18,727 SF (65.9%)
- PROVIDED PLANTING AREA FLUSH WITH ACCESSIBLE PAVED AREA TOTAL: 9,391 SF (33.0%)
- PROVIDED INACCESSIBLE PLANTING AREA IN RIMPED PLANTED TOTAL: 792 SF (2.8%)

**RECREATIONAL CREDIT AREA (PUBLIC)**

**LEVEL 01: RECREATIONAL CREDIT AREA PROVIDED (AREA 1)**

- PROVIDED RECREATIONAL CREDIT AREA TOTAL: 28,575 SF
- PROVIDED PAVED AREA TOTAL: 18,727 SF (65.9%)
- PROVIDED PLANTING AREA FLUSH WITH ACCESSIBLE PAVED AREA TOTAL: 9,391 SF (33.0%)
- PROVIDED INACCESSIBLE PLANTING AREA IN RIMPED PLANTED TOTAL: 792 SF (2.8%)



**LEVEL 02 RECREATIONAL CREDIT AREA PROVIDED (AREA 2)**

PROVIDED RECREATIONAL CREDIT AREA TOTAL: 4,304 SF

**ADDITIONAL RECREATIONAL CREDIT AREA PROVIDED:**

33,859 SF

AREA 1 - PUBLIC:  
LEVEL 01 EXTERIOR RECREATIONAL CREDIT AREA (INDOOR/OUTDOOR) = 48,885 SF

AREA 2 - PRIVATE:  
LEVEL 02 RECREATIONAL CREDIT AREA (INTERIOR & EXTERIOR) = 4,304 SF

**RESIDENTIAL OPEN SPACE CALCULATION**

EACH UNIT HAVING LESS THAN 11 ROOMS  
EACH UNIT HAVING 12 ROOMS  
EACH UNIT HAVING MORE THAN 13 ROOMS

**REQUIRED USEABLE OPEN SPACE TOTAL: 28,575 SF**

1.5% OF 1,902 S.F. = 128 S.F. (30 S.F. = 178 S.F.)

MIN. 7.5% REQUIREMENT AS A PERCENTAGE OF TOTAL USEABLE OPEN SPACE

EXTERIOR COMMON OPEN SPACE MUST CONTRIBUTE MIN. 30% OF TOTAL COMMON OPEN SPACE AND INTERIOR COMMON OPEN SPACE OF TOTAL EXTERIOR PRIVATE OPEN SPACE MUST CONTRIBUTE MIN. 30% OF TOTAL

**PROVIDED USEABLE OPEN SPACE TOTAL: 28,575 SF**

EXTERIOR COMMON OPEN SPACE TOTAL (MIN. 30% OF TOTAL)  
MAY REQUIRE MISC. MUST CONTRIBUTE 20% OF TOTAL

LEVEL 01 EXTERIOR COMMON OPEN SPACE  
LEVEL 02 EXTERIOR COMMON OPEN SPACE

INTERIOR COMMON OPEN SPACE TOTAL (MIN. 30% OF TOTAL)  
MAY ALLOWED TO CONTRIBUTE 20% OF TOTAL

LEVEL 01 INTERIOR COMMON OPEN SPACE  
LEVEL 02 INTERIOR COMMON OPEN SPACE

EXTERIOR OPEN SPACE (MIN. 30% OF TOTAL)  
MAY ALLOWED TO CONTRIBUTE 30% OF TOTAL

LEVEL 01 PRIVATE OPEN SPACE  
LEVEL 02 PRIVATE OPEN SPACE  
LEVEL 03 PRIVATE OPEN SPACE

**REQUIRED PLANTED OPEN SPACE TOTAL: 7,144 SF**

0.25% OF REQUIRED COMMON OPEN SPACE = 324

**PROVIDED PLANTED OPEN SPACE TOTAL: 7,144 SF**

LEVEL 01 PLANTED COMMON OPEN SPACE  
LEVEL 02 PLANTED COMMON OPEN SPACE

**RECREATIONAL CREDIT AREA (PUBLIC)**

**3401 & 3411 S LA CIENEGA BLVD.**  
LOS ANGELES, CA 90015

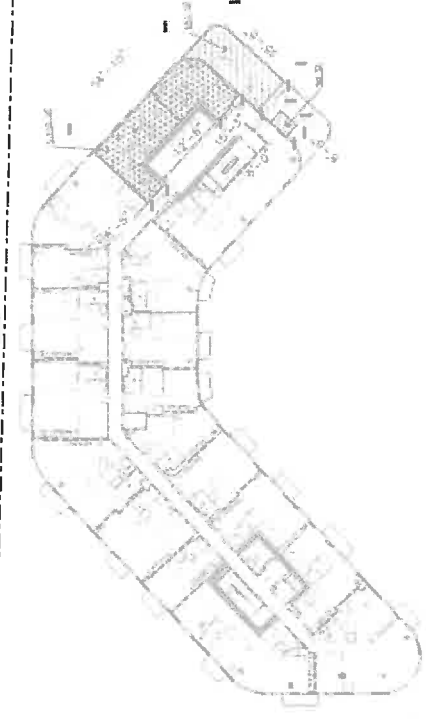
REQUIREMENT	PROVIDED	REQUIREMENT	PROVIDED
MINIMUM RECREATIONAL CREDIT AREA	4,304 SF	MINIMUM RECREATIONAL CREDIT AREA (PUBLIC)	4,304 SF
MINIMUM RECREATIONAL CREDIT AREA (PRIVATE)	4,304 SF	MINIMUM RECREATIONAL CREDIT AREA (PRIVATE)	4,304 SF
MINIMUM RECREATIONAL CREDIT AREA (TOTAL)	8,608 SF	MINIMUM RECREATIONAL CREDIT AREA (TOTAL)	8,608 SF
MINIMUM RECREATIONAL CREDIT AREA (PUBLIC) (MINIMUM 10%)	4,304 SF	MINIMUM RECREATIONAL CREDIT AREA (PUBLIC) (MINIMUM 10%)	4,304 SF
MINIMUM RECREATIONAL CREDIT AREA (PRIVATE) (MINIMUM 10%)	4,304 SF	MINIMUM RECREATIONAL CREDIT AREA (PRIVATE) (MINIMUM 10%)	4,304 SF
MINIMUM RECREATIONAL CREDIT AREA (TOTAL) (MINIMUM 10%)	8,608 SF	MINIMUM RECREATIONAL CREDIT AREA (TOTAL) (MINIMUM 10%)	8,608 SF



REQUIREMENT	PROVIDED
MINIMUM PLANTED OPEN SPACE	7,144 SF
MINIMUM PLANTED OPEN SPACE (PUBLIC)	7,144 SF
MINIMUM PLANTED OPEN SPACE (PRIVATE)	7,144 SF
MINIMUM PLANTED OPEN SPACE (TOTAL)	7,144 SF
MINIMUM PLANTED OPEN SPACE (PUBLIC) (MINIMUM 10%)	7,144 SF
MINIMUM PLANTED OPEN SPACE (PRIVATE) (MINIMUM 10%)	7,144 SF
MINIMUM PLANTED OPEN SPACE (TOTAL) (MINIMUM 10%)	7,144 SF

Property Line

Residential Setback (above 1st floor)



Property Line

Residential Setback (above 1st floor)

Property Line

Residential Setback (above 1st floor)

### LEVEL 12: COMMON OPEN SPACE

- PROVIDED COMMON USABLE OPEN SPACE TOTAL: 551 SF
- PROVIDED INTERIOR COMMON OPEN SPACE TOTAL: 1,310 SF
- PROVIDED PRIVATE CREDIT SPACE TOTAL: 80 SF

### ADDITIONAL RECREATIONAL CREDIT AREA PROVIDED:

- AREA 1 - PUBLIC: 33,859 SF
- AREA 2 - PRIVATE: 4,064 SF

### RESIDENTIAL OPEN SPACE CALCULATION

- EACH UNIT HAVING LESS THAN 3 ROOMS: 100 SF
- EACH UNIT HAVING 3 ROOMS: 178 SF
- EACH UNIT HAVING MORE THAN 3 ROOMS: 178 SF

REQUIRED USABLE OPEN SPACE TOTAL: 28,575 SF

MIN. MAX REQUIREMENT AS A PERCENTAGE OF TOTAL USABLE OPEN SPACE: 100% (28,575 SF) - 100% (28,575 SF)

### PROVIDED USABLE OPEN SPACE TOTAL: 28,575 SF

- LEVEL 12 EXTERIOR COMMON OPEN SPACE: 25,747 SF
- LEVEL 12 INTERIOR COMMON OPEN SPACE: 13,084 SF
- LEVEL 12 PRIVATE COMMON OPEN SPACE: 12,098 SF
- LEVEL 12 PRIVATE OPEN SPACE: 561 SF

INTERIOR COMMON OPEN SPACE TOTAL (MIN. OF TOTAL): 2,800 SF

LEVEL 12 INTERIOR COMMON OPEN SPACE: 1,706 SF

LEVEL 12 PRIVATE COMMON OPEN SPACE: 1,100 SF

LEVEL 12 PRIVATE OPEN SPACE: 800 SF

LEVEL 12 PRIVATE OPEN SPACE: 108 SF

LEVEL 12 PRIVATE OPEN SPACE: 700 SF

LEVEL 12 PRIVATE OPEN SPACE: 30 SF

REQUIRED PLANTED OPEN SPACE TOTAL: 7,144 SF

LEVEL 12 PLANTED COMMON OPEN SPACE: 3,267 SF

LEVEL 12 PLANTED COMMON OPEN SPACE: 3,877 SF

### LEVEL 12: PLANTED COMMON OPEN SPACE

LEVEL 12 PLANTED COMMON OPEN SPACE: 3,267 SF

LEVEL 12 PLANTED COMMON OPEN SPACE: 3,877 SF

### RECREATIONAL CREDIT AREA PROVIDED

AREA 1 - PUBLIC: 33,859 SF

AREA 2 - PRIVATE: 4,064 SF

### RESIDENTIAL OPEN SPACE CALCULATION

EACH UNIT HAVING LESS THAN 3 ROOMS: 100 SF

EACH UNIT HAVING 3 ROOMS: 178 SF

EACH UNIT HAVING MORE THAN 3 ROOMS: 178 SF

### REQUIRED USABLE OPEN SPACE TOTAL: 28,575 SF

MIN. MAX REQUIREMENT AS A PERCENTAGE OF TOTAL USABLE OPEN SPACE: 100% (28,575 SF) - 100% (28,575 SF)

EXTERIOR COMMON OPEN SPACE MUST CONSTITUTE MIN. AMOUNT TOTAL: 25,747 SF

INTERIOR COMMON OPEN SPACE MUST CONSTITUTE MAX. 50% OF TOTAL: 13,084 SF

### PROVIDED USABLE OPEN SPACE TOTAL: 28,575 SF

LEVEL 12 EXTERIOR COMMON OPEN SPACE: 25,747 SF

LEVEL 12 INTERIOR COMMON OPEN SPACE: 13,084 SF

LEVEL 12 PRIVATE COMMON OPEN SPACE: 12,098 SF

LEVEL 12 PRIVATE OPEN SPACE: 561 SF

### REQUIRED PLANTED OPEN SPACE TOTAL: 7,144 SF

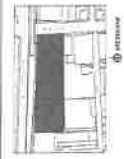
LEVEL 12 PLANTED COMMON OPEN SPACE: 3,267 SF

LEVEL 12 PLANTED COMMON OPEN SPACE: 3,877 SF

PROJECT: 1600000  
 DATE: 11/11/2014  
 SHEET 03



NO.	DESCRIPTION	DATE
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7	ISSUED FOR PERMIT	11/11/2014
8	ISSUED FOR PERMIT	11/11/2014
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10	ISSUED FOR PERMIT	11/11/2014

3401 & 3411 S LA CIENEGA BLVD.  
 LOS ANGELES, CA 90008

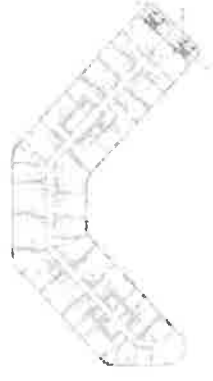
LOBBY  
 LA 7.15.24  
 11/15/24



LEVEL 1 - COMMERCIAL OFFICE



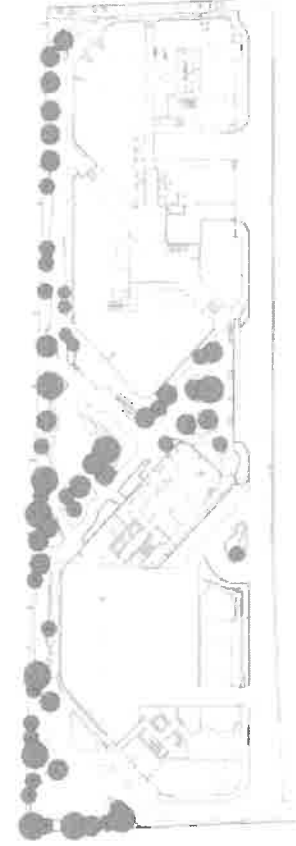
LEVEL 2 - COMMERCIAL OFFICE



LEVEL 3 - COMMERCIAL OFFICE



LEVEL 4 - COMMERCIAL OFFICE



LEVEL 5 - COMMERCIAL OFFICE



LEVEL 6 - COMMERCIAL OFFICE

REVISIONS

NO.	DATE	DESCRIPTION
1	11/15/24	ISSUED FOR PERMIT
2	11/15/24	ISSUED FOR PERMIT
3	11/15/24	ISSUED FOR PERMIT
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REVISIONS

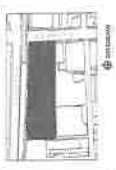
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20	11/15/24	ISSUED FOR PERMIT

REVISIONS

NO.	DATE	DESCRIPTION
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24	11/15/24	ISSUED FOR PERMIT
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30	11/15/24	ISSUED FOR PERMIT



NO.	DATE	DESCRIPTION
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7	11/15/24	ISSUED FOR PERMIT
8	11/15/24	ISSUED FOR PERMIT
9	11/15/24	ISSUED FOR PERMIT
10	11/15/24	ISSUED FOR PERMIT



SECTION

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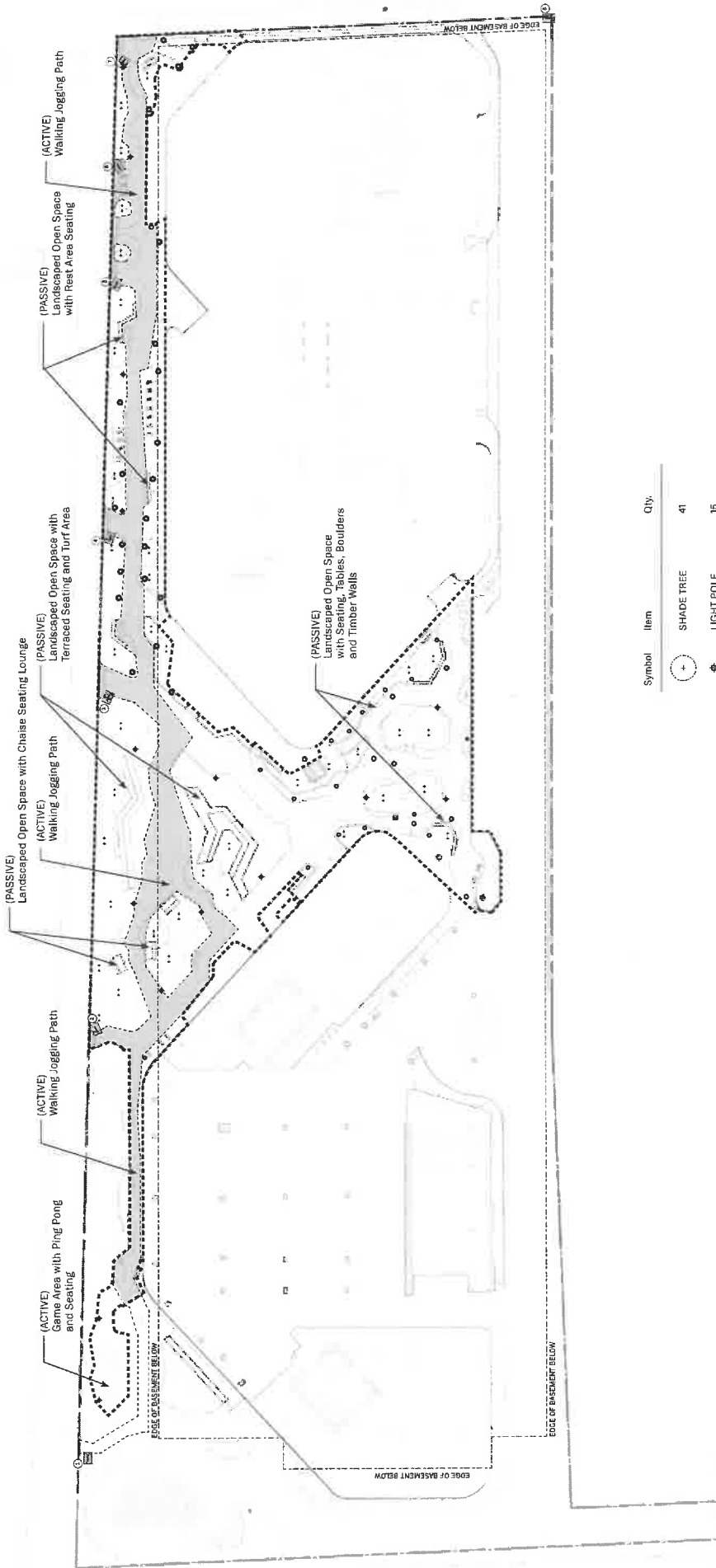
SECTION

1:1

SECTION

1:1





- RECREATIONAL CREDIT AREA (PUBLIC)
- DESIGNATED WALKING / JOGGING PATH
- SITE ENTRY RULES AND REGULATIONS SIGN

Symbol	Item	Qty.
+	SHADE TREE	41
⊕	LIGHT POLE	15
⊙	LIGHT BOLLARD	36
⊛	TREE UPLIGHT	39 (pair)
⊚	PLAZA DRAIN	9

PROJECT: 200600  
SHEET NO. 05  
DATE: 01/11/06  
SCALE: AS SHOWN

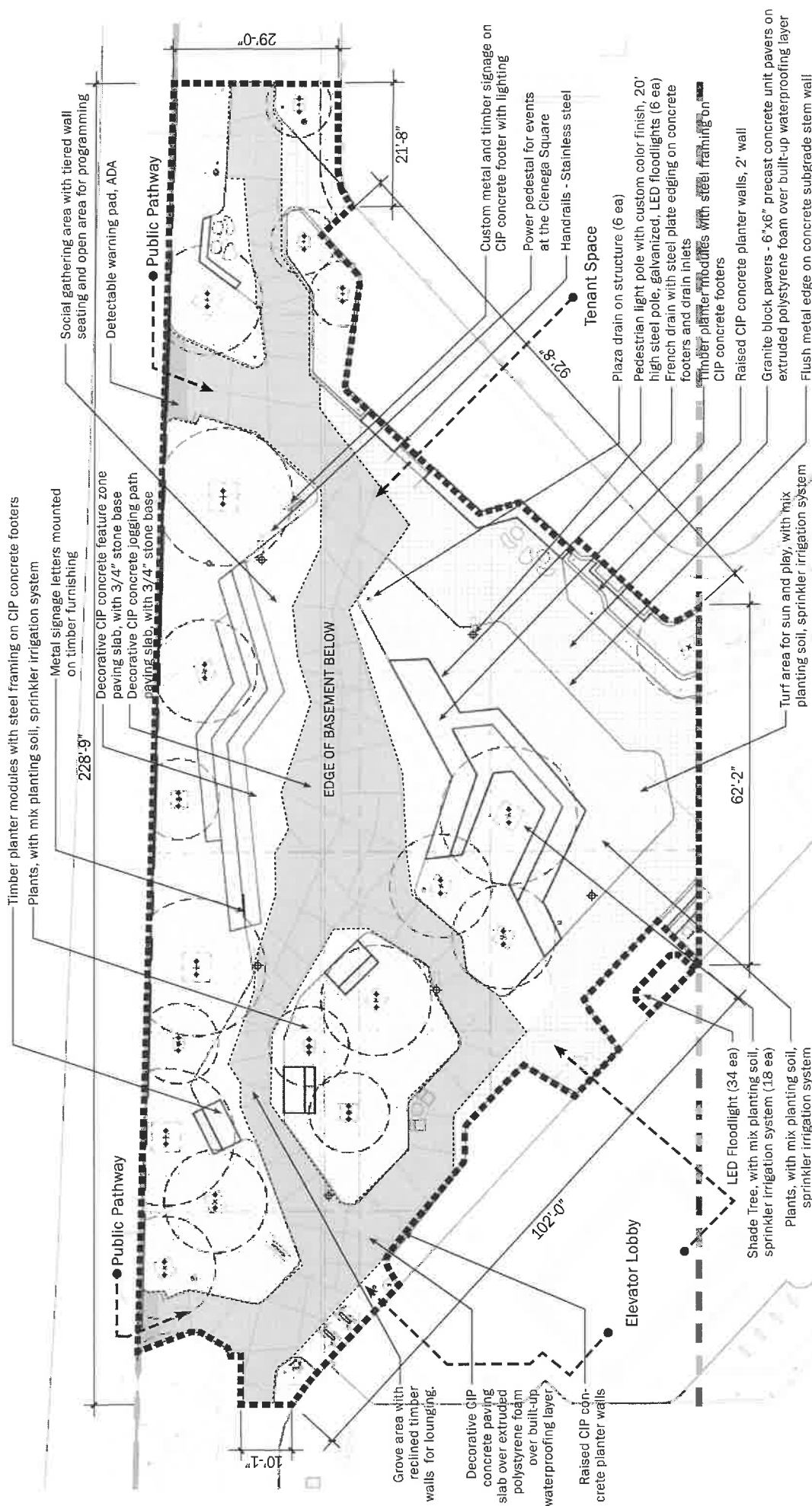


NOTES:  
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA CIVIL ENGINEERING BOARD'S SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF BUILDINGS AND STRUCTURES.  
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA CIVIL ENGINEERING BOARD'S SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF ROADS AND HIGHWAYS.  
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA CIVIL ENGINEERING BOARD'S SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF WATER SUPPLY SYSTEMS.  
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA CIVIL ENGINEERING BOARD'S SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF SEWER AND WASTE WATER SYSTEMS.  
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA CIVIL ENGINEERING BOARD'S SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF ELECTRICAL SYSTEMS.  
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA CIVIL ENGINEERING BOARD'S SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF MECHANICAL SYSTEMS.  
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA CIVIL ENGINEERING BOARD'S SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF PLUMBING SYSTEMS.  
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA CIVIL ENGINEERING BOARD'S SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF FIRE PROTECTION SYSTEMS.  
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA CIVIL ENGINEERING BOARD'S SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF ELEVATOR SYSTEMS.  
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA CIVIL ENGINEERING BOARD'S SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF ACCESSIBILITY SYSTEMS.

DESIGNED BY: DAVID J. SMITH, P.E., No. 10000  
CHECKED BY: [Name], No. [Number]  
DATE: 01/11/06

PROJECT: 3401 & 3411 S LA CIENEGA BLVD.  
SHEET NO. 05  
DATE: 01/11/06  
SCALE: AS SHOWN

3401 & 3411 S LA CIENEGA BLVD.  
LOS ANGELES, CA 90006



**AREA 1(North) : Ground Floor Public Plaza (Publicly Accessible Space)**

..... DESIGNATED WALKING / JOGGING PATH



**3401 & 3411 S LA CIENEGA BLVD.**  
LOS ANGELES, CA 90005

NO.	DATE	DESCRIPTION
1	10/15/2024	ISSUED FOR PERMITS
2	10/15/2024	ISSUED FOR PERMITS
3	10/15/2024	ISSUED FOR PERMITS
4	10/15/2024	ISSUED FOR PERMITS
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9	10/15/2024	ISSUED FOR PERMITS
10	10/15/2024	ISSUED FOR PERMITS

NO.	DATE	DESCRIPTION
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NO.	DATE	DESCRIPTION
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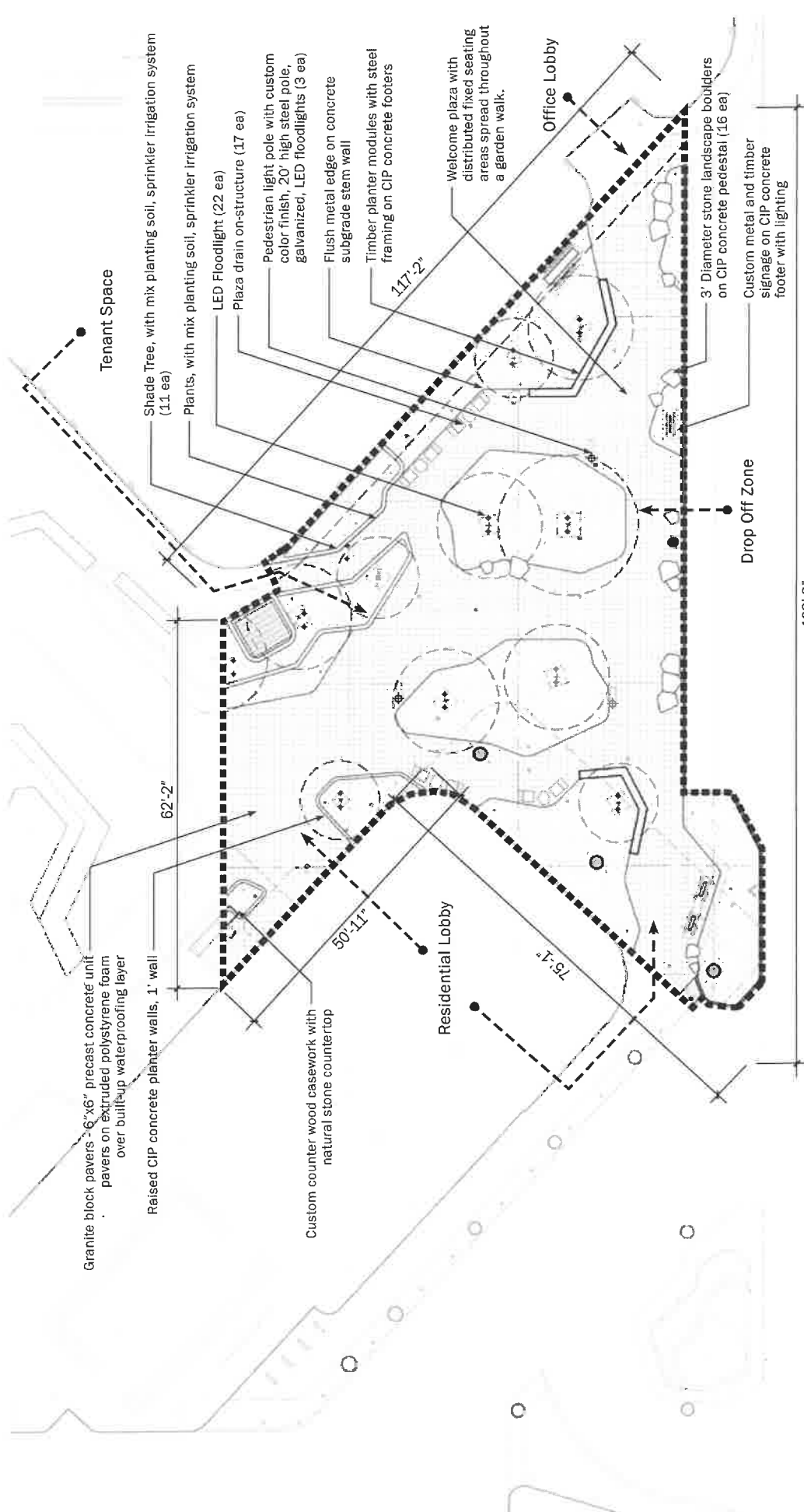
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88	10/15/2024	ISSUED FOR PERMITS
89	10/15/2024	ISSUED FOR PERMITS
90	10/15/2024	ISSUED FOR PERMITS

**SHEET 06**



Granite block pavers - 6"x6" precast concrete unit pavers on extruded polystyrene foam over built-up waterproofing layer

Raised CIP concrete planter walls, 1' wall

Custom counter wood casework with natural stone countertop

Tenant Space

Shade Tree, with mix planting soil, sprinkler irrigation system (11 ea)

Plants, with mix planting soil, sprinkler irrigation system

LED Floodlight (22 ea)

Plaza drain on-structure (17 ea)

Pedestrian light pole with custom color finish, 20' high steel pole, galvanized, LED floodlights (3 ea)

Flush metal edge on concrete subgrade stem wall

Timber planter modules with steel framing on CIP concrete footers

147'-2"

Residential Lobby

Welcome plaza with distributed fixed seating areas spread throughout a garden walk.

Office Lobby

Drop Off Zone

3' Diameter stone landscape boulders on CIP concrete pedestal (16 ea)

Custom metal and timber signage on CIP concrete footer with lighting

163'-3"

AREA 1(South) : Ground Floor Public Plaza (Publicly Accessible Space)



3401 & 3411 S LA CIENEGA BLVD.  
LOS ANGELES CA 90006



NO.	DATE	DESCRIPTION
1	10/15/2019	ISSUED FOR PERMIT
2	10/15/2019	ISSUED FOR PERMIT
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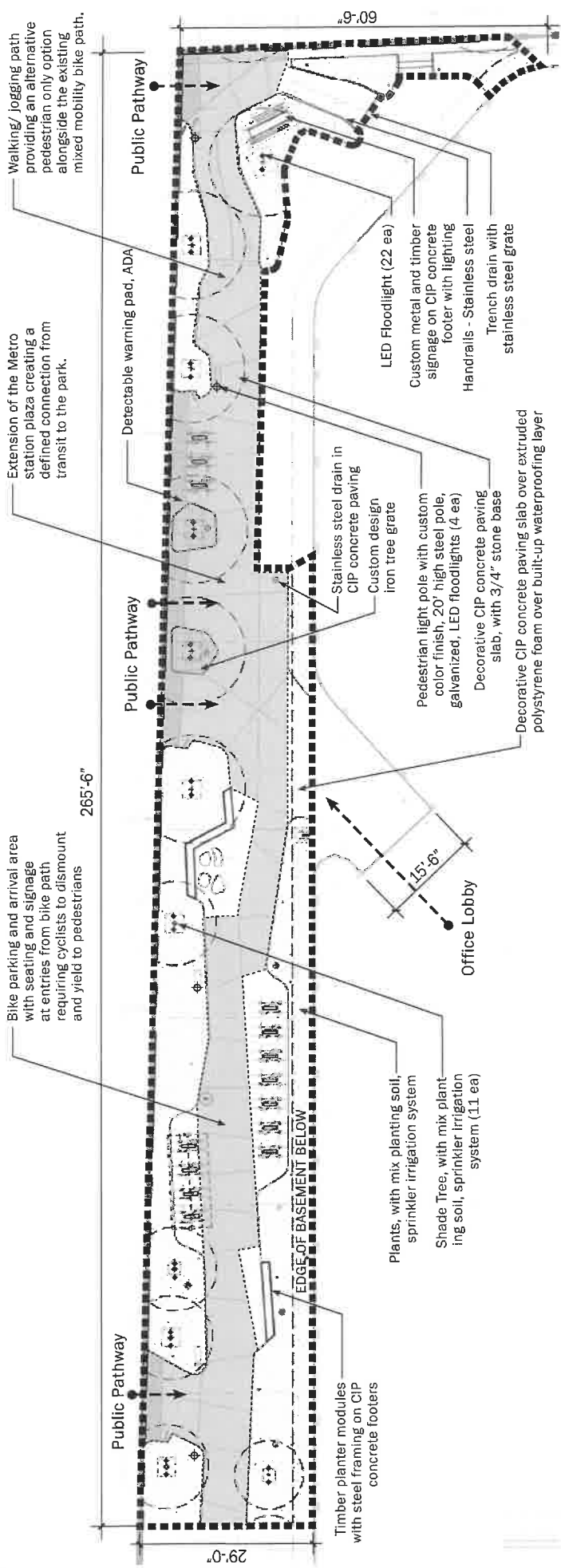
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9	10/15/2019	ISSUED FOR PERMIT
10	10/15/2019	ISSUED FOR PERMIT



AREA 1(East) : Ground Floor Public Plaza (Publicly Accessible Space)



<b>PROJECT</b>	3401 & 3411 S LA CIENEGA BLVD.
<b>DATE</b>	05/11/2018
<b>SCALE</b>	1/16" = 1'-0"
<b>PROJECT NO.</b>	18-001
<b>PROJECT NAME</b>	3401 & 3411 S LA CIENEGA BLVD.
<b>PROJECT ADDRESS</b>	3401 & 3411 S LA CIENEGA BLVD., LOS ANGELES, CA 90008
<b>OWNER</b>	PROJECT DEVELOPER
<b>ARCHITECT</b>	ARCHITECT FIRM
<b>ENGINEER</b>	ENGINEER FIRM
<b>CONTRACT NO.</b>	
<b>CONTRACT DATE</b>	
<b>CONTRACT VALUE</b>	
<b>CONTRACT TYPE</b>	



<b>CITY</b>	LOS ANGELES, CA
<b>COUNTY</b>	LOS ANGELES
<b>STATE</b>	CALIFORNIA
<b>CITY CLERK</b>	
<b>CITY CLERK'S OFFICE</b>	
<b>CITY CLERK'S ADDRESS</b>	
<b>CITY CLERK'S PHONE</b>	
<b>CITY CLERK'S FAX</b>	
<b>CITY CLERK'S EMAIL</b>	
<b>CITY CLERK'S WEBSITE</b>	
<b>CITY CLERK'S OFFICE HOURS</b>	
<b>CITY CLERK'S OFFICE LOCATION</b>	

<b>DATE</b>	05/11/2018
<b>DRAWN BY</b>	ARCHITECT FIRM
<b>CHECKED BY</b>	ENGINEER FIRM
<b>DATE</b>	05/11/2018
<b>SCALE</b>	1/16" = 1'-0"
<b>PROJECT NO.</b>	18-001
<b>PROJECT NAME</b>	3401 & 3411 S LA CIENEGA BLVD.
<b>PROJECT ADDRESS</b>	3401 & 3411 S LA CIENEGA BLVD., LOS ANGELES, CA 90008
<b>OWNER</b>	PROJECT DEVELOPER
<b>ARCHITECT</b>	ARCHITECT FIRM
<b>ENGINEER</b>	ENGINEER FIRM
<b>CONTRACT NO.</b>	
<b>CONTRACT DATE</b>	
<b>CONTRACT VALUE</b>	
<b>CONTRACT TYPE</b>	

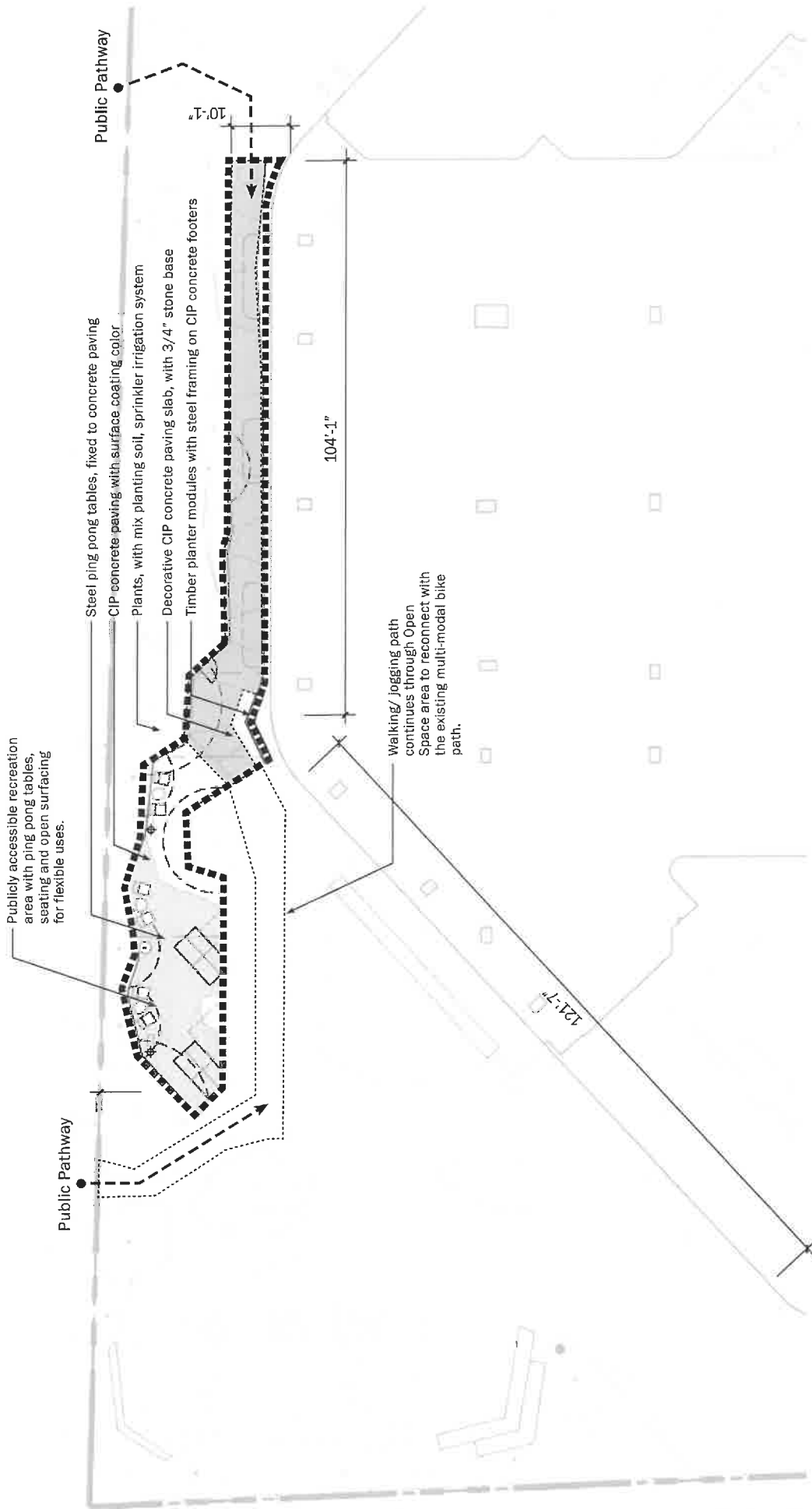
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<b>CHECKED BY</b>	ENGINEER FIRM
<b>DATE</b>	05/11/2018
<b>SCALE</b>	1/16" = 1'-0"
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<b>OWNER</b>	PROJECT DEVELOPER
<b>ARCHITECT</b>	ARCHITECT FIRM
<b>ENGINEER</b>	ENGINEER FIRM
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<b>CONTRACT TYPE</b>	

<b>DATE</b>	05/11/2018
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<b>DATE</b>	05/11/2018
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<b>DATE</b>	05/11/2018
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<b>ARCHITECT</b>	ARCHITECT FIRM
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<b>DATE</b>	05/11/2018
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<b>OWNER</b>	PROJECT DEVELOPER
<b>ARCHITECT</b>	ARCHITECT FIRM
<b>ENGINEER</b>	ENGINEER FIRM
<b>CONTRACT NO.</b>	
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<b>DATE</b>	05/11/2018
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<b>ARCHITECT</b>	ARCHITECT FIRM
<b>ENGINEER</b>	ENGINEER FIRM
<b>CONTRACT NO.</b>	
<b>CONTRACT DATE</b>	
<b>CONTRACT VALUE</b>	
<b>CONTRACT TYPE</b>	



Publicly accessible recreation area with ping pong tables, seating and open surfacing for flexible uses.

Steel ping pong tables, fixed to concrete paving  
CIP concrete paving with surface coating color  
Plants, with mix planting soil, sprinkler irrigation system  
Decorative CIP concrete paving slab, with 3/4" stone base  
Timber planter modules with steel framing on CIP concrete footers

Walking/jogging path continues through Open Space area to reconnect with the existing multi-modal bike path.

Public Pathway

Public Pathway

10'-1"

104'-1"

121-7

### AREA 1 (West) : Ground Floor Public Plaza (Publicly Accessible Space)

DESIGNATED WALKING / JOGGING PATH  
DESIGNATED WALKING / JOGGING PATH CONNECTION



**3401 & 3411 S LA CIENEGA BLVD.**  
LOS ANGELES, CA 90015

**PROJECT:** 3401 & 3411 S LA CIENEGA BLVD. (2015) (2015)  
**CLIENT:** L&L HOLDINGS, LLC  
**ARCHITECT:** L&L HOLDINGS, LLC  
**DATE:** 08/11/2015

**PROJECT:** 3401 & 3411 S LA CIENEGA BLVD. (2015) (2015)  
**CLIENT:** L&L HOLDINGS, LLC  
**ARCHITECT:** L&L HOLDINGS, LLC  
**DATE:** 08/11/2015

**PROJECT:** 3401 & 3411 S LA CIENEGA BLVD. (2015) (2015)  
**CLIENT:** L&L HOLDINGS, LLC  
**ARCHITECT:** L&L HOLDINGS, LLC  
**DATE:** 08/11/2015

**PROJECT:** 3401 & 3411 S LA CIENEGA BLVD. (2015) (2015)  
**CLIENT:** L&L HOLDINGS, LLC  
**ARCHITECT:** L&L HOLDINGS, LLC  
**DATE:** 08/11/2015

**PROJECT:** 3401 & 3411 S LA CIENEGA BLVD. (2015) (2015)  
**CLIENT:** L&L HOLDINGS, LLC  
**ARCHITECT:** L&L HOLDINGS, LLC  
**DATE:** 08/11/2015

**PROJECT:** 3401 & 3411 S LA CIENEGA BLVD. (2015) (2015)  
**CLIENT:** L&L HOLDINGS, LLC  
**ARCHITECT:** L&L HOLDINGS, LLC  
**DATE:** 08/11/2015

**PROJECT:** 3401 & 3411 S LA CIENEGA BLVD. (2015) (2015)  
**CLIENT:** L&L HOLDINGS, LLC  
**ARCHITECT:** L&L HOLDINGS, LLC  
**DATE:** 08/11/2015

**PROJECT:** 3401 & 3411 S LA CIENEGA BLVD. (2015) (2015)  
**CLIENT:** L&L HOLDINGS, LLC  
**ARCHITECT:** L&L HOLDINGS, LLC  
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**ARCHITECT:** L&L HOLDINGS, LLC  
**DATE:** 08/11/2015

**PROJECT:** 3401 & 3411 S LA CIENEGA BLVD. (2015) (2015)  
**CLIENT:** L&L HOLDINGS, LLC  
**ARCHITECT:** L&L HOLDINGS, LLC  
**DATE:** 08/11/2015

**SHEET 09**

DEPARTMENT OF RECREATION  
AND PARKS

BOARD OF COMMISSIONERS

RENATA SIMRIL  
PRESIDENT

LUIS SANCHEZ  
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ACTING ASSISTANT GENERAL MANAGER

BRENDA AGUIRRE  
ASSISTANT GENERAL MANAGER

(213) 202-2633

Sent via Email: [glen.rosic@lendlease.com](mailto:glen.rosic@lendlease.com)

May 13, 2024

Glen Rosic  
Lendlease  
515 S. Flower Street, Ste 600  
Los Angeles, CA 90071

**RE: PARK FEE RECREATION CREDIT SUBMISSION FOR VTT-83350-CN LOCATED AT 3401  
LA CIENEGA BOULEVARD DATED APRIL 22, 2024**

Dear Glen:

On June 27, 2023 the Department of Recreation and Parks (RAP) was in receipt of the revised Recreation Credit submission for VTT-83350-CN located at 3401 La Cienega Boulevard, which was sent via email on April 22, 2024.

RAP Recreational Credit Policy

On October 19, 2023, the Board of Recreation and Parks Commissioners (Board) adopted the Park Fee Recreation Credit Policy (Report No. 23-183). The Park Fee Recreation Policy details specific requirements that residential housing projects must include if they want to be considered for Recreation Credit for privately owned recreational amenities.

Per RAP's Recreation Credit Policy,

*In order to be considered for Recreation Credit, these open space areas must closely resemble green, neighborhood parks. Recreation Credit will only be given towards areas that would be considered reminiscent of, and an adequate supplement to well-maintained RAP facilities.*

### Previous Recreational Credit Reviews for VTT-83350

RAP staff has previously responded to and provided comments for Recreation Credit submissions submitted on the following dates:

- August 10, 2023 – RAP participated in a meeting on August 21, 2023 at the request of the applicant to discuss the submission and answer questions.
- October 26, 2023 – RAP responded to the submission via email on October 31, 2023 and provided additional comments on November 1, 2023. RAP agreed to participate in an additional meeting on November 11, 2023 at the applicant's request.
- November 17, 2023 – RAP responded to the submission via email on December 1, 2023.
- December 14, 2023 – RAP responded to the submission via email on January 8, 2024.

RAP later provided additional information via email on February 7, 2024 in response to questions and comments from the applicant regarding RAP's revisions sent on January 8, 2024.

### Comments on Recreation Credit submission received April 22, 2024

As previously noted, RAP staff has carefully reviewed the various iterations of the Recreation Credit submissions for VTT-83350. RAP staff has the following comments regarding the April 2024 submission:

#### **Open Space Exhibits:**

- The open space exhibits that detailed the required and excess open space areas provided in the Publicly Accessible and Privately Accessible exhibits do not match the Department of Building and Safety (LADBS) approved open space plan. If the open space on the LADBS approved open space plan is identified as part of the code required open space, then it is not eligible for credit. For example, this means that a portion of the ground floor plaza on the west side of the property (as shown on "Sheet 08" of the Publicly Accessible exhibits) and the outdoor space on the second level are not eligible for credit.
- The amount of open space identified in the April 2024 submission is much higher than the previous Recreation Credit submission and it is unclear why areas not previously identified as Publicly Accessible and Privately Accessible space are identified as such in this submission.
- There is lack of coherence in the areas identified for publicly accessible credit. Areas identified for recreation credit should have clear and visible boundaries (on the plans and in reality) to ensure future enforcement of the areas is possible.
- The onus is on the applicant to ensure that the exhibits are clear and legible and match the open space plan approved by LADBS. Any submission of recreation credit exhibits shall include a copy of the LADBS approved open space plan.

**Privately Accessible spaces:**

- RAP will not grant credit for the community room and gym area (as shown on “Sheet 04” on the Privately Accessible exhibits) as the community room does not have a mix of active and passive amenities and therefore does not meet the overall requirements of the adopted Recreation Credit Policy. Additionally, the gym area does not have any fixed or permanent equipment, which is a requirement per the Recreation Credit Policy.

**Publicly Accessible space:**

- RAP will not grant credit for the walking/jogging path that extends on the south, east and west sides of the building. Based on the submission, those areas appear to just be a minor extension of the side walk and not part of walking/jogging path along La Cienega Boulevard. A dedicated walking/jogging path should be clearly delineated from pedestrian path or sidewalk and should not create conflict with cyclists. Additionally, the proposed configuration of the path is not optimal as it would encourage residents and the public to jog along the south side of the building where the most vehicular traffic and driveways are located.
- The combination of active and passive amenities needs substantial revision in order to meet the intent of the Recreation Credit Policy. RAP recommends the addition of active amenities, useable grass or synthetic turf, and permanent shade canopies or structures, which are detailed in the Recreation Credit Policy.

**Raised Planters / Inaccessible Landscaping:**

- Per the Recreation Credit Policy, raised planters or inaccessible landscaping not meant for recreational use shall not be more than 25% of the Area. In order to be able to review this submission, RAP would need a calculation confirming the percentage of raised planters or inaccessible landscaping in relation to the rest of the ground floor plaza. Any future submission shall provide a site plan identifying the raised planters or inaccessible landscaping with a calculation of the accessible and inaccessible areas.

As currently proposed, the areas requesting Recreation Credit do not meet the requirements of the Recreation Credit Policy and do not resemble green, neighborhood parks. These areas would likely not reduce the impact to the existing park system. Due to the reasons listed above, RAP staff is not supportive of this Recreation Credit submission at this time. RAP staff will not be recommending it move forward as currently proposed and will not recommend that the RAP Board approve the granting of credit towards the required Park Fee.

If the applicant would like to proceed with the Recreation Credit, RAP will only review submissions that are substantially different from the ones previously provided and address the concerns listed above. Please advise RAP as soon as possible if you plan to prepare and submit a revised Recreational Credit submission. Otherwise, RAP staff will proceed with the issuance of the Park Fee Invoice for VTT-83350-CN.



VTT-83350 Recreation Credit Response

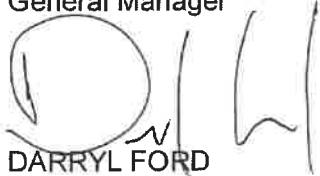
May 13, 2024

Page 2

If you have any questions regarding this correspondence, please contact Meghan Luera, of my staff, at [meghan.luera@lacity.org](mailto:meghan.luera@lacity.org).

Sincerely,

JIMMY KIM  
General Manager

A handwritten signature in black ink, appearing to read 'DF' or similar initials, written over a circular stamp or mark.

DARRYL FORD  
Superintendent

JK/DF:ln

Attachments: VTT-83350-CN Recreation Credit Exhibit dated 4/22/24

Cc: VTT-83350-CN Case File  
RAP Park Fees Group, [rap.parkfees@lacity.org](mailto:rap.parkfees@lacity.org)  
Kimani Black, Office of Council District 10, [kimani.black@lacity.org](mailto:kimani.black@lacity.org)  
Hakeem Parke-Davis, Office of Council District 10, [hakeem.parke-davis@lacity.org](mailto:hakeem.parke-davis@lacity.org)  
Andrew Westall, Office of Council District 10 [andrew.westall@lacity.org](mailto:andrew.westall@lacity.org)  
Tanner Blackman, [tanner@irvineassoc.com](mailto:tanner@irvineassoc.com)  
Carlos Lovato, [carlos@irvineassoc.com](mailto:carlos@irvineassoc.com)  
Burton, Ryan, [Ryan.Burton@lendlease.com](mailto:Ryan.Burton@lendlease.com)

LA 031524

**RECREATIONAL OPEN SPACE CALCULATION**

RECREATIONAL OPEN SPACE TOTAL: 28,576 SF

REQUIRED PLANTED OPEN SPACE TOTAL: 7,144 SF

PROVIDED PLANTED OPEN SPACE TOTAL: 7,144 SF

ADDITIONAL RECREATIONAL CREDIT AREA PROVIDED: 24,380 SF

RECREATIONAL OPEN SPACE TOTAL: 28,576 SF

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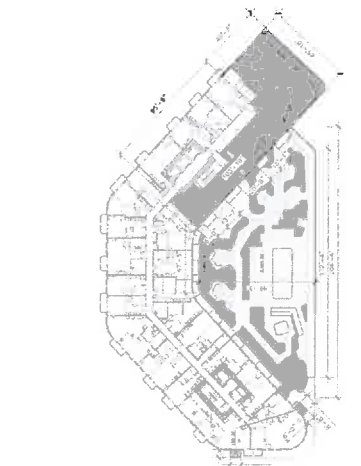
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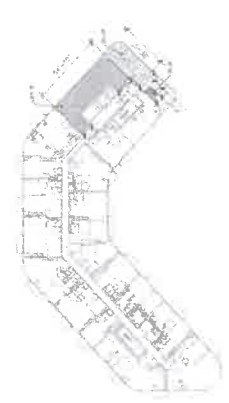
**LEVEL 00: COMMON OPEN SPACE**

- RECREATIONAL OPEN SPACE
- PLAY AREA
- OTHER



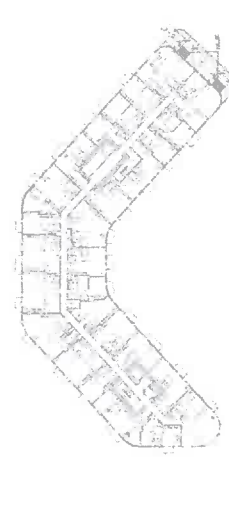
**LEVEL 01: GROUND LEVEL PROPOSED TREES**

- PROPOSED TREES



**LEVEL 10: PRIVATE OPEN SPACE**

- PRIVATE OPEN SPACE



**LEVEL 12: COMMON OPEN SPACE**

- COMMON OPEN SPACE

**This page should be included in the Rec Credit Exhibits as Sheet 04 -- page should be labeled "LADBS Approved OS Plan" TREE REQUIREMENT CALCULATION**

RECREATIONAL OPEN SPACE TOTAL: 28,576 SF

REQUIRED PLANTED OPEN SPACE TOTAL: 7,144 SF

PROVIDED PLANTED OPEN SPACE TOTAL: 7,144 SF

ADDITIONAL RECREATIONAL CREDIT AREA PROVIDED: 24,380 SF

RECREATIONAL OPEN SPACE TOTAL: 28,576 SF

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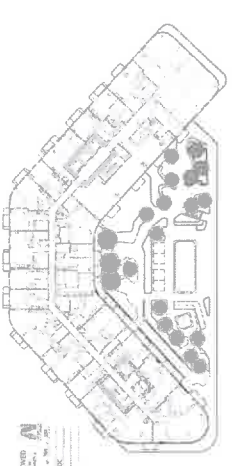
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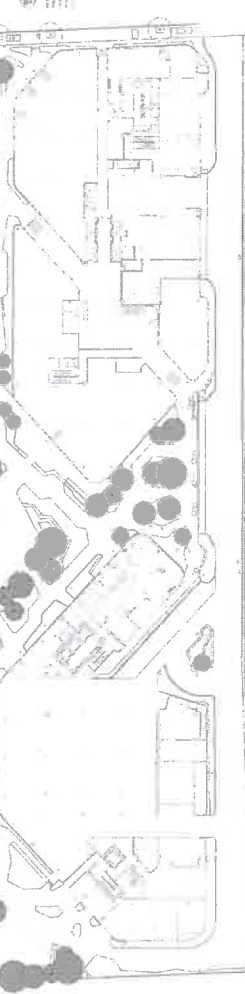
RECREATIONAL OPEN SPACE TOTAL: 28,576 SF

RECREATIONAL OPEN SPACE TOTAL: 28,576 SF



**LEVEL 02: RESIDENTIAL AMENITY DECK PROPOSED TREES**

- PROPOSED TREES



**LEVEL 03: GROUND LEVEL PROPOSED TREES**

- PROPOSED TREES

**3401 & 3411 S LA CIENEGA BLVD.**  
LOS ANGELES, CA 90008



OPEN SPACE CALCULATIONS  
L-011



**LEVEL 01: COMMON OPEN SPACE (AREA 1)**

PROVIDED COMMON USEABLE OPEN SPACE TOTAL	13,261 SF
PROVIDED PLANTED COMMON OPEN SPACE TOTAL	5,301 SF
PROVIDED RECREATIONAL CREDIT AREA TOTAL	1,760 SF
PROVIDED INTERIOR COMMON OPEN SPACE TOTAL	35,493 SF

**ADDITIONAL RECREATIONAL CREDIT AREA PROVIDED:** 41,362 SF

AREA 1 - PUBLIC  
 LEVEL 01 EXTERIOR RECREATIONAL CREDIT AREA (NOT INCLUDED IN OS CAL): 35,493 SF  
 AREA 2 - EXTERIOR RECREATIONAL CREDIT AREA (INTERIOR & EXTERIOR): 5,869 SF

**RESIDENTIAL OPEN SPACE CALCULATION**

EACH UNIT HAVING LESS THAN 3 ROOMS: 100 SF  
 EACH UNIT HAVING 3 ROOMS: 125 SF  
 EACH UNIT HAVING MORE THAN 3 ROOMS: 175 SF

**REQUIRED USEABLE OPEN SPACE TOTAL:** 28,575 SF  
 (157 sq. x 100 SF) + (102 sq. x 125 SF) + (0 sq. x 175 SF)

MIN./MAX. REQUIREMENTS AS A PERCENTAGE OF TOTAL USEABLE OPEN SPACE:  
 - EXTERIOR COMMON OPEN SPACE MUST CONSTITUTE MIN. 50% OF TOTAL  
 - EXTERIOR COMMON OPEN SPACE MAY CONSTITUTE MAX. 25% OF TOTAL  
 - EXTERIOR PRIVATE OPEN SPACE MAY CONSTITUTE MAX. 65% OF TOTAL

**PROVIDED USEABLE OPEN SPACE TOTAL:** 28,575 SF

EXTERIOR COMMON OPEN SPACE TOTAL (81% OF TOTAL): 23,253 SF  
 MIN. REQUIREMENT MUST CONSTITUTE 50% OF TOTAL  
 LEVEL 01 EXTERIOR COMMON OPEN SPACE: 13,861 SF  
 LEVEL 02 EXTERIOR COMMON OPEN SPACE: 8,663 SF  
 LEVEL 12 EXTERIOR COMMON OPEN SPACE: 551 SF

INTERIOR COMMON OPEN SPACE TOTAL (16% OF TOTAL): 4,470 SF  
 MAX. ALLOWED MAY CONSTITUTE 25% OF TOTAL  
 LEVEL 01 INTERIOR COMMON OPEN SPACE: 1,765 SF  
 LEVEL 12 INTERIOR COMMON OPEN SPACE: 2,675 SF

PRIVATE OPEN SPACE TOTAL (5% OF TOTAL): 650 SF  
 MAX. ALLOWED MAY CONSTITUTE 50% OF TOTAL  
 LEVEL 02 PRIVATE OPEN SPACE: 100 SF  
 LEVEL 05-11 PRIVATE OPEN SPACE: 700 SF  
 LEVEL 12 PRIVATE OPEN SPACE: 50 SF

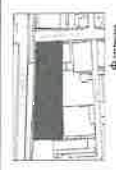
**REQUIRED PLANTED OPEN SPACE TOTAL:** 7,144 SF  
 (28,575 SF REQUIRED COMMON OPEN SPACE x 25%)

**PROVIDED PLANTED OPEN SPACE TOTAL:** 8,275 SF

LEVEL 01 PLANTED COMMON OPEN SPACE: 5,301 SF  
 LEVEL 02 PLANTED COMMON OPEN SPACE: 2,974 SF

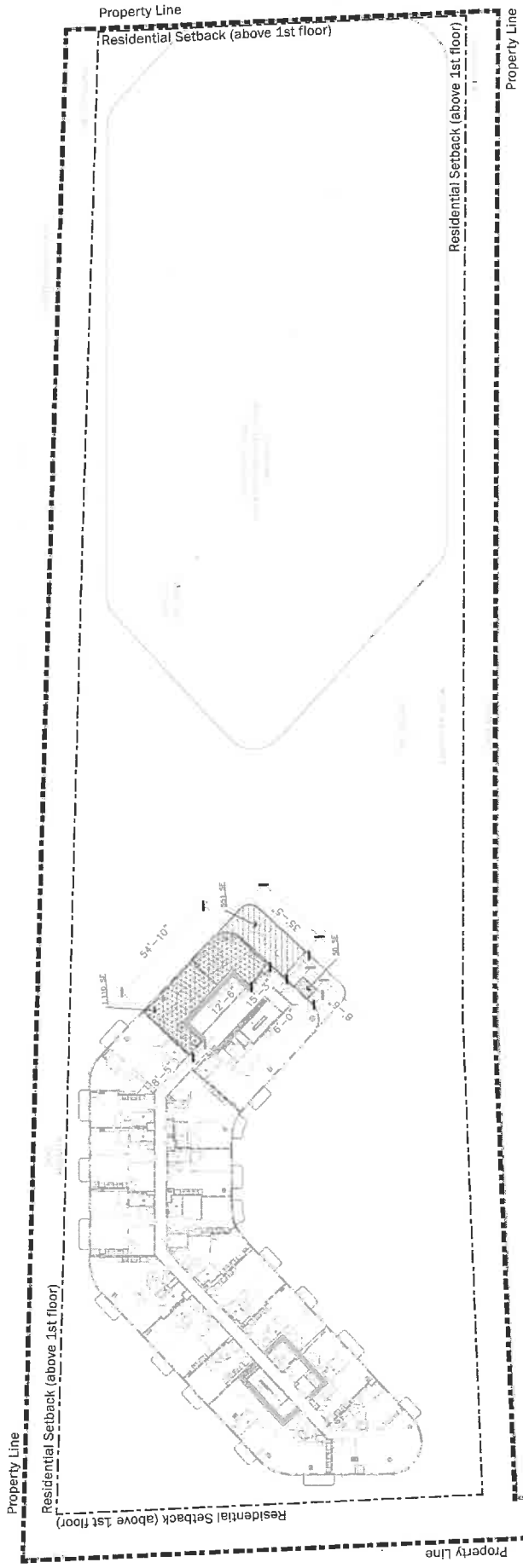
**PROPERTY LINE / No setbacks per CM Zone**

This page should match the approved LADBS OS plan



NO.	DESCRIPTION	DATE
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30	ISSUED FOR PERMITTING	08/14/2024
31	ISSUED FOR PERMITTING	08/14/2024
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34	ISSUED FOR PERMITTING	08/14/2024
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47	ISSUED FOR PERMITTING	08/14/2024
48	ISSUED FOR PERMITTING	08/14/2024
49	ISSUED FOR PERMITTING	08/14/2024
50	ISSUED FOR PERMITTING	08/14/2024





**LEVEL 12: COMMON OPEN SPACE**

561 SF PROVIDED COMMON USEABLE OPEN SPACE TOTAL:  
 1,110 SF PROVIDED INTERIOR COMMON OPEN SPACE TOTAL:  
 50 SF PROVIDED PRIVATE OPEN SPACE TOTAL:

**LEVEL 12: COMMON OPEN SPACE**

561 SF PROVIDED COMMON USEABLE OPEN SPACE TOTAL:  
 1,110 SF PROVIDED INTERIOR COMMON OPEN SPACE TOTAL:  
 50 SF PROVIDED PRIVATE OPEN SPACE TOTAL:

**ADDITIONAL RECREATIONAL CREDIT AREA PROVIDED:** 41,362 SF

AREA 1 - PUBLIC: 100 SF  
 AREA 2 - EXTERIOR RECREATIONAL CREDIT AREA (NOT INCLUDED IN OS CAL): 35,463 SF  
 AREA 2 - EXTERIOR RECREATIONAL CREDIT AREA (INTERIOR & EXTERIOR): 5,899 SF

**RESIDENTIAL OPEN SPACE CALCULATION**

EACH UNIT HAVING LESS THAN 3 ROOMS: 100 SF  
 EACH UNIT HAVING 3 ROOMS: 125 SF  
 EACH UNIT HAVING MORE THAN 3 ROOMS: 175 SF

**REQUIRED USEABLE OPEN SPACE TOTAL:** 28,575 SF  
 (157 sq. x 100 SF) + (102 sq. x 125 SF) + (0 sq. x 175 SF)

MIN. / MAX. REQUIREMENTS AS A PERCENTAGE OF TOTAL USEABLE OPEN SPACE:  
 - EXTERIOR COMMON OPEN SPACE MUST CONSTITUTE MIN. 50% OF TOTAL  
 - EXTERIOR PRIVATE OPEN SPACE MUST CONSTITUTE MIN. 25% OF TOTAL  
 - EXTERIOR PRIVATE OPEN SPACE MAY CONSTITUTE MAX. 65% OF TOTAL

**PROVIDED USEABLE OPEN SPACE TOTAL:** 28,575 SF

EXTERIOR COMMON OPEN SPACE TOTAL (81% OF TOTAL): 23,265 SF  
 MIN. REQUIREMENT MUST CONSTITUTE 50% OF TOTAL:  
 LEVEL 01 EXTERIOR COMMON OPEN SPACE: 13,891 SF  
 LEVEL 02 EXTERIOR COMMON OPEN SPACE: 8,684 SF  
 LEVEL 12 EXTERIOR COMMON OPEN SPACE: 501 SF  
 EXTERIOR PRIVATE OPEN SPACE TOTAL (19% OF TOTAL): 4,470 SF  
 MAX. ALLOWED MAY CONSTITUTE 25% OF TOTAL:  
 LEVEL 01 INTERIOR COMMON OPEN SPACE: 1,795 SF  
 LEVEL 12 INTERIOR COMMON OPEN SPACE: 2,675 SF

**REQUIRED PLANTED OPEN SPACE TOTAL:** 7,144 SF  
 (28,575 SF REQUIRED COMMON OPEN SPACE x 25%)

**PROVIDED PLANTED OPEN SPACE TOTAL:** 8,275 SF

LEVEL 01 PLANTED COMMON OPEN SPACE: 5,381 SF  
 LEVEL 02 PLANTED COMMON OPEN SPACE: 2,894 SF

**3401 & 3411 S LA CIENEGA BLVD.**  
LOS ANGELES, CA 90018

DATE: 07/14/2020  
PROJECT: 17-000000

SCALE: 1/8" = 1'-0"

**SHEET 03**

PROJECT: 17-000000  
SHEET: 03 OF 03  
DATE: 07/14/2020  
DRAWN BY: [Name]  
CHECKED BY: [Name]

REVISIONS:

NO.	DATE	DESCRIPTION
1	07/14/2020	ISSUED FOR PERMIT

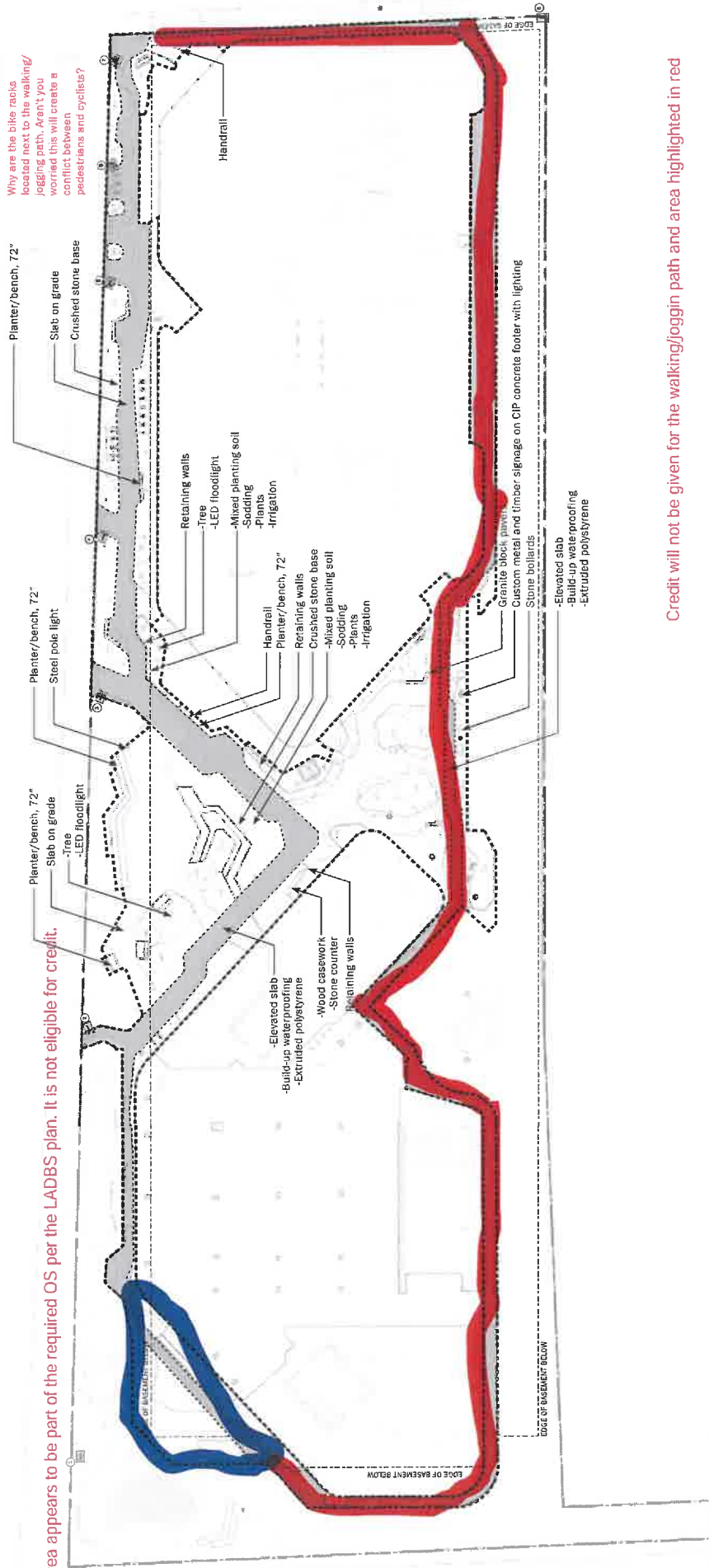
APPROVED FOR CONSTRUCTION:

APPROVED FOR PERMIT:

APPROVED FOR RECORD:

APPROVED FOR AS-BUILT:

Is there a visible delineation between the walking/jogging path and the rest of the plaza ground? Are there signs marking the path for walkers and joggers?

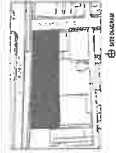


Why are the bike racks located next to the walking/jogging path. Aren't you worried this will create a conflict between pedestrians and cyclists?

This area appears to be part of the required OS per the LADBS plan. It is not eligible for credit.

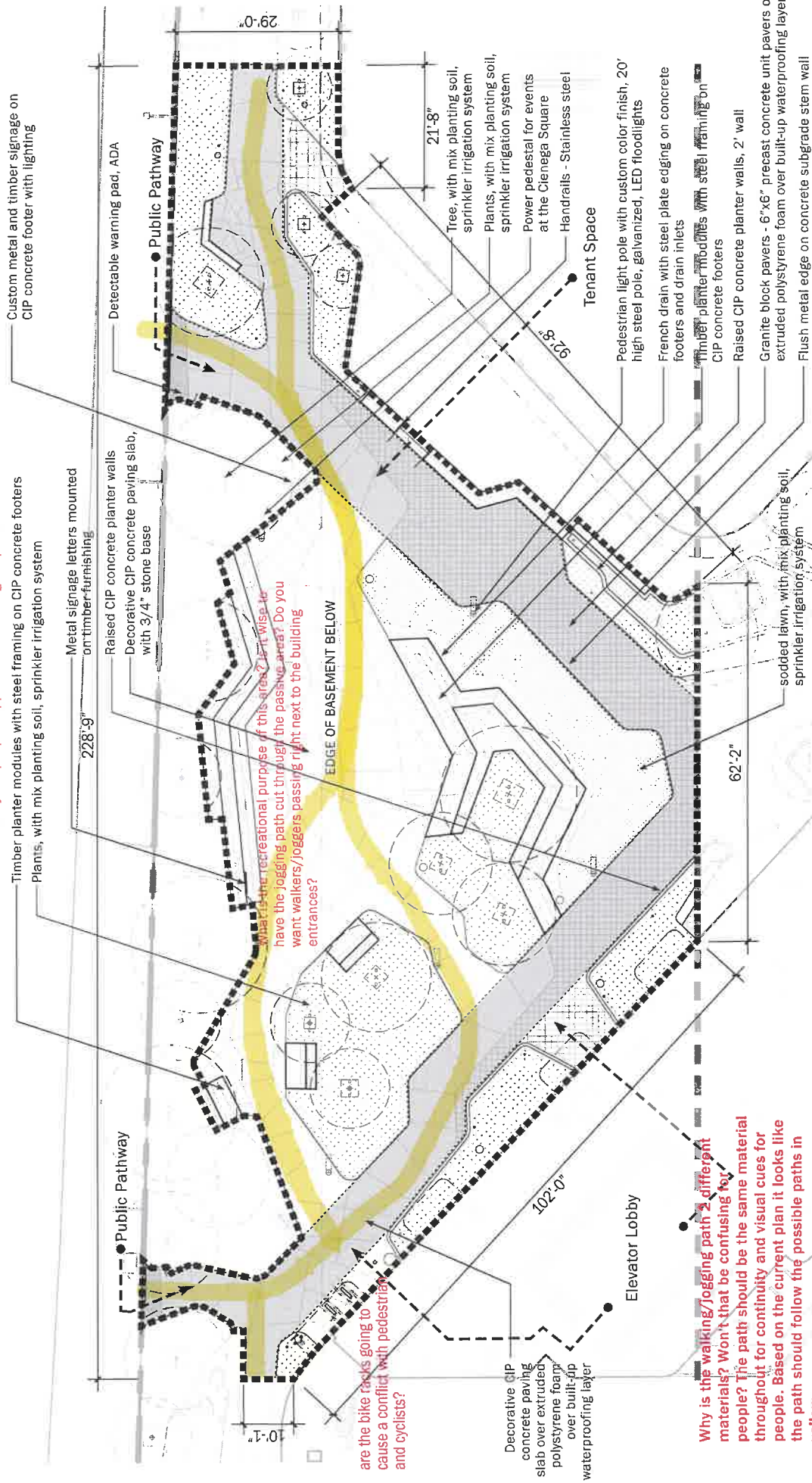
Credit will not be given for the walking/jogging path and area highlighted in red

- RECREATIONAL CREDIT AREA (PUBLIC)
- DESIGNATED WALKING / JOGGING PATH
- SITE ENTRY RULES AND REGULATIONS SIGN



NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	11/15/2024
2	ISSUED FOR PERMITTING	11/15/2024
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97	ISSUED FOR PERMITTING	11/15/2024
98	ISSUED FOR PERMITTING	11/15/2024
99	ISSUED FOR PERMITTING	11/15/2024
100	ISSUED FOR PERMITTING	11/15/2024

where exactly are people supposed to sit? along the planter walls?  
 Timber planter modules with steel framing on CIP concrete footers  
 Plants, with mix planting soil, sprinkler irrigation system



What is the recreational purpose of this area? If it were to have the jogging path cut through the parking area? Do you want walkers/joggers passing right next to the building entrances?

are the bike racks going to cause a conflict with pedestrian and cyclists?

Why is the walking/jogging path 2 different materials? Won't that be confusing for people? The path should be the same material throughout for continuity and visual cues for people. Based on the current plan it looks like the path should follow the possible paths in yellow...

### AREA 1(North) : Ground Floor Public Plaza (Publicly Accessible Space)

3401 & 3411 S LA CIENEGA BLVD.  
 LOS ANGELES, CA 90008

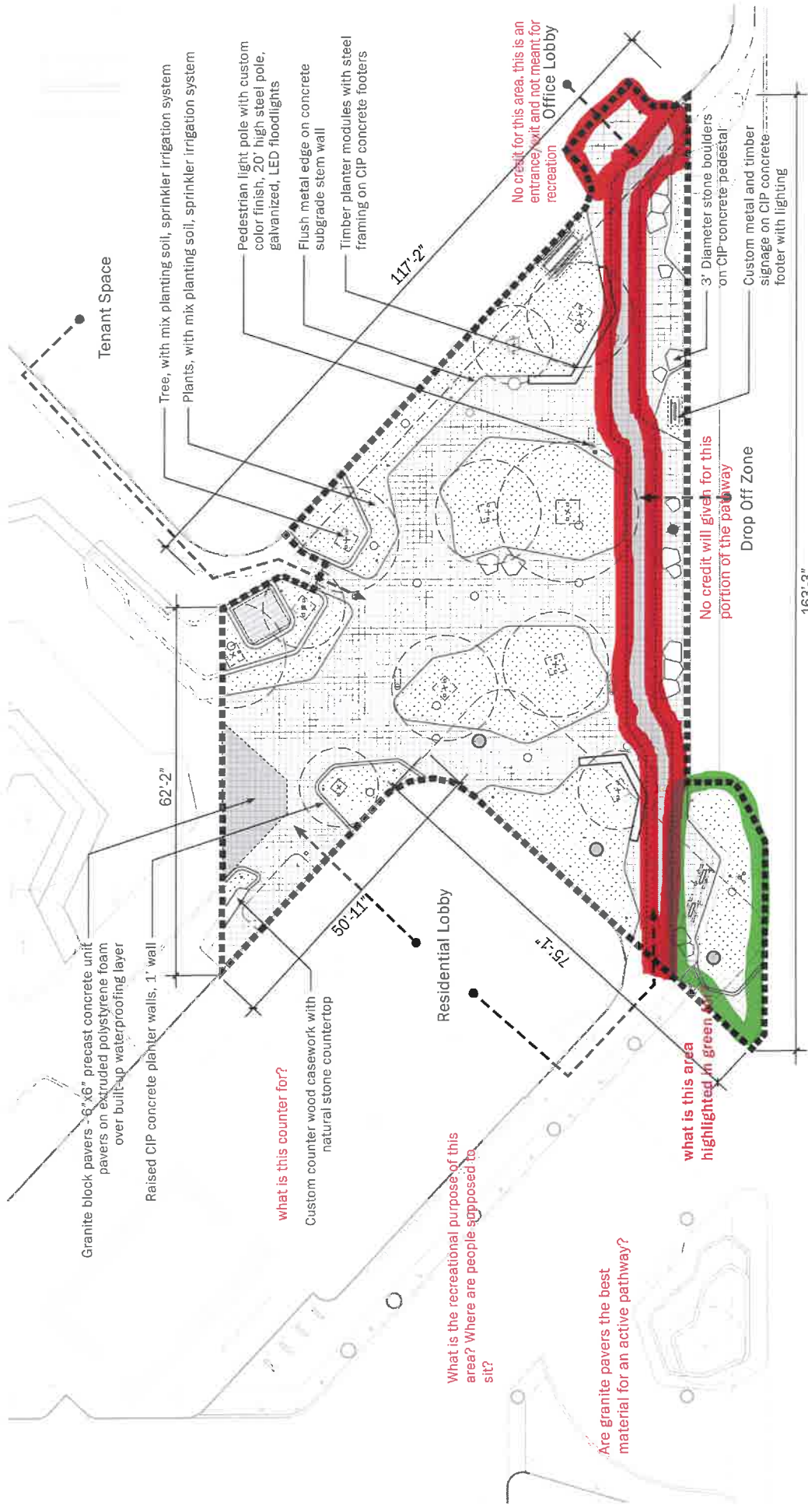
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2	08/15/2024	ISSUED FOR PERMITTING
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8	08/15/2024	ISSUED FOR PERMITTING
9	08/15/2024	ISSUED FOR PERMITTING
10	08/15/2024	ISSUED FOR PERMITTING

NO.	DATE	DESCRIPTION
1	08/15/2024	ISSUED FOR PERMITTING
2	08/15/2024	ISSUED FOR PERMITTING
3	08/15/2024	ISSUED FOR PERMITTING
4	08/15/2024	ISSUED FOR PERMITTING
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10	08/15/2024	ISSUED FOR PERMITTING

NO.	DATE	DESCRIPTION
1	08/15/2024	ISSUED FOR PERMITTING
2	08/15/2024	ISSUED FOR PERMITTING
3	08/15/2024	ISSUED FOR PERMITTING
4	08/15/2024	ISSUED FOR PERMITTING
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6	08/15/2024	ISSUED FOR PERMITTING
7	08/15/2024	ISSUED FOR PERMITTING
8	08/15/2024	ISSUED FOR PERMITTING
9	08/15/2024	ISSUED FOR PERMITTING
10	08/15/2024	ISSUED FOR PERMITTING

NO.	DATE	DESCRIPTION
1	08/15/2024	ISSUED FOR PERMITTING
2	08/15/2024	ISSUED FOR PERMITTING
3	08/15/2024	ISSUED FOR PERMITTING
4	08/15/2024	ISSUED FOR PERMITTING
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7	08/15/2024	ISSUED FOR PERMITTING
8	08/15/2024	ISSUED FOR PERMITTING
9	08/15/2024	ISSUED FOR PERMITTING
10	08/15/2024	ISSUED FOR PERMITTING





Granite block pavers - 6"x6", precast concrete unit pavers on extruded polystyrene foam over built-up waterproofing layer

Raised CIP concrete planter walls, 1' wall

what is this counter for?

Custom counter wood casework with natural stone countertop

What is the recreational purpose of this area? Where are people supposed to sit?

Are granite pavers the best material for an active pathway?

what is this area highlighted in green?

No credit will be given for this portion of the pathway

Drop Off Zone

3' Diameter stone boulders on CIP concrete pedestal

Custom metal and timber signage on CIP concrete footer with lighting

No credit for this area, this is an entrance, exit and not meant for recreation

Office Lobby

Tenant Space

Tree, with mix planting soil, sprinkler irrigation system  
Plants, with mix planting soil, sprinkler irrigation system

Pedestrian light pole with custom color finish, 20' high steel pole, galvanized, LED floodlights

Flush metal edge on concrete subgrade stem wall

Timber planter modules with steel framing on CIP concrete footers

### AREA 1(South) : Ground Floor Public Plaza (Publicly Accessible Space)

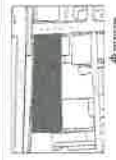
3401 & 3411 S LA CIENEGA BLVD.  
LOS ANGELES, CA 90006

NO. OF PERMITS	NO. OF PERMITS	NO. OF PERMITS	NO. OF PERMITS
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NO. OF PERMITS	NO. OF PERMITS	NO. OF PERMITS	NO. OF PERMITS
1	1	1	1

NO. OF PERMITS	NO. OF PERMITS	NO. OF PERMITS	NO. OF PERMITS
1	1	1	1

NO. OF PERMITS	NO. OF PERMITS	NO. OF PERMITS	NO. OF PERMITS
1	1	1	1



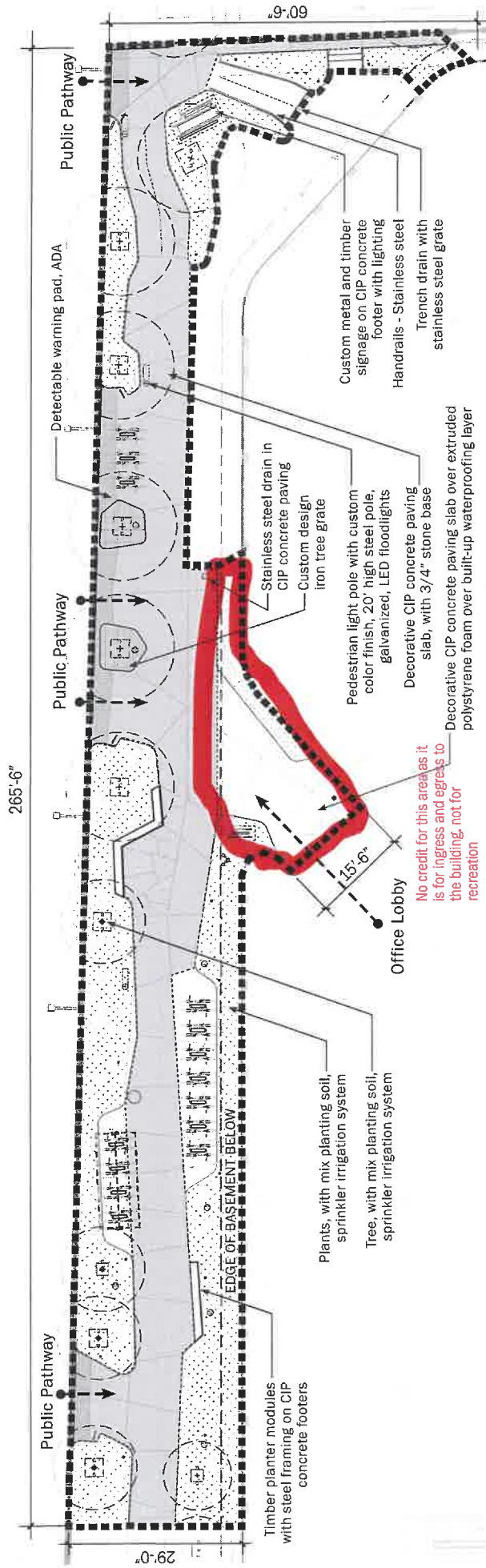
DESIGNATED WALKING / JOGGING PATH

163'-3"

SCALE: 1/8"=1'-0"



Will the multiple bike rack cause conflict between users? Will there be signs to tell cyclists to dismount when entering the walking/jogging path?



No credit for this area as it is for ingress and egress to the building, not for recreation

### AREA 1(East) : Ground Floor Public Plaza (Publicly Accessible Space)



PROJECT NO. 200400  
 DATE: 11/14/14  
 SHEET 07

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	11/14/14
2	ISSUED FOR PERMITS	11/14/14
3	ISSUED FOR PERMITS	11/14/14
4	ISSUED FOR PERMITS	11/14/14
5	ISSUED FOR PERMITS	11/14/14
6	ISSUED FOR PERMITS	11/14/14
7	ISSUED FOR PERMITS	11/14/14
8	ISSUED FOR PERMITS	11/14/14
9	ISSUED FOR PERMITS	11/14/14
10	ISSUED FOR PERMITS	11/14/14



OWNER: UNIVERSITY OF CALIFORNIA, LOS ANGELES	DATE: 11/14/14
PROJECT: 3401 & 3411 S LA CIENEGA BLVD	SCALE: 1/8\"/>
DESIGNER: PERKINS+WILL	PROJECT NO: 200400
ARCHITECT: PERKINS+WILL	SHEET NO: 07
DATE: 11/14/14	

DESIGNER: PERKINS+WILL	PROJECT NO: 200400
ARCHITECT: PERKINS+WILL	SHEET NO: 07
DATE: 11/14/14	

DESIGNER: PERKINS+WILL	PROJECT NO: 200400
ARCHITECT: PERKINS+WILL	SHEET NO: 07
DATE: 11/14/14	

DESIGNER: PERKINS+WILL	PROJECT NO: 200400
ARCHITECT: PERKINS+WILL	SHEET NO: 07
DATE: 11/14/14	

DESIGNER: PERKINS+WILL	PROJECT NO: 200400
ARCHITECT: PERKINS+WILL	SHEET NO: 07
DATE: 11/14/14	

DESIGNER: PERKINS+WILL	PROJECT NO: 200400
ARCHITECT: PERKINS+WILL	SHEET NO: 07
DATE: 11/14/14	

DESIGNER: PERKINS+WILL	PROJECT NO: 200400
ARCHITECT: PERKINS+WILL	SHEET NO: 07
DATE: 11/14/14	

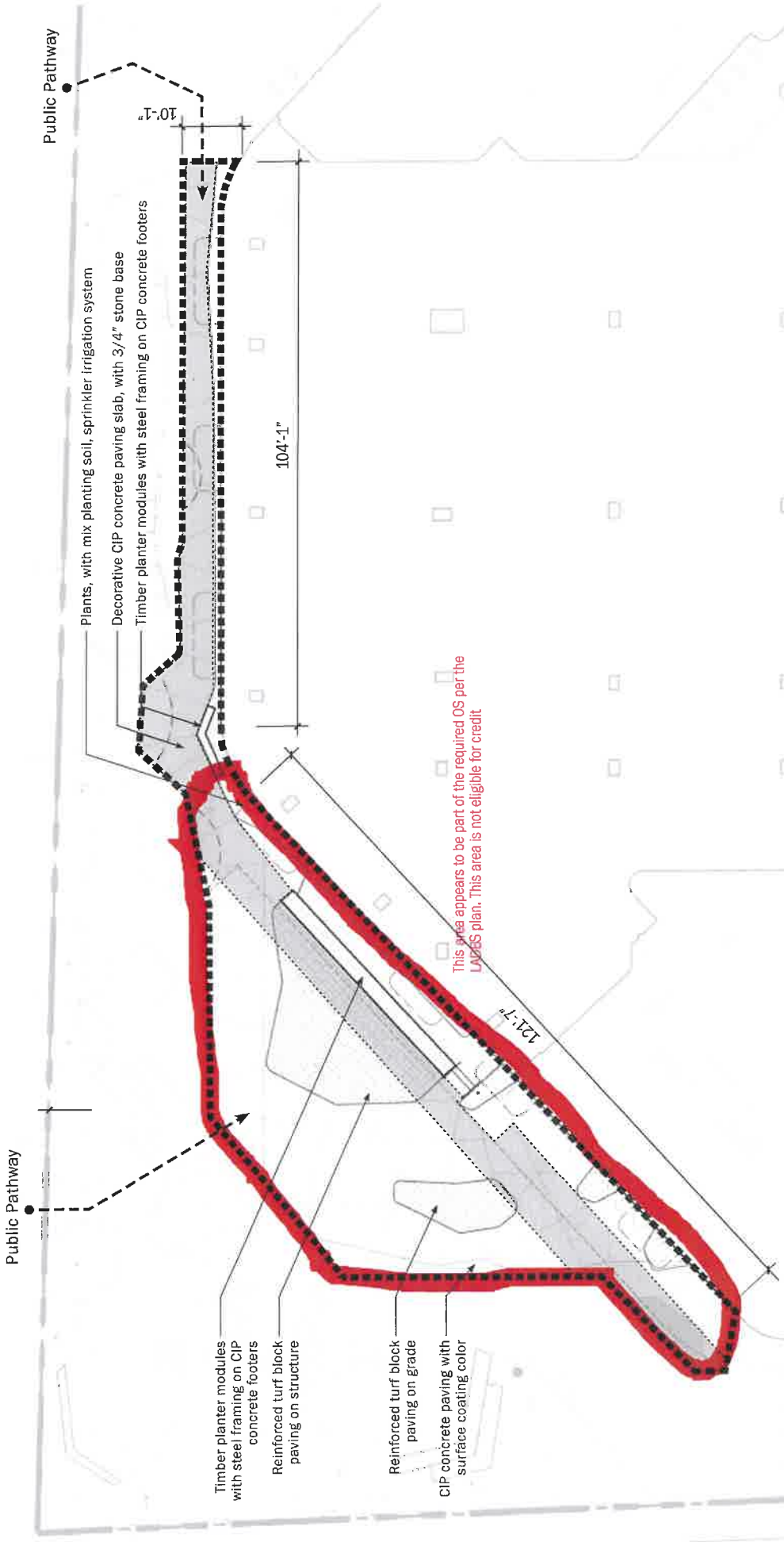
DESIGNER: PERKINS+WILL	PROJECT NO: 200400
ARCHITECT: PERKINS+WILL	SHEET NO: 07
DATE: 11/14/14	

DESIGNER: PERKINS+WILL	PROJECT NO: 200400
ARCHITECT: PERKINS+WILL	SHEET NO: 07
DATE: 11/14/14	

DESIGNER: PERKINS+WILL	PROJECT NO: 200400
ARCHITECT: PERKINS+WILL	SHEET NO: 07
DATE: 11/14/14	

3401 & 3411 S LA CIENEGA BLVD.  
 LOS ANGELES, CA 90016

PERKINS+WILL  
 1111 MARKET STREET, SUITE 200  
 LOS ANGELES, CA 90016  
 TEL: (213) 709-3300  
 WWW.PWILL.COM



**AREA 1(West) : Ground Floor Public Plaza (Publicly Accessible Space)**

**3401 & 3411 S LA CIENEGA BLVD.**  
 LOS ANGELES, CA 90008



PROJECT: 202406  
 SHEET: 08



DATE: 08/20/2024  
 TIME: 10:00 AM  
 PROJECT: 202406  
 SHEET: 08

SCALE: 1/8" = 1'-0"  
 SCALE: 1/8" = 1'-0"

DESIGNATED WALKING / JOGGING PATH

Public Pathway

Public Pathway

104'-1"

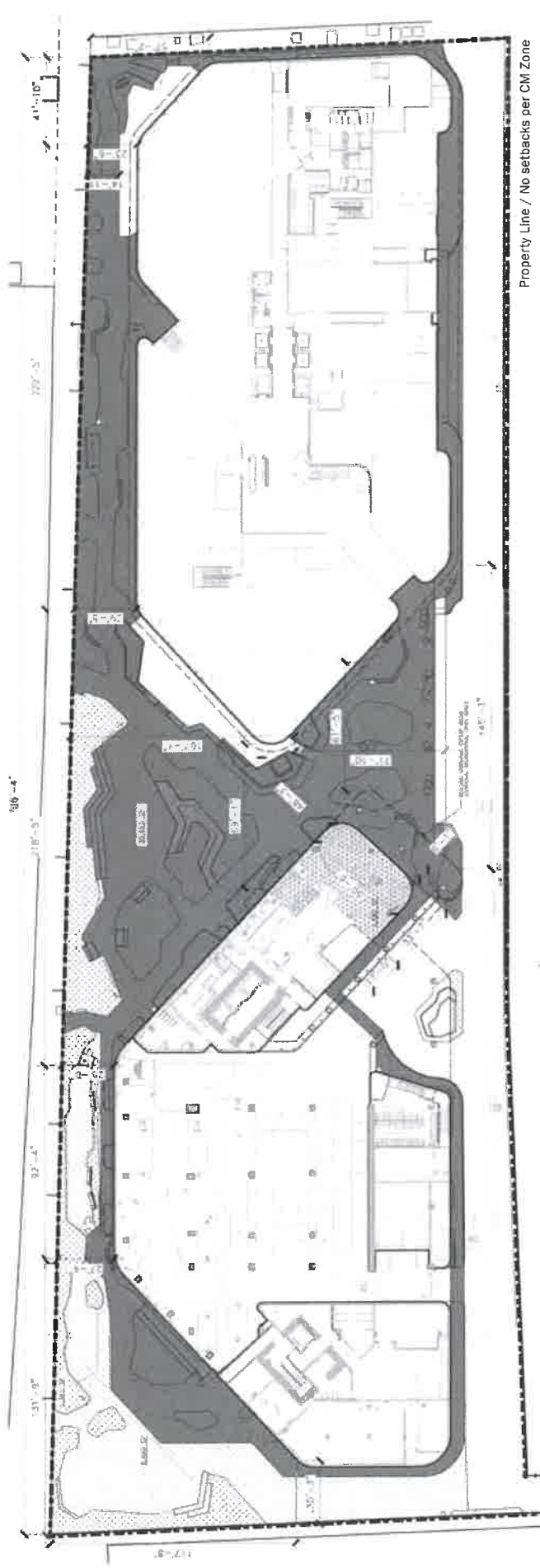
121'-7"

10'-1"

Plants, with mix planting soil, sprinkler irrigation system  
 Decorative CIP concrete paving slab, with 3/4" stone base  
 Timber planter modules with steel framing on CIP concrete footers

Timber planter modules with steel framing on CIP concrete footers  
 Reinforced turf block paving on structure  
 Reinforced turf block paving on grade  
 CIP concrete paving with surface coating color

This area appears to be part of the required OS per the LUGES plan. This area is not eligible for credit



Property Line / No setbacks per CM Zone

**LEVEL 01: COMMON OPEN SPACE (AREA 1)**

PROVIDED COMMON USEABLE OPEN SPACE TOTAL	13,061 SF
PROVIDED COMMON USEABLE OPEN SPACE NOT-PLANTED AREA	6,407 SF
PROVIDED COMMON USEABLE OPEN SPACE PLANTED AREA	6,654 SF
PROVIDED INTERIOR COMMON OPEN SPACE TOTAL	1,795 SF
PROVIDED RECREATIONAL CREDIT AREA TOTAL	35,493 SF

**ADDITIONAL RECREATIONAL CREDIT AREA PROVIDED: 41,362 SF**

AREA 1 - PUBLIC  
 LEVEL 01 EXTERIOR RECREATIONAL CREDIT AREA (NOT INCLUDED IN OS CAL): 35,493 SF  
 AREA 2 - EXTERIOR RECREATIONAL CREDIT AREA (REAR EXTERIOR & EXTERIOR): 6,869 SF

**RESIDENTIAL OPEN SPACE CALCULATION**

EACH UNIT HAVING LESS THAN 3 ROOMS: 100 SF  
 EACH UNIT HAVING 3 ROOMS: 126 SF  
 EACH UNIT HAVING MORE THAN 3 ROOMS: 176 SF

**REQUIRED USEABLE OPEN SPACE TOTAL: 28,575 SF**  
 (127.63 x 100 SF) + (109.63 x 126 SF) + (0.93 x 176 SF)

MIN. JMAX REQUIREMENTS AS A PERCENTAGE OF TOTAL USEABLE OPEN SPACE:  
 - EXTERIOR COMMON OPEN SPACE MUST CONSTITUTE MIN. 50% OF TOTAL  
 - INTERIOR COMMON OPEN SPACE MAY CONSTITUTE MAX. 25% OF TOTAL  
 - EXTERIOR PRIVATE OPEN SPACE MAY CONSTITUTE MAX. 65% OF TOTAL

**PROVIDED USEABLE OPEN SPACE TOTAL: 28,575 SF**

EXTERIOR COMMON OPEN SPACE TOTAL (81% OF TOTAL): 23,235 SF  
 MIN. REQUIREMENT MUST CONSTITUTE 50% OF TOTAL  
 LEVEL 01 EXTERIOR COMMON OPEN SPACE: 13,061 SF  
 LEVEL 02 EXTERIOR COMMON OPEN SPACE: 6,863 SF  
 LEVEL 12 EXTERIOR COMMON OPEN SPACE: 551 SF

INTERIOR COMMON OPEN SPACE TOTAL (16% OF TOTAL): 4,470 SF  
 MAX. ALLOWED MAY CONSTITUTE 25% OF TOTAL  
 LEVEL 01 INTERIOR COMMON OPEN SPACE: 1,795 SF  
 LEVEL 12 INTERIOR COMMON OPEN SPACE: 2,675 SF

RESIDENTIAL OPEN SPACE TOTAL: 860 SF  
 LEVEL 02 PRIVATE OPEN SPACE: 100 SF  
 LEVEL 05-11 PRIVATE OPEN SPACE: 700 SF  
 LEVEL 12 PRIVATE OPEN SPACE: 50 SF

**REQUIRED PLANTED OPEN SPACE TOTAL: 7,144 SF**  
 (28,575 SF REQUIRED COMMON OPEN SPACE x 25%)

**PROVIDED PLANTED OPEN SPACE TOTAL: 8,275 SF**

LEVEL 02 PLANTED COMMON OPEN SPACE: 5,381 SF  
 LEVEL 02 PLANTED COMMON OPEN SPACE: 2,894 SF

**LEVEL 01: COMMON OPEN SPACE (AREA 1)**

PROVIDED COMMON USEABLE OPEN SPACE TOTAL	13,061 SF
PROVIDED COMMON USEABLE OPEN SPACE NOT-PLANTED AREA	6,407 SF
PROVIDED COMMON USEABLE OPEN SPACE PLANTED AREA	6,654 SF
PROVIDED INTERIOR COMMON OPEN SPACE TOTAL	1,795 SF
PROVIDED RECREATIONAL CREDIT AREA TOTAL	35,493 SF

**ADDITIONAL RECREATIONAL CREDIT AREA PROVIDED: 41,362 SF**

AREA 1 - PUBLIC  
 LEVEL 01 EXTERIOR RECREATIONAL CREDIT AREA (NOT INCLUDED IN OS CAL): 35,493 SF  
 AREA 2 - EXTERIOR RECREATIONAL CREDIT AREA (REAR EXTERIOR & EXTERIOR): 6,869 SF

**RESIDENTIAL OPEN SPACE CALCULATION**

EACH UNIT HAVING LESS THAN 3 ROOMS: 100 SF  
 EACH UNIT HAVING 3 ROOMS: 126 SF  
 EACH UNIT HAVING MORE THAN 3 ROOMS: 176 SF

**REQUIRED USEABLE OPEN SPACE TOTAL: 28,575 SF**  
 (127.63 x 100 SF) + (109.63 x 126 SF) + (0.93 x 176 SF)

MIN. JMAX REQUIREMENTS AS A PERCENTAGE OF TOTAL USEABLE OPEN SPACE:  
 - EXTERIOR COMMON OPEN SPACE MUST CONSTITUTE MIN. 50% OF TOTAL  
 - INTERIOR COMMON OPEN SPACE MAY CONSTITUTE MAX. 25% OF TOTAL  
 - EXTERIOR PRIVATE OPEN SPACE MAY CONSTITUTE MAX. 65% OF TOTAL

**LEVEL 01: COMMON OPEN SPACE (AREA 1)**

PROVIDED COMMON USEABLE OPEN SPACE TOTAL	13,061 SF
PROVIDED COMMON USEABLE OPEN SPACE NOT-PLANTED AREA	6,407 SF
PROVIDED COMMON USEABLE OPEN SPACE PLANTED AREA	6,654 SF
PROVIDED INTERIOR COMMON OPEN SPACE TOTAL	1,795 SF
PROVIDED RECREATIONAL CREDIT AREA TOTAL	35,493 SF

**ADDITIONAL RECREATIONAL CREDIT AREA PROVIDED: 41,362 SF**

AREA 1 - PUBLIC  
 LEVEL 01 EXTERIOR RECREATIONAL CREDIT AREA (NOT INCLUDED IN OS CAL): 35,493 SF  
 AREA 2 - EXTERIOR RECREATIONAL CREDIT AREA (REAR EXTERIOR & EXTERIOR): 6,869 SF

**RESIDENTIAL OPEN SPACE CALCULATION**

EACH UNIT HAVING LESS THAN 3 ROOMS: 100 SF  
 EACH UNIT HAVING 3 ROOMS: 126 SF  
 EACH UNIT HAVING MORE THAN 3 ROOMS: 176 SF

**REQUIRED USEABLE OPEN SPACE TOTAL: 28,575 SF**  
 (127.63 x 100 SF) + (109.63 x 126 SF) + (0.93 x 176 SF)

MIN. JMAX REQUIREMENTS AS A PERCENTAGE OF TOTAL USEABLE OPEN SPACE:  
 - EXTERIOR COMMON OPEN SPACE MUST CONSTITUTE MIN. 50% OF TOTAL  
 - INTERIOR COMMON OPEN SPACE MAY CONSTITUTE MAX. 25% OF TOTAL  
 - EXTERIOR PRIVATE OPEN SPACE MAY CONSTITUTE MAX. 65% OF TOTAL

This page should match the LADBS OS plan

**3401 & 3411 S LA CIENEGA BLVD.**  
 LOS ANGELES, CA 90008

PROJECT NO: 2024005

DATE: 01/11/2024

SCALE: 1/8" = 1'-0"

**SHEET 01**

REVISIONS:

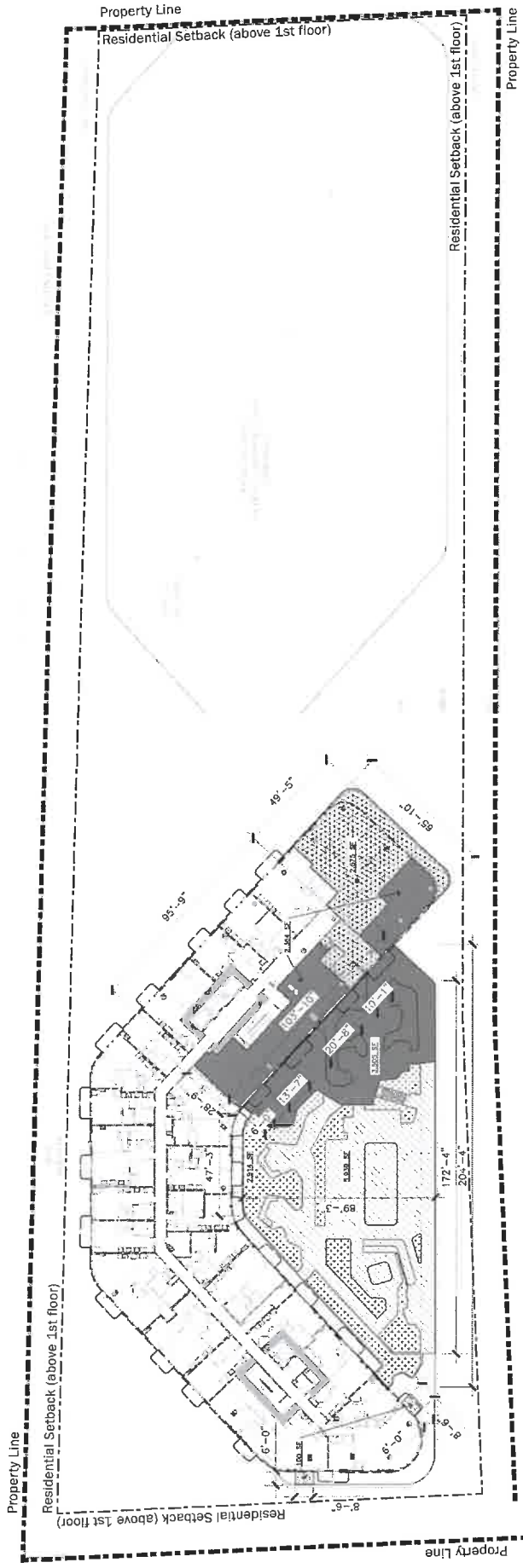
NO.	DATE	DESCRIPTION
1	01/11/2024	ISSUED FOR PERMIT

DESIGNED BY: [Signature]

CHECKED BY: [Signature]

PROJECT ENGINEER: [Signature]

SEAL: [Professional Engineer Seal]



**LEVEL 02: COMMON OPEN SPACE (AREA 2)**

PROVIDED COMMON USEABLE OPEN SPACE TOTAL	0,853 SF
PROVIDED COMMON PLANTED AREA	2,814 SF
PROVIDED COMMON USEABLE OPEN SPACE PLANTED AREA	2,814 SF
PROVIDED INTERIOR COMMON OPEN SPACE TOTAL	2,675 SF
PROVIDED PRIVATE OPEN SPACE TOTAL	100 SF
PROVIDED RECREATIONAL CREDIT AREA TOTAL	5,869 SF

*This page should match the LADBS OS plan*

**ADDITIONAL RECREATIONAL CREDIT AREA PROVIDED:**

TOTAL	41,362 SF
AREA 1 - PUBLIC	35,403 SF
LEVEL 01 EXTERIOR RECREATIONAL CREDIT AREA (NOT INCLUDED IN OS CALL)	35,403 SF
AREA 2	5,959 SF
LEVEL 02 RECREATIONAL CREDIT AREA (INTERIOR & EXTERIOR)	5,959 SF

**RESIDENTIAL OPEN SPACE CALCULATION**

EACH UNIT HAVING LESS THAN 3 ROOMS:	100 SF
EACH UNIT HAVING 3 ROOMS:	125 SF
EACH UNIT HAVING MORE THAN 3 ROOMS:	175 SF

**REQUIRED USEABLE OPEN SPACE TOTAL: 28,575 SF**  
 (157 UNITS x 100 SF) + (102 UNITS x 125 SF) + (0 UNITS x 175 SF)

- MIN./MAX. REQUIREMENTS AS A PERCENTAGE OF TOTAL USEABLE OPEN SPACE
- EXTERIOR COMMON OPEN SPACE MUST CONSTITUTE MIN. 50% OF TOTAL OPEN SPACE
- EXTERIOR PRIVATE OPEN SPACE MAY CONSTITUTE MAX. 60% OF TOTAL OPEN SPACE

**PROVIDED USEABLE OPEN SPACE TOTAL: 28,575 SF**

EXTERIOR COMMON OPEN SPACE TOTAL (81% OF TOTAL)	23,255 SF
MIN. REQUIREMENT MUST CONSTITUTE 60% OF TOTAL	
LEVEL 01 EXTERIOR COMMON OPEN SPACE	13,881 SF
LEVEL 02 EXTERIOR COMMON OPEN SPACE	8,863 SF
LEVEL 12 EXTERIOR COMMON OPEN SPACE	501 SF
INTERIOR COMMON OPEN SPACE TOTAL (16% OF TOTAL)	4,470 SF
MAX. ALLOWED MAY CONSTITUTE 25% OF TOTAL	
LEVEL 01 INTERIOR COMMON OPEN SPACE	1,795 SF
LEVEL 12 INTERIOR COMMON OPEN SPACE	2,675 SF
PRIVATE OPEN SPACE TOTAL (8% OF TOTAL)	600 SF
MAX. ALLOWED MAY CONSTITUTE 50% OF TOTAL	
LEVEL 02 PRIVATE OPEN SPACE	100 SF
LEVEL 06-11 PRIVATE OPEN SPACE	700 SF
LEVEL 12 PRIVATE OPEN SPACE	50 SF

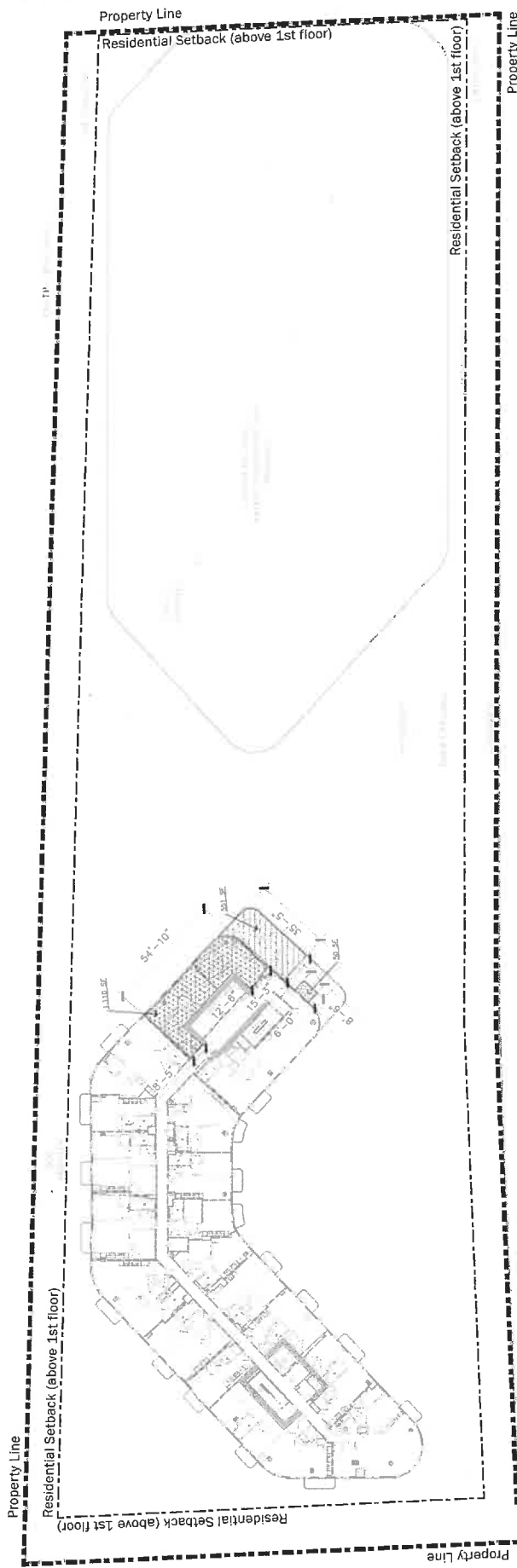
**REQUIRED PLANTED OPEN SPACE TOTAL: 7,144 SF**  
 (28,575 SF REQUIRED COMMON OPEN SPACE x 25%)

**PROVIDED PLANTED OPEN SPACE TOTAL: 8,275 SF**

LEVEL 01 PLANTED COMMON OPEN SPACE	5,361 SF
LEVEL 02 PLANTED COMMON OPEN SPACE	2,914 SF

TYPE	AREA	AREA 1 (PUBLIC)	AREA 2	TOTAL
RECREATIONAL CREDIT AREA	AREA 1 (PUBLIC)	35,403 SF	5,959 SF	41,362 SF
RECREATIONAL CREDIT AREA	AREA 2	5,959 SF	5,959 SF	11,918 SF
RECREATIONAL CREDIT AREA	TOTAL	41,362 SF	11,918 SF	53,280 SF





**LEVEL 12: COMMON OPEN SPACE**

PROVIDED COMMON USEABLE OPEN SPACE TOTAL: 551 SF  
 PROVIDED INTERIOR COMMON OPEN SPACE TOTAL: 1,110 SF  
 PROVIDED PRIVATE OPEN SPACE TOTAL: 50 SF

**ADDITIONAL RECREATIONAL CREDIT AREA PROVIDED:**  
 41,362 SF

AREA 1 - PUBLIC  
 LEVEL 01 EXTERIOR RECREATIONAL CREDIT AREA (NOT INCLUDED IN OS CAL): 38,462 SF  
 AREA 2 - EXTERIOR RECREATIONAL CREDIT AREA (INTERIOR & EXTERIOR): 5,900 SF

**RESIDENTIAL OPEN SPACE CALCULATION**

EACH UNIT HAVING LESS THAN 3 ROOMS: 100 SF  
 EACH UNIT HAVING 3 ROOMS: 128 SF  
 EACH UNIT HAVING MORE THAN 3 ROOMS: 178 SF

**REQUIRED USEABLE OPEN SPACE TOTAL: 28,575 SF**  
 (157 OR X 100 SF) + (108 OR X 128 SF) + (0 OR X 178 SF)

MIN. / MAX. REQUIREMENTS AS A PERCENTAGE OF TOTAL USEABLE OPEN SPACE:  
 - EXTERIOR COMMON OPEN SPACE MUST CONSTITUTE MIN. 50% OF TOTAL  
 - EXTERIOR PRIVATE OPEN SPACE MUST CONSTITUTE MAX. 5% OF TOTAL

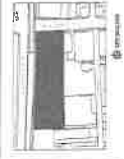
**PROVIDED USEABLE OPEN SPACE TOTAL: 28,575 SF**

EXTERIOR COMMON OPEN SPACE TOTAL (MIN. OF TOTAL): 23,825 SF  
 MIN. REQUIREMENT MUST CONSTITUTE 50% OF TOTAL  
 LEVEL 01 EXTERIOR COMMON OPEN SPACE: 13,861 SF  
 LEVEL 02 EXTERIOR COMMON OPEN SPACE: 8,863 SF  
 LEVEL 12 EXTERIOR COMMON OPEN SPACE: 501 SF  
 MAX. ALLOWED MAY CONSTITUTE 25% OF TOTAL  
 LEVEL 01 INTERIOR COMMON OPEN SPACE: 1,795 SF  
 LEVEL 12 INTERIOR COMMON OPEN SPACE: 2,575 SF  
 MAX. ALLOWED MAY CONSTITUTE 80% OF TOTAL  
 LEVEL 02 PRIVATE OPEN SPACE: 850 SF  
 LEVEL 05 PRIVATE OPEN SPACE: 100 SF  
 LEVEL 05-11 PRIVATE OPEN SPACE: 700 SF  
 LEVEL 12 PRIVATE OPEN SPACE: 50 SF

**REQUIRED PLANTED OPEN SPACE TOTAL: 7,144 SF**  
 (28,575 SF REQUIRED COMMON OPEN SPACE x 25%)

**PROVIDED PLANTED OPEN SPACE TOTAL: 8,275 SF**

LEVEL 01 PLANTED COMMON OPEN SPACE: 5,981 SF  
 LEVEL 02 PLANTED COMMON OPEN SPACE: 2,814 SF



LEVEL 01 PLANTED COMMON OPEN SPACE: 5,981 SF  
 LEVEL 02 PLANTED COMMON OPEN SPACE: 2,814 SF

MINIMUM RECREATIONAL CREDIT AREA REQUIREMENTS:  
 - EXTERIOR RECREATIONAL CREDIT AREA (NOT INCLUDED IN OS CAL): 38,462 SF  
 - EXTERIOR RECREATIONAL CREDIT AREA (INTERIOR & EXTERIOR): 5,900 SF

MINIMUM RECREATIONAL CREDIT AREA REQUIREMENTS:  
 - EXTERIOR RECREATIONAL CREDIT AREA (NOT INCLUDED IN OS CAL): 38,462 SF  
 - EXTERIOR RECREATIONAL CREDIT AREA (INTERIOR & EXTERIOR): 5,900 SF

MINIMUM RECREATIONAL CREDIT AREA REQUIREMENTS:  
 - EXTERIOR RECREATIONAL CREDIT AREA (NOT INCLUDED IN OS CAL): 38,462 SF  
 - EXTERIOR RECREATIONAL CREDIT AREA (INTERIOR & EXTERIOR): 5,900 SF

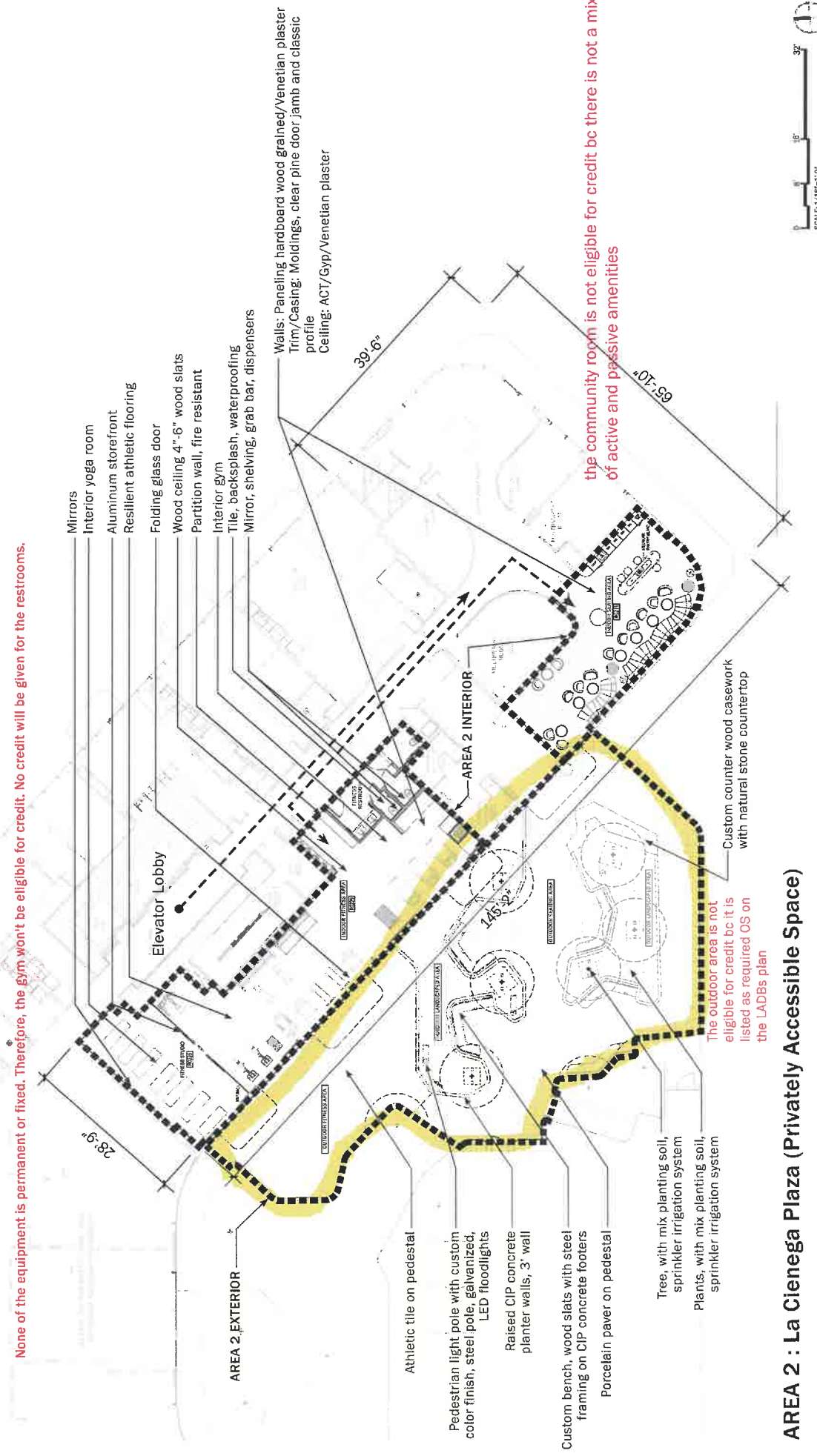
MINIMUM RECREATIONAL CREDIT AREA REQUIREMENTS:  
 - EXTERIOR RECREATIONAL CREDIT AREA (NOT INCLUDED IN OS CAL): 38,462 SF  
 - EXTERIOR RECREATIONAL CREDIT AREA (INTERIOR & EXTERIOR): 5,900 SF

MINIMUM RECREATIONAL CREDIT AREA REQUIREMENTS:  
 - EXTERIOR RECREATIONAL CREDIT AREA (NOT INCLUDED IN OS CAL): 38,462 SF  
 - EXTERIOR RECREATIONAL CREDIT AREA (INTERIOR & EXTERIOR): 5,900 SF

MINIMUM RECREATIONAL CREDIT AREA REQUIREMENTS:  
 - EXTERIOR RECREATIONAL CREDIT AREA (NOT INCLUDED IN OS CAL): 38,462 SF  
 - EXTERIOR RECREATIONAL CREDIT AREA (INTERIOR & EXTERIOR): 5,900 SF

MINIMUM RECREATIONAL CREDIT AREA REQUIREMENTS:  
 - EXTERIOR RECREATIONAL CREDIT AREA (NOT INCLUDED IN OS CAL): 38,462 SF  
 - EXTERIOR RECREATIONAL CREDIT AREA (INTERIOR & EXTERIOR): 5,900 SF

None of the equipment is permanent or fixed. Therefore, the gym won't be eligible for credit. No credit will be given for the restrooms.

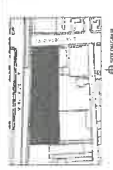


### AREA 2 : La Cienega Plaza (Privately Accessible Space)

3401 & 3411 S LA CIENEGA BLVD.  
LOS ANGELES, CA 90008

PROJECT # 2008005  
SCALE: 1/8" = 1'-0"  
DATE: 11/18/11

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	11/18/11
2	ISSUED FOR PERMITS	11/18/11
3	ISSUED FOR PERMITS	11/18/11
4	ISSUED FOR PERMITS	11/18/11
5	ISSUED FOR PERMITS	11/18/11
6	ISSUED FOR PERMITS	11/18/11
7	ISSUED FOR PERMITS	11/18/11
8	ISSUED FOR PERMITS	11/18/11
9	ISSUED FOR PERMITS	11/18/11
10	ISSUED FOR PERMITS	11/18/11



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DEPARTMENT OF RECREATION  
AND PARKS

BOARD OF COMMISSIONERS

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**BRENDA AGUIRRE**  
ASSISTANT GENERAL MANAGER

(213) 202-2633

Sent via Email: [glen.rosic@lendlease.com](mailto:glen.rosic@lendlease.com)

October 31, 2024

Glen Rosic  
Lendlease  
515 S. Flower Street, Ste 600  
Los Angeles, CA 90071

**RE: PARK FEE RECREATION CREDIT SUBMISSION FOR VTT-83550-CN LOCATED AT  
3401 LA CIENEGA BOULEVARD DATED OCTOBER 7, 2024**

Dear Glen:

The Department of Recreation and Parks (RAP) is in receipt of the correspondence and revised Recreation Credit submission for VTT-83550-CN located at 3401 La Cienega Boulevard, which was sent via email on October 7, 2024.

Previous Recreational Credit Reviews for VTT-83550

RAP staff has previously responded to and provided comments for Recreation Credit submissions submitted on the following dates:

- August 10, 2023 – RAP participated in a meeting on August 21, 2023 at the request of the applicant to discuss the submission and answer questions.
- October 26, 2023 – RAP responded to the submission via email on October 31, 2023 and provided additional comments on November 1, 2023. RAP agreed to participate in an additional meeting on November 11, 2023 at the applicant's request.
- November 17, 2023 – RAP responded to the submission via email on December 1, 2023.
- December 14, 2023 – RAP responded to the submission via email on January 8, 2024.
- RAP later provided additional information via email on February 7, 2024 in response to questions and comments from the applicant regarding RAP's revisions sent on January 8, 2024.
- May 13, 2024 – RAP responded to the submission dated April 22, 2024 via email.



Comments on Recreation Credit submission and correspondence received October 7, 2024

Thank you for your thoughtful and comprehensive response to RAP's comments detailed our letter dated May 13<sup>th</sup>, 2024. RAP appreciates the efforts of the applicant to address as many of the concerns detailed in that letter as possible.

Per the requirements of LAMC 12.33.H.2, privately owned and maintained areas providing recreational amenities may receive credit "provided that the following standards are met to the satisfaction of the Department of Recreation and Parks: (1) that each facility is available for use by all the residents of the residential development; and (2) that the area and the facilities satisfy the recreation and park needs of the residential development so as to reduce the need for public recreation and park facilities to serve the project residents."

RAP commends the applicant for providing excess open space above the minimum required amount for its residents and the general public, and for doing their part to create urban open space via enhanced pedestrian orientation and a public plaza as part of the new development per the goals of the West Adams – Baldwin Hills – Leimert Community Plan (1-11). As you also pointed out, the West Adams – Baldwin Hills – Leimert Community Plan also clearly identifies a need for additional park acreage to meet the desired standard of RAP park development (Table 5-7). The Community Plan later discusses the following goal and policy:

*Goal CF8: A community that conserves, maintains and better utilizes existing recreation and park facilities which promote the recreational needs of the Community.*

*Policy CF8-3: Improve Existing Facilities. Improve utilization and development of recreational facilities at existing parks. (P183)*

The Community Plan delineates the need for additional public park space and advises RAP to continue to improve the existing park and recreational assets in a thoughtful way to meet the needs of the surrounding community. Given limited available resources, RAP depends on Park Fees to help fund park capital improvements and park expansion projects to sufficiently serve the residents of new developments per the requirements of LAMC 12.33.E.3.

RAP thanks the applicant on behalf of the City for designing a public plaza and enhancing pedestrian and cycling access to public transportation infrastructure. However, the private and public amenities listed in this recreation credit submission will ultimately not reduce the need for public recreation and park facilities to serve the project residents. The amenities listed in your submission do not negate the residents' need for additional ballfields, basketball courts, playgrounds, recreation and/or senior centers, other park amenities, and RAP owned-facilities or programs nearby.

After extensive review and consideration, RAP staff is not supportive of this Recreation Credit submission due to the reasons listed above. As noted in your letter, the development is anticipated to be completed in early 2026. Given the limited timeframe, it appears unlikely that the types of significant design changes that would be needed to sufficiently reduce the residents and public's need for park facilities will be able to be implemented. RAP staff will not be recommending it move forward as currently proposed and will not recommend that the RAP Board approve the granting of credit towards the required Park Fee.



VTT-83550 Recreation Credit Response  
October 31, 2024  
Page 3

If you have any questions regarding this correspondence, please contact Meghan Luera, of my staff, at [meghan.luera@lacity.org](mailto:meghan.luera@lacity.org).

Sincerely,

JIMMY KIM  
General Manager



CATHIE SANTO DOMINGO  
Assistant General Manager

CSD/DF/ML:ar

Attachments: VTT-83550-CN Recreation Credit Letter and Exhibits dated 10/7/2026

Cc: RAP Park Fees Group, [rap.parkfees@lacity.org](mailto:rap.parkfees@lacity.org)  
Kimani Black, Office of Council District 10, [kimani.black@lacity.org](mailto:kimani.black@lacity.org)  
Hakeem Parke-Davis, Office of Council District 10, [hakeem.parke-davis@lacity.org](mailto:hakeem.parke-davis@lacity.org)  
Andrew Westall, Office of Council District 10 [andrew.westall@lacity.org](mailto:andrew.westall@lacity.org)  
Tanner Blackman, [tanner@irvineassoc.com](mailto:tanner@irvineassoc.com)  
Carlos Lovato, [carlos@irvineassoc.com](mailto:carlos@irvineassoc.com)  
Burton, Ryan, [Ryan.Burton@lendlease.com](mailto:Ryan.Burton@lendlease.com)  
VTT-83550-CN Case File



Sent via Email: jimmy.kim@lacity.org

October 7, 2024

Jimmy Kim  
General Manager  
Los Angeles Department of Recreation and Parks  
221 N. Figueroa Street, Suite 400  
Los Angeles, CA 90012

**RE: PARK FEE RECREATION CREDIT RE-SUBMISSION FOR VTT-83350-CN LOCATED AT 3401 LA CIENEGA BOULEVARD IN RESPONSE TO LETTER RECEIVED FROM THE LOS ANGELES DEPARTMENT OF RECREATION AND PARKS DATED MAY 13, 2024**

Dear Mr. Kim,

We are the developer of Habitat, located at 3401 S La Cienega, and acknowledge the letter received from the Los Angeles Department of Recreation and Parks (“RAP”) dated May 13, 2024 in regards to our most recent Recreation Credits Application submission which was sent to RAP via email on April 22, 2024. Enclosed herewith we are pleased to submit a revised Recreation Credits submission including updated exhibits and estimates which address the comments received from RAP (“Revised Submission”). The foregoing letter provides RAP with further background and narrative specific to each comment received from RAP to assist in its review.

Habitat is a transit-oriented, live-work-thrive destination situated on 3.5 acres at 3401 S. La Cienega Blvd in Los Angeles located directly adjacent to the La Cienega/Jefferson Metro station. Designed by SHoP Architects (Design Architect) and RELM Studio (Landscape Architect), the all-electric development will feature 260 rental units (including 22 affordable units at the Very Low Income level as well as 7 units of Workforce Housing), commercial space, and an acre of open space designed to resemble a neighborhood park. Scheduled for completion in early 2026, Habitat is a sustainable project that will achieve LEED Platinum for commercial, LEED Gold for residential as well as Fitwel certifications.



**Public Recreation Credit Area (Pedestrian View)**

The heart of the Public Recreation Credit Area includes a walking and jogging path, landscaped open space with chaise seating lounge areas, terraced seating, open grass areas, and connecting to a games areas with ping pong tables for the public to enjoy.



**Public Recreation Credit Area (Aerial View)**

The generous open space comprising the Public Recreation Credit Area extends across the site including additional landscaped open space with seating, tables and other landscape features such as boulders and timber walls providing the community with a first-class environment to pause, relax and enjoy the surrounding nature.



**Public Recreation Credit Area (Cyclist View)**

Located adjacent to the LA Metro shared-use bike path, the Public Recreation Area provides a safe and natural walking and jogging path extending across the length of the site from La Cienega at the eastern edge to the western edge. Moments of pause for pedestrians, places for cyclists to rest and refill their tires, and an abundance of native landscaping provides an enhanced experience for Los Angeles residents from across the region.



**Public Recreation Credit Area (Aerial View)**

Highly visible and accessible to Metro Rail E Line riders, the Public Recreation Credit Area will serve to enhance the urban experience providing space to exercise while walking or jogging, resting at the many seating areas, and cooling off under shade provided by trees and the adjacent buildings.

### **RAP Recreation Credit Policy:**

---

Applicant submitted an application for Vesting Tentative Tract Map VTT-83550 for Habitat on September 14, 2021, and that application was deemed complete on January 7, 2022 and therefore vested on that date. Applicant submitted its application for the Recreation Credit on August 10, 2023. Therefore, the standards that RAP can apply to this application for a Park Fee Recreation Credit are the written standards in effect on January 7, 2022, which consisted of LAMC § 12.33 and Recreation Credit Exhibit Instructions PF-3002-1 [revised 11.28.2017]. The current RAP Credit Policy was not adopted until October 19, 2023. Because it was adopted after Habitat's entitlements vested, as well as after Applicant applied for the Recreation Credit, the current RAP Credit Policy does not apply to this application. Nonetheless, Applicant has carefully reviewed each comment in RAP's comment letter dated May 13, 2024 and has, in good faith, attempted to implement as many of RAP's comments from the current RAP Credit Policy as are feasible.

### **Applicant response to RAP's May 13, 2024 comments regarding the April 22, 2024 submission:**

---

#### **Open Space Exhibits:**

- The open space exhibits that detailed the required and excess open space areas provided in the Publicly Accessible and Privately Accessible exhibits do not match the Department of Building and Safety (LADBS) approved open space plan. If the open space on the LADBS approved open space plan is identified as part of the code required open space, then it is not eligible for credit. For example, this means that a portion of the ground floor plaza on the west side of the property (as shown on "Sheet 08" of the Publicly Accessible exhibits) and the outdoor space on the second level are not eligible for credit.

**Applicant Response:** *The Revised Submission is in conformance with the approved LADBS open space plan. The prior submission did not conform to the currently approved LADBS open space plan because the applicant had made revisions to the open space plan in an attempt to address RAP's previous comments and had planned to subsequently seek LADBS approval for the revised open space plan. Applicant held off seeking that LADBS approval until receiving confirmation from RAP that staff would support the recreation credit proposal. However, to simplify the process, this Revised Submission reverts back to the LADBS open space plan.*

- The amount of open space identified in the April 2024 submission is much higher than the previous Recreation Credit submission and it is unclear why areas not previously identified as Publicly Accessible and Privately Accessible space are identified as such in this submission.

**Applicant Response:** *As outlined above, the applicant was attempting to address RAP staff comments from a prior submission by reallocating code required open space and Recreation Credit Areas as well as identify areas not previously included within either. Nevertheless, the amount of open space identified in the Revised Submission aligns with*

*the approved LADBS open space plan and the Recreation Credit area is within that of the pre-April 2024 Recreation Credit submission.*

- There is lack of coherence in the areas identified for publicly accessible credit. Areas identified for recreation credit should have clear and visible boundaries (on the plans and in reality) to ensure future enforcement of the areas is possible.

***Applicant Response:*** *Please refer to the detailed exhibits in the Revised Submission. The amenities which are included in the publicly accessible recreation credit areas have been labelled and identified as either active or passive on Sheet 05 for clarity and ease of reference. While not included within the Recreation Credit areas, there are no fences or boundaries that separate the remaining open space at the ground level (aside from the dog area which is part of the LADBS open space area) providing visitors with additional access to the Metro shared use bike path and an open sports area at the northwest corner of the site with additional landscaping and seating areas. The walking and jogging path will be clearly identified with signage and markings on the pathway itself but the overall outdoor ground level area will function and flow as a seamless experience.*

- The onus is on the applicant to ensure that the exhibits are clear and legible and match the open space plan approved by LADBS. Any submission of recreation credit exhibits shall include a copy of the LADBS approved open space plan.

***Applicant Response:*** *The LADBS approved open space plan is included in the Revised Submission.*

#### **Privately Accessible spaces:**

- RAP will not grant credit for the community room and gym area (as shown on “Sheet 04” on the Privately Accessible exhibits) as the community room does not have a mix of active and passive amenities and therefore does not meet the overall requirements of the adopted Recreation Credit Policy. Additionally, the gym area does not have any fixed or permanent equipment, which is a requirement per the Recreation Credit Policy.

***Applicant Response:*** *The private recreation credit area in the Revised Submission includes both active (Yoga Room, Gym/Fitness Room) and passive (Community Room and Kitchen/Lounge Area) amenities. The Gym/Fitness room will provide a variety of equipment types including some of which will be affixed. The Yoga Room will include equipment and space for activities such as yoga and meditation. The Community Room and attached Kitchen/Lounge area provide a gathering place for residents looking to get out of their apartment and enjoy time with friends, play board games, arts and crafts, as well as to host meetings and events. All of these amenities are listed as eligible for credit per the applicable Recreation Credit Exhibit Instructions PF – 3002-I [revised 11.28.2017] provided by RAP staff. The RAP Board has previously approved privately-accessible recreation credit for community rooms within development projects. Specifically, [Council File No. 19-0023-](#)*



*S1 contains the [RAP Board Report dated September 16, 2022](#) (“Board Report”), detailing the approval of privately-accessible recreation credit for VTT-82227-CN, located at 942 N. Broadway. Page 5 of the Board Report describes the “3,151 s.f.” community room and how the proposed areas meet the requirements per LAMC 12.32 H.2. to receive RAP credit. Relevant excerpts from the Board Report are attached for reference including the exhibit and estimate sheets.*

*Furthermore, we have observed that recreation centers found in a variety of Los Angeles parks include gym areas and community rooms which we agree are essential amenities to support the health and wellbeing of the public as they provide opportunities for fitness and social engagement outside of the home. The existing City of Los Angeles [Public Recreation Plan](#) (part of the Service Systems Element of the General Plan) details the standards, policies, and programs for new park development in the City. Multiple policies identify the need to include community buildings as part of park development in the City of LA. These policies were re-affirmed in a [2016 Resolution](#) accompanying the adoption of the RAP Credit Program.*

**Publicly Accessible space:**

- RAP will not grant credit for the walking/jogging path that extends on the south, east and west sides of the building. Based on the submission, those areas appear to just be a minor extension of the side walk and not part of walking/jogging path along La Cienega Boulevard. A dedicated walking/jogging path should be clearly delineated from pedestrian path or sidewalk and should not create conflict with cyclists. Additionally, the proposed configuration of the path is not optimal as it would encourage residents and the public to jog along the south side of the building where the most vehicular traffic and driveways are located.

***Applicant Response:*** *The walking/jogging path that extends on the south, east and west sides of the building has been removed in the Revised Submission.*

- The combination of active and passive amenities needs substantial revision in order to meet the intent of the Recreation Credit Policy. RAP recommends the addition of active amenities, useable grass or synthetic turf, and permanent shade canopies or structures, which are detailed in the Recreation Credit Policy.

***Applicant Response:*** *All of the active and passive amenities have been identified in the Revised Submission and are delineated and labeled accordingly. These amenities include useable grass, shade provided by an abundance of trees, games areas including ping pong tables, a walking jogging path, seating areas, and both hard and soft landscaping elements.*

**Raised Planters / Inaccessible Landscaping:**

- Per the Recreation Credit Policy, raised planters or inaccessible landscaping not meant for recreational use shall not be more than 25% of the Area. In order to be able to review this submission, RAP would need a calculation confirming the percentage of raised planters or inaccessible landscaping in relation to the rest of the ground floor plaza. Any future submission shall provide a site plan identifying the raised planters or inaccessible landscaping with a calculation of the accessible and inaccessible areas.

**Applicant Response:** *The areas of raised planters and inaccessible landscaping are identified in the Revised Submission along with a calculation confirming the percentage of same.*

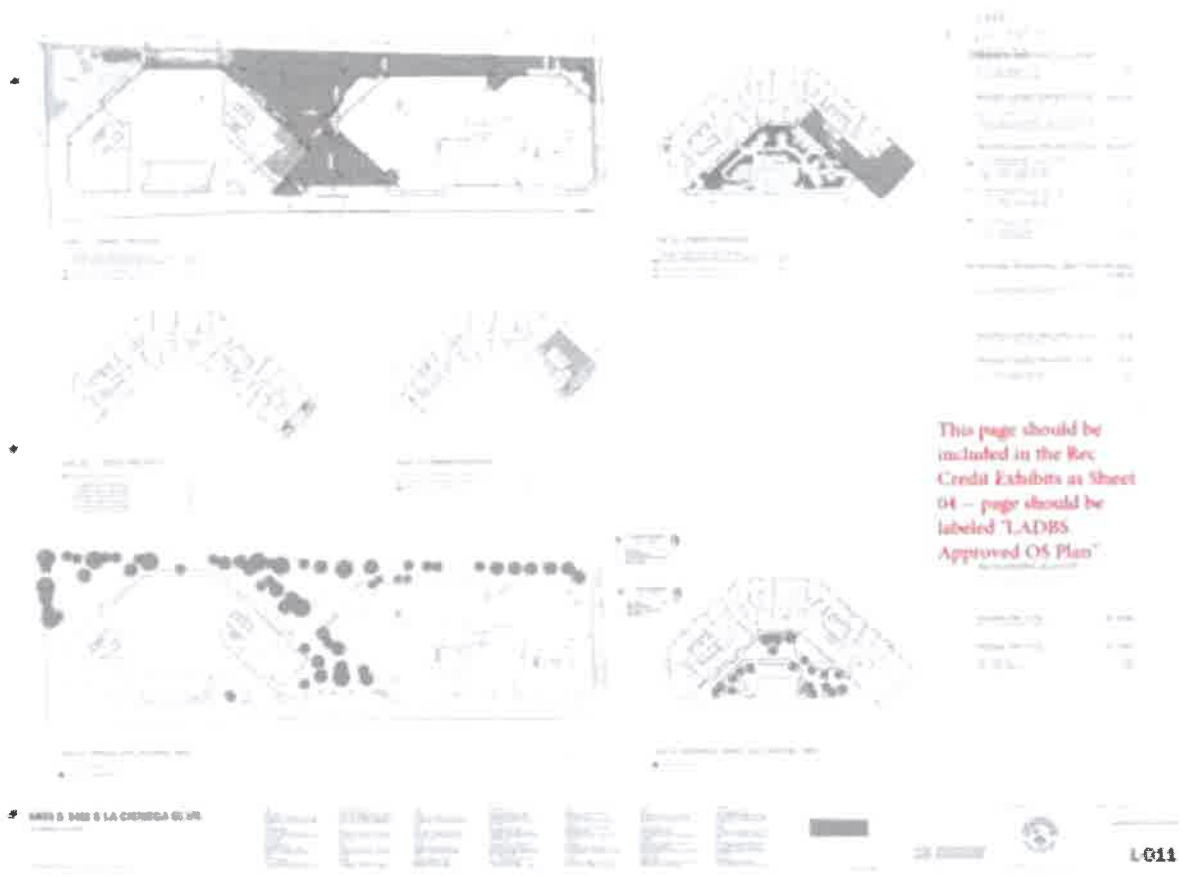
- As currently proposed, the areas requesting Recreation Credit do not meet the requirements of the Recreation Credit Policy and do not resemble green, neighborhood parks. These areas would likely not reduce the impact to the existing park system

**Applicant Response:** *The proposed Recreation Credit areas in the Revised Submission provide a variety of active and passive amenities commonly found within the existing park system and will enhance and complement the recreational offering available to Los Angeles residents. RAP maintains and operates a wide range of recreational facilities throughout the City of Los Angeles, including parks, child care centers, public pools, historical sites, senior citizen centers, recreation centers, and community centers. Among these many sites, there are numerous examples of community room / community center type facilities offering arts & crafts, hobbies and games, computer labs, space for classes, meetings, or conferences, ballrooms, banquet halls, etc. Such facilities include the [Cypress Park Club House](#), the [Devonshire House](#), the [Ramona Hall Community Center](#), and the [South Seas House](#). As such, it is clear that the type of facilities and amenities proposed in the Revised Submission resemble uses and community facilities common among RAP's various facilities. Further, a central goal of the West Adams – Baldwin Hills – Leimert Community Plan ("Community Plan") is to:*

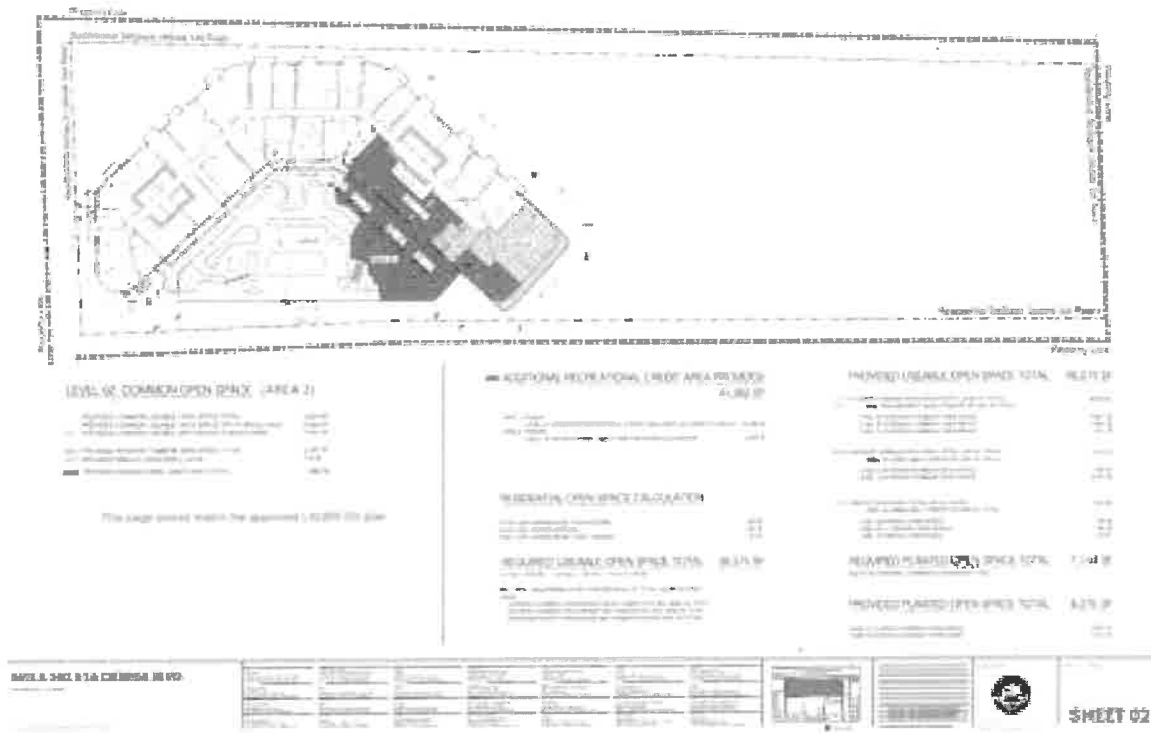
***Create more small parks, pedestrian districts, and public plazas.***

*While regional parks and green networks are an important component of the City's open space strategy, more small-scale, urban open spaces must be developed as well, as they are crucial to the quality of life of the City's residents. There are many opportunities at the community level to create public "pocket" parks as part of new developments, to enhance pedestrian orientation in key commercial areas, and to build well-designed public plazas. (1-11).*

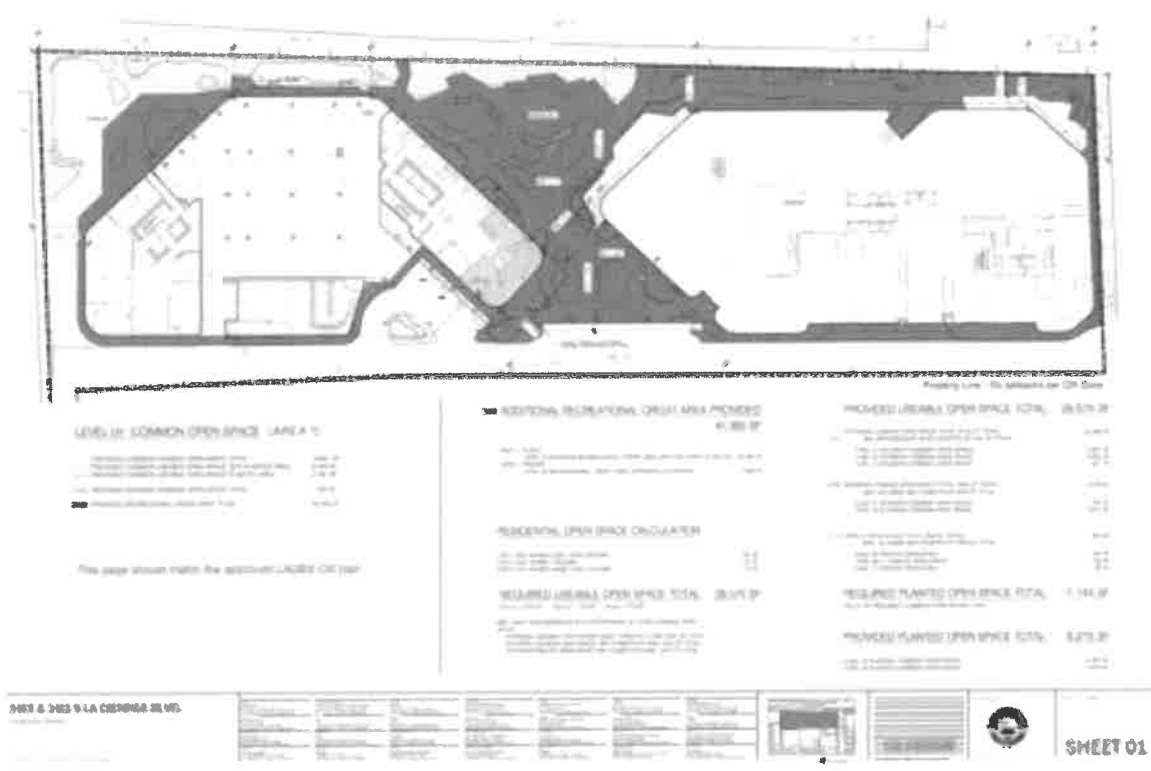
*Chapter 5 of the Community Plan also details the need for Neighborhood Parks, which provide "space and facilities for outdoor and indoor recreation activities to all residents in its immediate neighborhood (5-19). Table 5-7 of the Community Plan identifies the need for 411 acres of additional "Neighborhood Parks (including mini parks)" to meet the desired standard of RAP park development.*



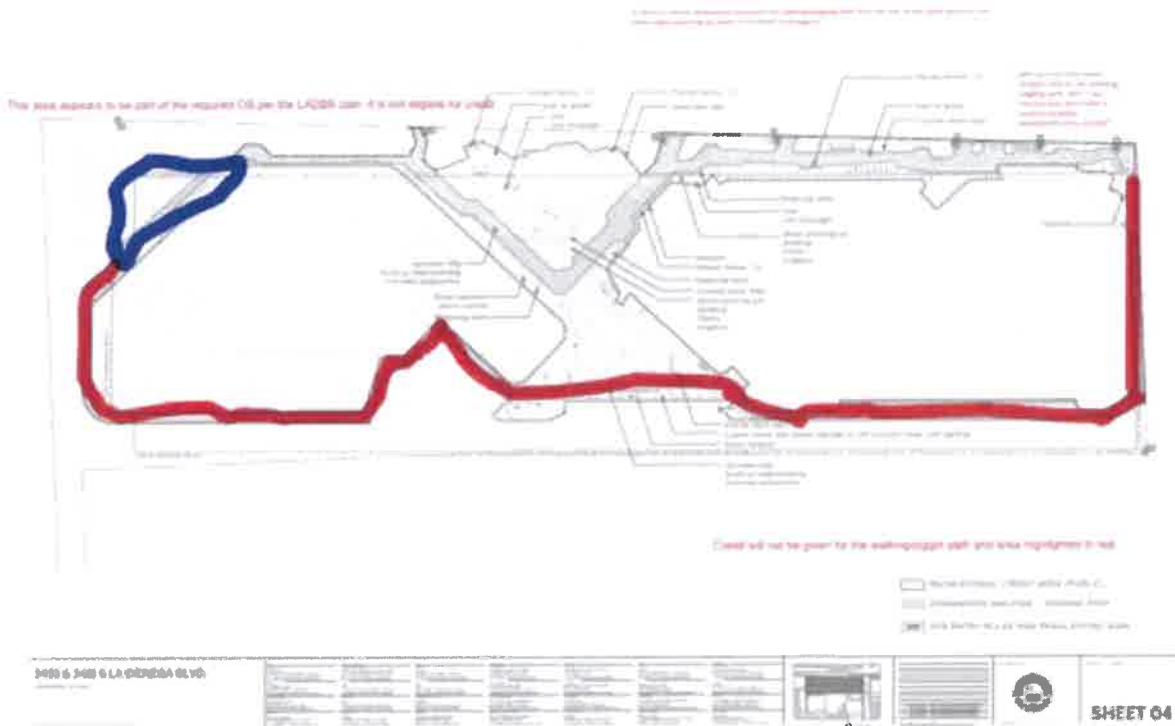
**Applicant Response:** The LADBS approved open space plans are included within the Revised Submission.



**Applicant Response:** The Revised Submission conforms to the approved LADBS open space plan.

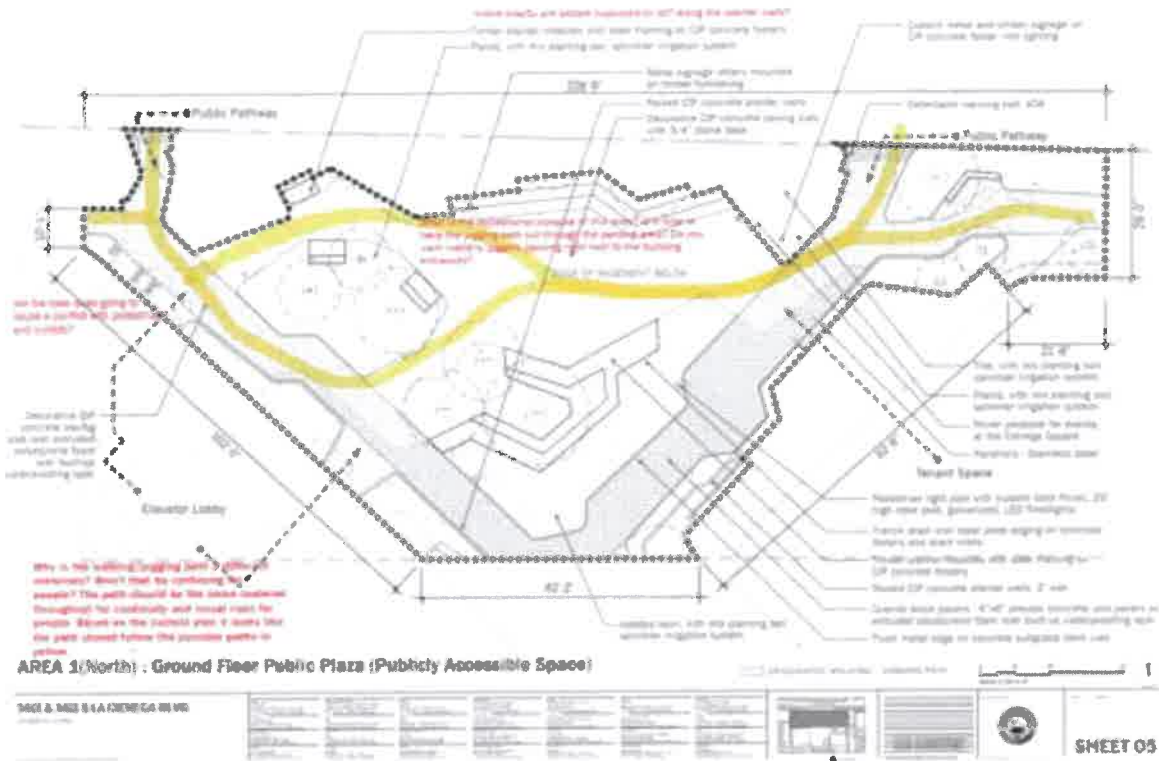


**Applicant Response:** The Revised Submission conforms to the approved LADBS open space plan.

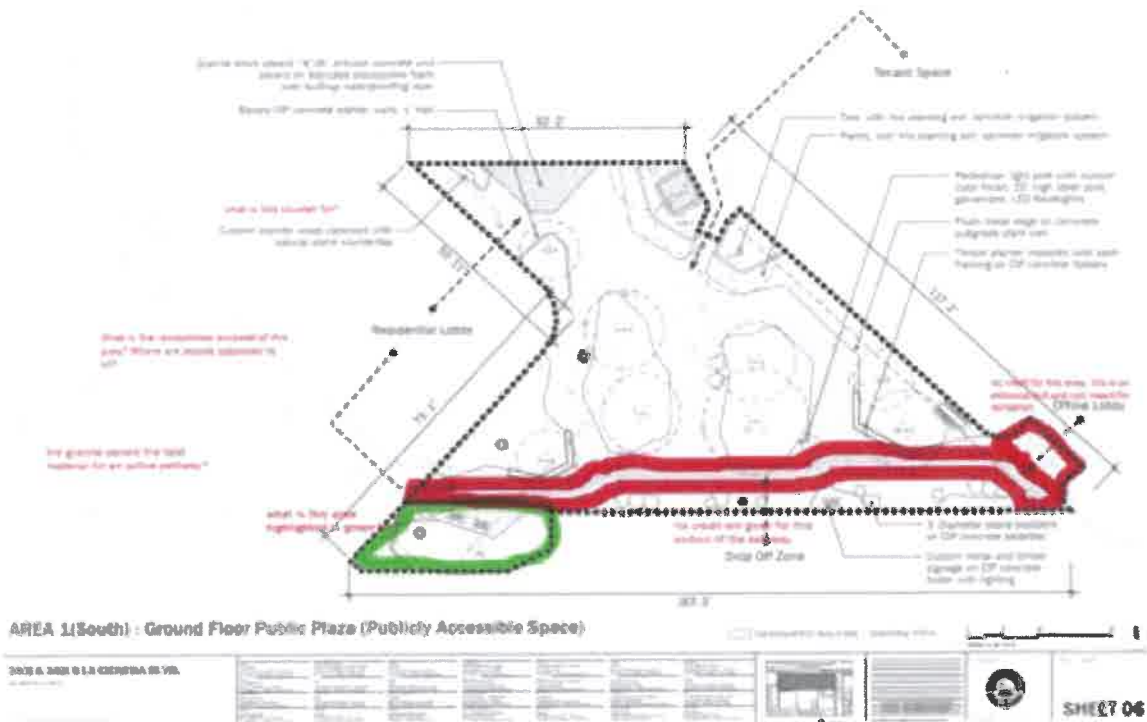


**Applicant Response:** The areas highlighted in red and blue are removed and not included in the Recreation Credit areas in the Revised Submission.

The walking jogging path which extends across the entire site from east to west will be denoted by signage and markings on the pathway itself. Bike rack areas are located adjacent to the Metro shared use bike path and will include signage instructing cyclists to dismount in the pedestrian areas.



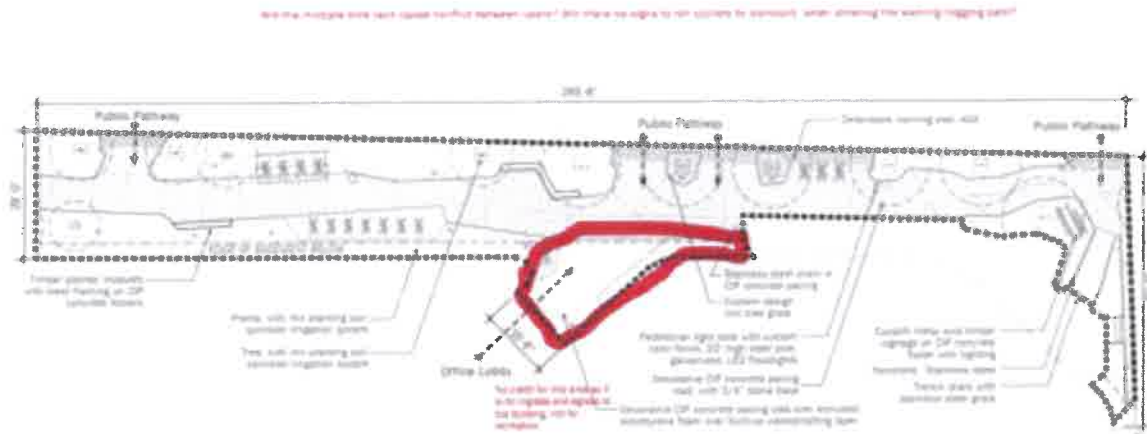
**Applicant Response:** The project's focal point and ceremonial heart, Cienega Square anchors the urban park experience and defines the project's character. A large thicket of native trees and shrubs softly screens the shared bike-way and serves as one side of a continuous tree canopy wrapping all edges of the square. Bike rack areas are located adjacent to the Metro shared use bike path and will include signage instructing cyclists to dismount in the pedestrian areas. The canopy is a mix of evergreen and deciduous with closely spaced groves of Western Sycamore in the shade of the residential building and evergreen Oaks in the sunnier areas providing their own shade year-round. The understory beneath is dense with evergreen shrubs like heuchera and toyon that provide color and interest. Both sides of the square feature terraced timber planter walls for seating and appropriation, as well as fixed, colorful, metal and wood chair and table elements. Moveable seating will also be provided. The paving design establishes the jogging/walking path as a spine across the project through its material identity of natural gray concrete with large, seeded aggregates and widely spaced joint pattern and will also be denoted by signage and markings on the pathway itself. It flows through the center of the square flanked by carpets of natural gray concrete with smaller, denser seeded aggregate and tighter web-like joint patterns that define respite areas tethered to fixed furnishing elements providing them an understood space for use outside of the jogging path. A central 360-degree stacked wood timber feature links the square to the larger plaza and Grove to the south via a small turf area that extends from the base of the terraces.



**Applicant Response:** *The Grove is a more plaza-like counterpart to Cienega Square, providing an open, largely paved expanse of public space between the residential and office buildings. The plaza is defined through a 4-color mix of earth toned square pavers that warm the atmosphere and distinguish the plaza against the cast-in-place materiality of Cienega Square and the jogging/walking path. Planting beds are organic in shape to encourage movement and exploration. The planter edges sit flush with the paving to eliminate visual barriers to the larger park beyond and allow for a connected experience with the native habitat. The counter provides a location for park visitors to place food or other objects as they pause to enjoy the park atmosphere. Locally sourced boulder features are set along planting edges, as well as gravel drainage swales (matching the golden tones of both the boulders and the aggregates seeded in the cast-in-place concrete pathway) that soften the transition from planting to paving. Seating in the form of timber walls and anchored lounge chairs with tables are dispersed throughout to maximize shade and opportunities for intimate conversations. The Grove itself is well shaded by an evergreen canopy of Olive and Arbutus trees, and the seating environment is lush and colorful, with native sages and grasses forming a meadow atmosphere that blooms throughout the year.*

*The areas highlighted in green and red form part of the Landscaped Open Space, however, the area outlined in red identified as the building entrance/exit has been removed from the Recreation Credit area in the Revised Submission.*





**AREA 1(East) : Ground Floor Public Plaza (Publicly Accessible Space)**

3400 & 3408 S LA CIMARRA BLVD.

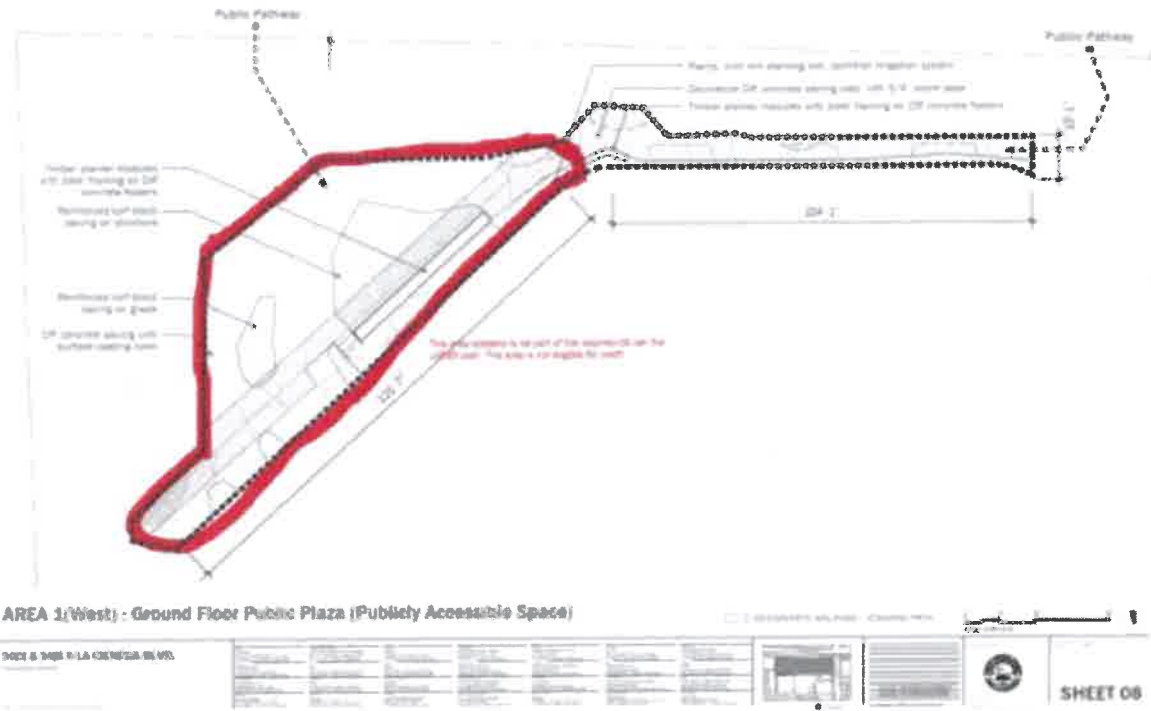
NO.	DESCRIPTION	DATE	BY	APPROVED BY



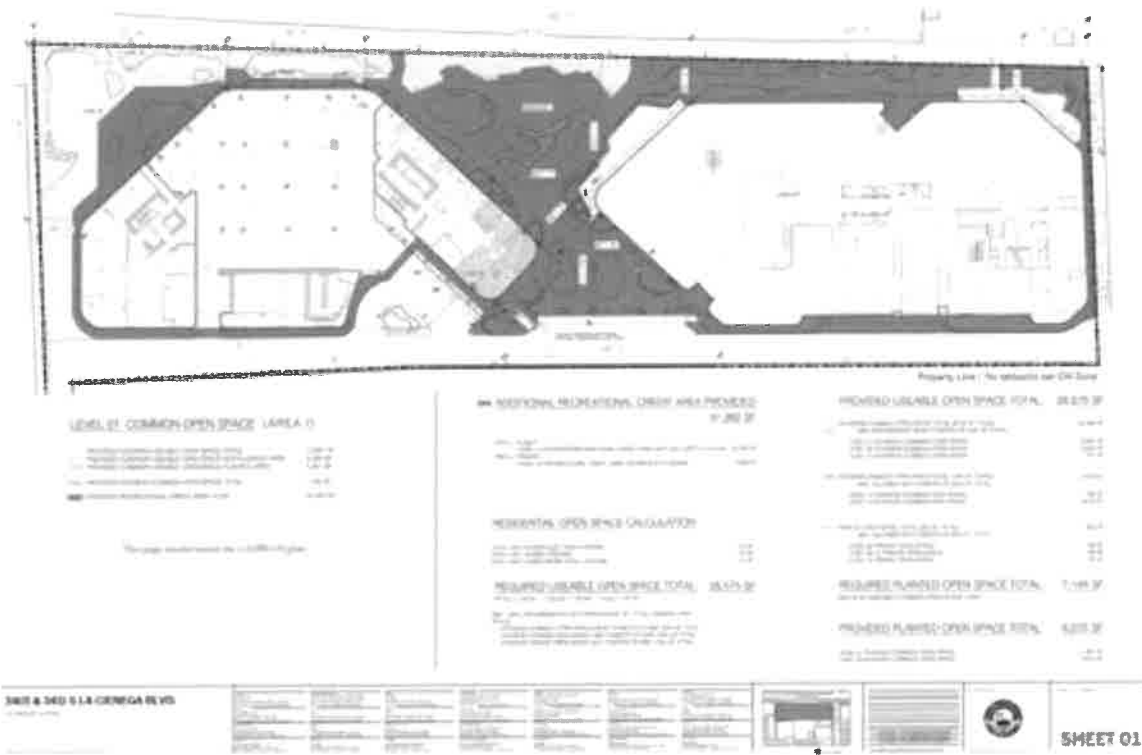
**SHEET 07**

**Applicant Response:** The bike racks are located at convenient points for cyclists arriving from the adjacent Metro shared use (bicycle and pedestrian) path. Signage will be posted instructing cyclists to dismount.

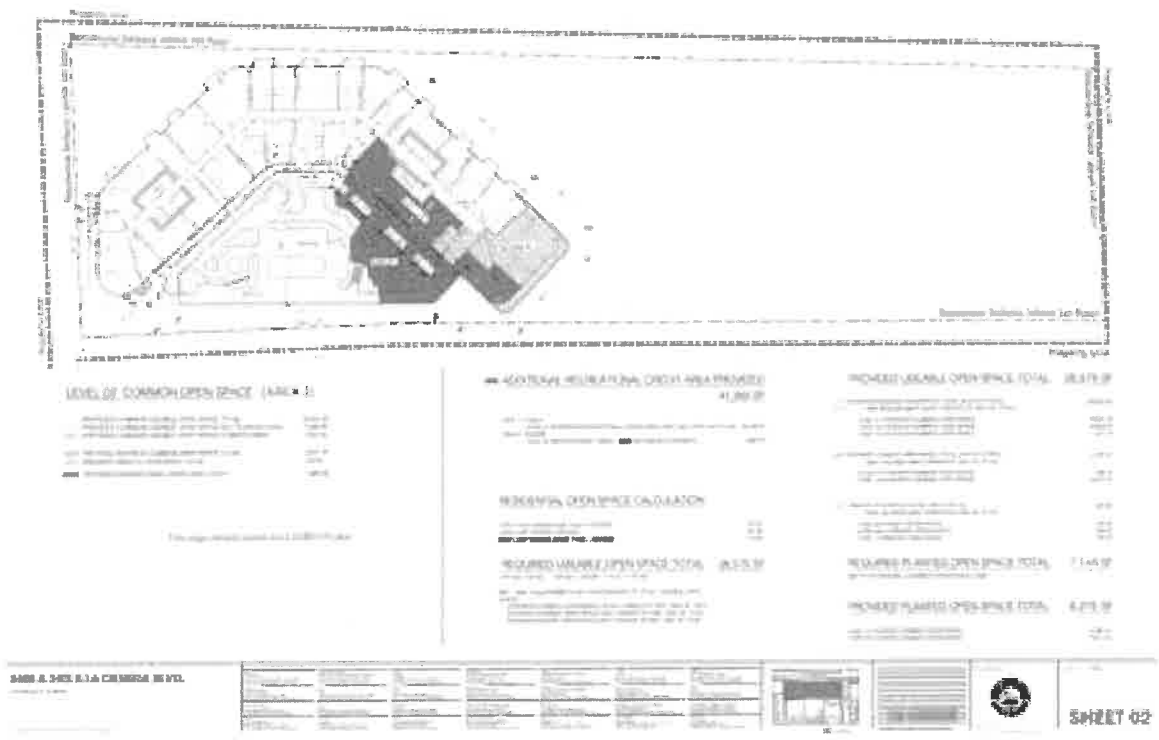
The area outlined in red at the building entrance has been removed from the Recreation Credit area in the Revised Submission.



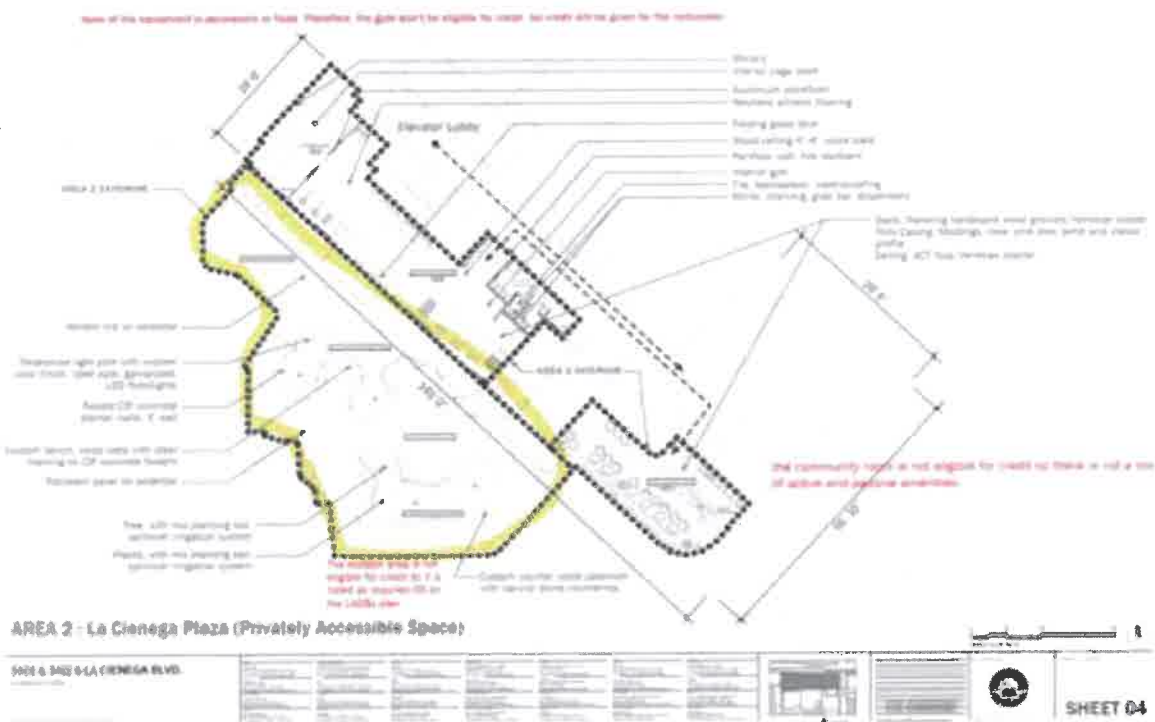
**Applicant Response:** The Revised Submission conforms to the LADBS approved space plan and the area highlighted in red is excluded.



**Applicant Response:** The Revised Submission conforms to the LADBS approved space plan.



**Applicant Response:** The Revised Submission conforms to the LADBS approved space plan.



**Applicant Response:** The applicant will include fixed equipment within the Gym/Fitness Room, and therefore the room itself should be eligible for credit. However, the applicant acknowledges that there is no credit for loose fitness equipment and none has been included in the Estimate within the Revised Submission.

The Gym/Fitness room will provide a variety of fixed and moveable equipment types including free weights, benches, and cardiovascular equipment such as treadmills. The Yoga Room will include equipment and space for activities such as yoga and meditation. The Community Room and attached Kitchen/Lounge area provide a gathering place for residents looking to get out of their apartment and enjoy time with friends, play board games, arts and crafts, as well as to host meetings and events. These three rooms together comprise a multipurpose indoor recreation area much like a community center with a variety of active and passive amenities.

Restrooms form an integral and code required function in any enclosed recreation area and the community room and fitness areas cannot function without adequate restroom facilities. Residents would not utilize these rooms if they or their guests only had access to restrooms in the dwelling units. Accordingly, they are a necessary part of the indoor activity area and should be eligible for credit.

The Revised Submission conforms to the existing LADBS approved space plan and so the outdoor area highlighted in yellow is not included.

We look forward to working with you and your team to finalize our Recreation Credits Application in a timely manner and scheduling an in-person meeting to review any questions that you may have about our Revised Submission.

Sincerely,



**La Cienega Owner LLC**  
**Ryan Burton**  
**Senior Vice President and Development Director**

Attachments: 241004\_LL\_RECREATION CREDIT EXHIBITS\_PRIVATE  
2024.10.01 - Recreational Credits - Private R3  
241004\_LL\_RECREATION CREDIT EXHIBITS\_PUBLIC  
2024.10.01 - Recreation Credits - Public R3  
Recreation Credit 83550 Response dtd 05.13.2024  
942Broadway\_CommunityRoom\_RAPapprovedCosts  
942BroadwayCommunityRoomfromRAPboardApproval  
942BroadwayCommunityRoomfromRAPboardApproval

Cc: RAP Park Fees Group, rap.parkfees@lacity.org  
Meghan Leura, meghan.luera@lacity.org  
Darryl Ford, Darryl.ford@lacity.org  
Kimani Black, Office of Council District 10, kimani.black@lacity.org  
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Tanner Blackman, tanner@irvineassoc.com  
Marty Akerblom, makerblom@allenmatkins.com

Recreation Credit Cost Estimate Sheet

CASE NUMBER: VTT-83350-CN		AREA 1		EXHIBIT/SHEET REFERENCE: SHEETS 06-09				
RECREATIONAL AMENITY: Landscaped Public Open Space								
RSMean Line Number	RSMean Description	QTY	UNITS	MATERIAL	LABOR	EQUIPMENT	SUBCONTRACT	ESTIMATE TOTAL (2024 Index to LA - RSM EANS)
Division 02		222	LF	21.83	4.89	0	0	\$5,931.84
A1 01.03.10.3400	Perforated Pipe at Crush Stone Surfacing (SD4 Civil)							\$5,931.84
Division 02 Subtotal								
Division 03								
03 30.53.40.1950	Elevated Slab (4000 PSI), flat slab with drops, 125 psf Sup. Load, 30' span.	1,042	CY	\$436.17	\$306.94	\$23.25	\$233.93	\$1,042,742.31
A1 03.01.20.2240	Slab on grade, 3500 PSI, trowelled finish, 4" thick	1,030	SF	\$3.59	\$5.03	\$0.01	\$0.00	\$8,892.35
A1 01.01.05.1700	Concrete Wall - 2' x 6" 6/L-641 Type 6 Timber Bench	84	LF	\$12.57	\$40.65	\$2.81	\$0.00	\$4,706.10
A1 01.01.05.1700	Concrete Wall - 2' x 6" 11/L-602 at Planter	224	LF	\$25.14	\$81.30	\$5.61	\$0.00	\$25,095.20
A1 01.01.05.1700	Concrete Wall - 4.5' x 6" 14/L-602 at Planter	147	LF	\$28.28	\$91.46	\$5.61	\$0.00	\$18,427.19
A1 01.01.05.1700	Concrete Wall - Flush Planter 2.25'x6"	2,460	LF	\$15.71	\$50.81	\$3.51	\$0.00	\$172,276.88
03 21.11.60.2410	Epoxy Dowels at Structural Slab - Reinforcing at Planter Wall	2,915	EA	\$0.92	\$2.06	\$0.00	\$1.41	\$12,796.85
03 63.05.10.1535	Epoxy Dowels at Structural Slab - Epoxy Cartridge + Drilling at Planter Wall	2,915	EA	\$9.06	\$14.61	\$0.00	\$10.23	\$98,818.50
A1 01.02.10.7200	Foundation at Boulders on Structure	16	EA	\$107.34	\$146.99	\$0.00	\$0.00	\$4,069.28
A1 01.02.10.7850	Foundation at Timber benches on structure (12x12=144)	592	SF	\$23.67	\$16.01	\$0.00	\$0.00	\$23,491.15
A1 01.02.10.7850	Foundation at Timber benches on Grade	703	SF	\$23.67	\$16.01	\$0.00	\$0.00	\$27,899.11
32 16.13.13.0406	Concrete for metal edging at Crushed Stone Paving	222	LF	\$10.54	\$10.82	\$0.00	\$7.73	\$6,457.98
32 16.13.13.0406	Concrete for metal edging on Structure - Unit Paver at Turf Grass	471	LF	\$10.54	\$10.82	\$0.00	\$7.73	\$13,701.39
32 16.13.13.0406	Curb at Timber bench on structure	131	LF	\$10.54	\$10.82	\$0.00	\$7.73	\$3,810.79
32 16.13.13.0406	Raised Curb on Structure	448	LF	\$10.54	\$10.82	\$0.00	\$7.73	\$13,032.32
32 16.13.13.0406	Curb at paving edge	1,729	LF	\$10.54	\$10.82	\$0.00	\$7.73	\$50,296.61
32 16.13.13.0406	Curb at Tree Well / grate on grade	52	LF	\$10.54	\$10.82	\$0.00	\$7.73	\$1,512.68
A1 01.02.10.7200	Bollard Footings on Structure	14	EA	\$107.34	\$146.99	\$0.00	\$0.05	\$3,561.37
26 56.13.10.3200	Footings for light poles on structure	7	EA	\$2,376.32	\$529.62	\$78.35	\$570.22	\$24,881.54
26 56.13.10.3200	Footings for light poles on grade	5	EA	\$2,376.32	\$529.62	\$78.35	\$570.22	\$17,772.53
A1 01.02.10.7200	Footings at Trash can pads	3	EA	\$107.34	\$146.99	\$0.54	\$3.96	\$776.50
03 11.23.75.0015	Cast in place stairs	230	SF	\$10.69	\$15.83	\$0.00	\$10.96	\$8,621.27
Division 03 Subtotal								\$1,583,643.89

CASE NUMBER: VTT-83350-CN		AREA 1		EXHIBIT/SHEET REFERENCE: SHEETS 06-09				
RECREATIONAL AMENITY: Landscaped Public Open Space								
RSMeans Line Number	RSMeans Description	QTY	UNITS	MATERIAL	LABOR	EQUIPMENT	SUBCONTRACT	ESTIMATE TOTAL (2024 Index to LA - RSMEANS)
<b>Division 05</b>								
05 12 23.17 3300	Timber Bench Galvanized Steel Frame Supports: Type 1, 2 & 4. Galvanized Angle Clips FOB. 2/L-642 & 1/L-643 (embed plates & threaded rods are excluded)	2,031	LB	\$1.63	\$0.24	\$0.25	\$0.35	\$5,016.57
05 12 23.17 3300	Timber Bench Galvanized Steel Frame Supports: Type 3. Galvanized Steel Frames. 4/L-643	14,759	LB	\$1.63	\$0.24	\$0.25	\$0.35	\$36,454.73
05 12 23.17 3300	Timber Bench Galvanized Steel Frame Supports: Type 5. Galvanized Steel Frames. 1/L-643	3,751	LB	\$1.63	\$0.24	\$0.25	\$0.35	\$9,264.97
05 12 23.17 3300	Timber Bench Galvanized Steel Frame Supports: Type 6. Galvanized Steel Frames. 3/L-642	13,756	LB	\$1.63	\$0.24	\$0.25	\$0.35	\$33,977.32
05 12 23.75 0140	Metal Header - 693 LF (1/4"x6" typ.)	693	LF	\$35.78	\$4.50	\$4.70	\$7.31	\$36,236.97
05 52 13 .50 0960	Handrail, 1 rail, Stainless	60	LF	\$270.00	\$17.15	\$1.55	\$38.59	\$19,637.40
<b>Subtotal</b>								\$140,587.96
<b>Division 05</b>								
<b>Division 07</b>								
07 12 13.20 0700	Built up asphalt waterproofing On slabs, 3 ply, glass fiber fabric, mopped.	23,312	SF	\$1.98	\$1.81	\$0.48	\$1.61	\$137,074.56
07 12 13.20 0700	Built up asphalt waterproofing On slabs, 3 ply, glass fiber - Planter walls	2,893	SF	\$1.98	\$1.81	\$0.48	\$1.61	\$17,010.84
07 12 13.20 1050	Protection Board	23,312	SF	\$0.43	\$0.24	\$0.00	\$0.23	\$20,980.80
07 12 13.20 1050	Root Barrier at planting	9,912	SF	\$0.43	\$0.24	\$0.00	\$0.23	\$6,920.80
07 65 10. 10 0300	Flashing and counter flashing at planter walls	738	SF	\$11.65	\$2.62	\$0.00	\$3.18	\$12,872.34
07 65 10. 10 0300	Flashing and counter flashing at build perimeter	1,433	SF	\$11.65	\$2.62	\$0.00	\$3.18	\$25,010.21
07 22 16.10 1966	Extruded Polystyrene - 60 PSI, 4" thick (4"x3 =1 CF)	18,648	CF	\$13.03	\$1.07	\$0.00	\$2.17	\$303,339.95
<b>Subtotal</b>								\$525,209.51
<b>Division 07</b>								
<b>Division 10</b>								
10 14 26.10 0150	Entry Signs	8	Ea.	\$2,825.00	\$59.24	\$0.00	\$324.37	\$25,508.88
<b>Subtotal</b>								\$25,508.88
<b>Division 12</b>								
12 32 23.10 1540	Manufactured wood casework (Exterior casework)	20	LF	\$485.00	\$56.48	\$0.00	\$72.34	\$12,276.40
12 36 40.10 2800	Natural stone countertop	20	LF	\$162.00	\$29.73	\$0.00	\$35.42	\$4,543.00
<b>Subtotal</b>								\$16,819.40
<b>Division 22</b>								
22 14 26.19 6670	Trench drain, polyester polymer concrete	106	LF	\$148.00	\$8.12	\$0.00	\$19.15	\$18,578.62
22 14 26.13 3920	Plaza drain	21	EA	\$1,100.00	\$93.72	\$0.00	\$184.40	\$28,940.52
<b>Subtotal</b>								\$47,519.14



CASE NUMBER: VTT-83350-CN		AREA 1		EXHIBIT/SHEET REFERENCE: SHEETS 06-09		ESTIMATE TOTAL (2024 Index to LA - RSM/MEANS)		
RECREATIONAL AMENITY: Landscaped Public Open Space								
RSMean Line Number	RSMean Description	QTY	UNITS	MATERIAL	LABOR	EQUIPMENT	SUBCONTRACT	
<b>Division 26</b>								
26 05 19.90 0040	Copper wire	5	CLF	\$37.81	\$56.36	\$0.00	\$38.21	\$661.90
26 05 33.13 1030	1-1/2" diameter conduit	500	LF	\$7.92	\$8.62	\$0.00	\$6.14	\$11,340.00
26 05 90.10 4100	Duplex outlet 20 amp receptacle	2	EA	\$32.19	\$45.49	\$0.00	\$0.00	\$218.54
26 56 36.55 0120	LED floodlights	117	EA	\$689.85	\$139.87	\$0.00	\$153.35	\$115,019.19
26 56 13.10 4600	Steel pole, Galvanized, 20' high	13	EA	\$1,711.85	\$529.62	\$78.35	\$519.15	\$36,906.61
<b>Subtotal</b>								<b>\$164,146.24</b>
<b>Division 32</b>								
A1 03 01.20 2240	Seeded Aggregate Paving on Grade	7,785	SF	\$3.59	\$5.03	\$0.01	\$0.00	\$67,184.55
A1 03 01.20 2240	Seeded Aggregate Paving on Structure	4,179	SF	\$3.59	\$5.03	\$0.01	\$0.00	\$36,064.77
03 35 23.30 1650	Concrete finishings Seeded exposed Aggregate	11,964	SF	\$0.38	\$0.93	\$0.00	\$0.59	\$22,731.60
32 12 16.14 0055	AC Paving on Grade	670	SF	\$4.68	\$0.22	\$0.31	\$0.63	\$3,912.80
32 12 16.14 0055	AC Paving on Structure	371	SF	\$4.68	\$0.22	\$0.31	\$0.63	\$2,166.64
32 12 36.33 1210	AC Paving Durasel/SRI coating	1041	SF	\$3.16	\$0.66	\$0.65	\$0.78	\$5,465.25
32 14 13.18 0200	Turf block	659	SF	\$4.62	\$2.93	\$0.55	\$2.35	\$6,886.55
<b>Not found in Means</b>							\$1,025.00	\$16,400.00
32 11 23.23 0100	Crushed 3/4" stone base, 6" deep	1,042	SY	\$6.64	\$0.37	\$1.00	\$0.98	\$9,367.58
32 14 40.10 1550	Granite block pavers	8,322	SF	\$29.47	\$7.07	\$0.00	\$7.51	\$366,584.10
32 14 40.10 1550	Stone paver at Residential on concrete base	42	SF	\$29.47	\$7.07	\$0.00	\$7.51	\$1,850.10
32 17 26.10 0100	Detectable warning pad, ADA	438	SF	\$27.47	\$1.47	\$0.00	\$3.41	\$14,189.30
32 33 33.10 1600	Planter/bench, 72"	48	EA	\$4,782.25	\$127.12	\$0.00	\$570.01	\$263,010.24
32 84 23.10 1288	Sprinkler irrigation system	298	EA	\$240.54	\$32.86	\$0.00	\$45.00	\$94,819.52
32 84 23.10 1420	Electronic controller	2	EA	\$399.00	\$3,025.65	\$0.00	\$1,939.85	\$10,737.00
32 84 23.10 1460	Back Flow Preventer	2	EA	\$1,065.90	\$121.19	\$0.00	\$178.59	\$2,731.36
31 05 13.10 0800	Import Soil for planting	883	CY	\$22.80	\$1.94	\$5.76	\$4.04	\$30,498.82
32 91 13.26 0100	Backfill planting pit, by hand, on site topsoil	883	CY	\$0.00	\$31.62	\$0.00	\$19.50	\$45,138.96
32 91 13.26 2000	Mix planting soil spread by hand	1,272	CY	\$24.78	\$9.49	\$0.00	\$8.38	\$54,235.79
32 17 13.13 1500	Pipe bollard	14	EA	\$644.36	\$80.44	\$24.77	\$116.95	\$12,131.28
32 93 43.20 1800	Oak, 2-1/2"-3" caliper	29	EA	\$212.40	\$211.85	\$134.46	\$165.09	\$20,990.20
32 93 33.20 0500	Plants - Shrubs	3,611	EA	\$30.09	\$7.59	\$0.00	\$7.52	\$163,217.20
<b>Subtotal</b>								<b>\$1,250,293.61</b>

CASE NUMBER: VTT-83350-CN		AREA 1		EXHIBIT/SHEET REFERENCE: SHEETS 06-09			
RECREATIONAL AMENITY: Landscaped Public Open Space							
RSMeans Line Number	RSMeans Description	QTY	UNITS	MATERIAL	LABOR	EQUIPMENT	
						SUBCONTRACT	
						ESTIMATE TOTAL (2024 Index to LA - RSMEANS)	
Subtotal							\$3,759,660.47
(Cost based on LA 2024 Cost Index)							\$3,759,660.47
Sales Tax 9.5%							\$357,167.74
Estimate Subtotal							\$4,116,828.21
Los Angeles City Index/100 - Pricing above is indexed							
Adjusted Cost (Los Angeles)							1.129
Architectural Fees			(01 11 31.10 0090)		7.75%	\$4,116,828.21	
Construction Management			(01 11 31.20 0100)		5.00%	\$319,054.19	
Permit			(01 41 26.50 0100)		2.00%	\$205,841.41	
Engineering Fees			(01 11 31.30 0800)		4.25%	\$82,336.56	
Performance Bond			(01 31 13.90 0900)		2.50%	\$174,965.20	
Survey					2.00%	\$102,920.71	
Grand Total							\$5,084,282.84

Recreation Credit Cost Estimate Sheet

CASE NUMBER: VTT-83350-CN		AREA 2		EXHIBIT/SHEET REFERENCE: SHEET 06				
RECREATIONAL AMENITY: Level 2 Private Amenity space								
RSMeans Line Number	RSMeans Description	QTY	UNITS	MATERIAL	LABOR	EQUIPMENT	SUBCONTRACT	ESTIMATE TOTAL (2024 Index to LA- RSMEANS)
<b>Division 01</b>								
01 76 13.20 0020	Temporary protection, flooring, 1/8" tempered hardboard	2,495	SF	\$0.51	\$0.60	\$0.00	\$0.42	\$3,817.35
<b>Division 01</b>	<b>Subtotal</b>			\$436.17	\$231.53	\$17.69	\$191.55	\$3,817.35
<b>Division 03</b>								
03 30 53.40 1950	Concrete in place, Elevated slab, flat slab with dropss, 30' spans	305	CY					\$267,151.00
<b>Division 03</b>	<b>Subtotal</b>							\$267,151.00
<b>Division 05</b>								
05 12 23.17 5100	Structural tubing, rect - Frame External Door	2,856	LB	\$1.63	\$0.34	\$0.35	\$0.42	\$7,825.44
05 12 23.17 5100	Structural Tubing, rect - Supports for Sliding door	2,000	LB	\$1.63	\$0.34	\$0.35	\$0.42	\$5,480.00
05 12 23.17 5100	Structural Tubing, rect - Vanity Steel supports	1,200	LB	\$1.63	\$0.34	\$0.35	\$0.42	\$3,288.00
05 52 13.50 2010	2-line pipe rail - 42" high aluminum, satin finish, straight & level	80	LF	\$445.00	\$15.29	\$1.39	\$50.32	\$40,960.00
<b>Division 05</b>	<b>Subtotal</b>							\$57,553.44
<b>Division 06</b>								
C3 01 02.30 1662	Interior Finishes, Paint & Covering, Paneling, Prefinished, Mahogany	202	SF	\$4.71	\$4.91	\$0.00	\$0.00	\$1,943.24
06 22 13.15 5140	Moldings, Base, Classic Profile, 5/8"x5-1/2" finger jointed, Maple	37	SF	\$6.30	\$2.21	\$0.00	\$1.98	\$388.13
06 22 13.40 2640	Moldings, Exterior, Pine, D & Better, 1"x4"	56	LF	\$1.47	\$1.96	\$0.00	\$1.35	\$267.68
C3 01 02.30 1665	Interior Finishes, Paint & Covering, Paneling, Prefinished, Rosewood	74	LF	\$5.40	\$4.77	\$0.00	\$0.00	\$752.58
C3 01 02.30 1665	Interior Finishes, Paint & Covering, Paneling, Prefinished, Rosewood	40	LF	\$5.40	\$4.77	\$0.00	\$0.00	\$406.80
12 32 23.10 9560	Manufactured Wood Casework, appliances & counter tops	9	LF	\$249.00	\$27.35	\$0.00	\$40.64	\$2,852.91
12 32 23.10 9600	Manufactured Wood Casework, Rule of Thumb, Maximum	4	LF	\$550.00	\$32.70	\$0.00	\$75.21	\$2,631.64
12 32 23.10 6000	Manf'd Wood Casework, Kitchen wall cabinets, hardwd, Corner wall	9	LF	\$232.50	\$22.59	\$0.00	\$39.27	\$2,649.24
10 51 53.10 2100	Locker Room Benches, Locker bench, laminated maple, top only	8	LF	\$128.00	\$4.54	\$0.00	\$14.95	\$1,179.92
12 32 23.10 9560	Manufactured Wood Casework, appliances & counter tops	9	LF	\$249.00	\$27.35	\$0.00	\$40.64	\$2,852.91
06 22 13.40 2640	Moldings, Exterior, Pine, D & Better, 1"x4"	101	LF	\$1.47	\$1.96	\$0.00	\$1.35	\$482.78
C3 01 02.30 1662	Interior Finishes, Paint & Covering, Paneling, Prefinished, Mahogany	1,021	SF	\$4.71	\$4.91	\$0.00	\$0.00	\$9,822.02
C3 01 02.30 1662	Interior Finishes, Paint & Covering, Paneling, Prefinished, Mahogany	241	SF	\$4.71	\$4.91	\$0.00	\$0.00	\$2,318.42
06 43 16.10 0100	Wood Handrails & Railings, Custom Designed, Shape	28	LF	\$66.72	\$16.09	\$0.00	\$16.76	\$2,787.96
<b>Division 06</b>	<b>Subtotal</b>							\$31,336.23
<b>Division 07</b>								
07 11 16.20 0020	Dampproofing, portland cement, 2 coats	400	SF	\$0.45	\$3.40	\$0.00	\$2.20	\$2,420.00
<b>Division 07</b>	<b>Subtotal</b>							\$2,420.00

CASE NUMBER: VTT-83350-CN		AREA 2		EXHIBIT/SHEET REFERENCE: SHEET 06		ESTIMATE TOTAL (2024 Index to LA-RSMEANS)		
RECREATIONAL AMENITY: Level 2 Private Amenity space								
RSMeans Line Number	RSMeans Description	QTY	UNITS	MATERIAL	LABOR	EQUIPMENT	SUBCONTRACT	
<b>Division 08</b>								
08 11 16.10 0520	Aluminum Doors and Frames, Entrance Doors, 3'-0"x7'-0" opening	1	EA	\$2,515.50	\$488.37	\$0.00	\$579.36	\$3,583.23
08 11 16.10 0600	Aluminum Doors and Frames, Entrance Doors, 7'-0"x7'-0" opening	1	EA	\$4,136.60	\$976.74	\$0.00	\$1,081.56	\$6,194.90
08 11 16.10 1200	Aluminum Doors & Frames, Entrance Doors, For non-standard size,	1	EA	\$7,445.88	\$1,758.13	\$0.00	\$1,946.81	\$11,150.82
08 14 35.10 0520	Torrilled Exterior Doors, 6 panel, fir, 1'-3/4"x3'-0"x7'-0" half glass	1	EA	\$2,571.40	\$76.94	\$0.00	\$299.04	\$2,947.38
08 14 16.20 0790	Wood Fire Doors, Particle Core, 90 minutes, birch face, 3'-0"x7'-0"	1	EA	\$911.17	\$76.94	\$0.00	\$136.93	\$1,125.04
08 41 26.10 0100	Window Walls Alum, Stock, including glazing, Maximum	601	SF	\$222.81	\$13.09	\$0.00	\$30.08	\$159,853.98
08 32 13.10 5030	Sliding Alum Doors, Alum sliding glass door system, folding glass door	1	EA	\$10,676.90	\$461.61	\$0.00	\$1,349.77	\$12,488.28
08 32 13.10 5030	Sliding Alum Doors, Alum sliding glass door system, folding glass door	5	EA	\$10,676.90	\$461.61	\$0.00	\$1,349.77	\$62,441.40
08 11 16.10 0520	Entrance Doors & Frame, Anodizing Alum, 3'-0"x7'-0"	1	EA	\$2,515.50	\$488.37	\$0.00	\$579.36	\$3,583.23
08 83 13.10 0500	Mirrors, No frames, wall type, Door Type, 1/4" plate glass, up to 12sf	318	SF	\$41.91	\$6.43	\$0.00	\$8.35	\$18,027.42
08 83 13.10 0500	Mirrors, No frames, wall type, Door Type, 1/4" plate glass, up to 12sf	25	SF	\$41.91	\$6.43	\$0.00	\$8.35	\$1,417.25
08 81 10.10 3900	Various Types of Float Glass, 3/4" thick, clear, plain, tempered	122	SF	\$114.71	\$29.35	\$0.00	\$29.34	\$21,154.80
08 11 16.10 0520	Entrance Doors & Frame, Anodizing Alum, 3'-0"x7'-0"	1	EA	\$2,515.50	\$488.37	\$0.00	\$579.36	\$3,583.23
08 14 16.20 0790	Wood Fire Doors, Particle Core, 90 minutes, birch face, 3'-0"x7'-0"	4	EA	\$911.17	\$76.94	\$0.00	\$136.93	\$4,500.16
08 41 26.10 0100	Window Walls Alum, Stock, including glazing, Maximum	609	SF	\$222.81	\$13.09	\$0.00	\$30.08	\$161,981.82
08 83 13.10 0500	Mirrors, No frames, wall type, Door Type, 1/4" plate glass, up to 12sf	286	SF	\$41.91	\$6.43	\$0.00	\$8.35	\$16,213.34
08 41 26.10 0100	Window Walls Alum, Stock, including glazing, Maximum	129	SF	\$222.81	\$13.09	\$0.00	\$30.08	\$34,311.42
<b>Division 08 Subtotal</b>								\$524,557.70

CASE NUMBER: VTT-83350-CN		AREA 2		EXHIBIT/SHEET REFERENCE: SHEET 06					ESTIMATE TOTAL	
RECREATIONAL AMENITY: Level 2 Private Amenity space										(2024 Index to LA-RSMEANS)
RSMeans Line Number	RSMeans Description	QTY	UNITS	MATERIAL	LABOR	EQUIPMENT	SUBCONTRACT			
<b>Division 09</b>										
C1 01 01.26 6250	Drywall Partitions, Metal Stud, 5/8" FR Drywall, 3-5/8"@24" OC	410	SF	\$3.91	\$5.42	\$0.00	\$0.00	\$3,825.30		
C1 01 01.26 6250	Drywall Partitions, Metal Stud, 5/8" FR Drywall, 3-5/8"@24" OC	220	SF	\$3.91	\$5.42	\$0.00	\$0.00	\$2,052.60		
C1 01 01.26 6130	Drywall Partitions, Metal Stud, 5/8" FR Drywall, 3-5/8"@16" OC	230	SF	\$2.70	\$3.89	\$0.00	\$0.00	\$1,515.70		
09 23 20.10 0600	Gypsum Plaster, 2 coats, on walls, incl 3/8" gypsum lath on steel	82	SF	\$1.21	\$3.03	\$0.14	\$1.98	\$521.88		
09 23 20.10 0600	Gypsum Plaster, 2 coats, on walls, incl 3/8" gypsum lath on steel	94	SF	\$1.21	\$3.03	\$0.14	\$1.98	\$598.26		
09 23 20.10 0600	Gypsum Plaster, 2 coats, on walls, incl 3/8" gypsum lath on steel	692	SF	\$1.21	\$3.03	\$0.14	\$1.98	\$4,404.20		
C1 01 01.26 6130	Drywall Partitions, Metal Stud, 5/8" FR Drywall, 3-5/8"@16" OC	1,030	SF	\$2.70	\$3.89	\$0.00	\$0.00	\$6,787.70		
C1 01 01.26 6250	Drywall Partitions, Metal Stud, 5/8" FR Drywall, 3-5/8"@24" OC	650	SF	\$3.91	\$5.42	\$0.00	\$0.00	\$6,064.50		
09 21 16.23 0710	Gypsum Board shaft wall, 4 hr assembly, 6" J-Track, C-H Studs	80	SF	\$5.37	\$8.86	\$0.00	\$6.05	\$1,622.40		
C1 01 01.26 6130	Drywall Partition at Exterior Skin	190	SF	\$2.70	\$3.89	\$0.00	\$0.00	\$1,252.10		
09 23 20.10 0600	Gypsum Plaster, 2 coats, on walls, incl 3/8" gypsum lath on steel	1,102	SF	\$1.21	\$3.03	\$0.14	\$1.98	\$7,013.62		
09 23 20.10 0600	Gypsum Plaster, 2 coats, on walls, incl 3/8" gypsum lath on steel	17	SF	\$1.21	\$3.03	\$0.14	\$1.98	\$108.20		
09 23 20.10 0600	Gypsum Plaster, 2 coats, on walls, incl 3/8" gypsum lath on steel	186	SF	\$1.21	\$3.03	\$0.14	\$1.98	\$1,183.79		
C1 01 01.26 6130	Drywall Partitions, Metal Stud, 5/8" FR Drywall, 3-5/8"@16" OC	220	SF	\$2.70	\$3.89	\$0.00	\$0.00	\$1,449.80		
C1 01 01.26 6130	Drywall Partitions, Metal Stud, 5/8" FR Drywall, 3-5/8"@16" OC	360	SF	\$2.70	\$3.89	\$0.00	\$0.00	\$2,372.40		
C1 01 01.26 6250	Drywall Partitions, Metal Stud, 5/8" FR Drywall, 3-5/8"@24" OC	270	SF	\$3.91	\$5.42	\$0.00	\$0.00	\$2,519.10		
C1 01 01.26 6130	Drywall Partitions, Metal Stud, 5/8" FR Drywall, 3-5/8"@16" OC	80	SF	\$2.70	\$3.89	\$0.00	\$0.00	\$527.20		
09 23 20.10 0600	Gypsum Plaster, 2 coats, on walls, incl 3/8" gypsum lath on steel	3	SF	\$1.21	\$3.03	\$0.14	\$1.98	\$19.09		
07 21 16.20 1320	Blanket insulation, Wall or Ceiling insulation, 3-1/2" thick, R15	500	SF	\$1.21	\$0.40	\$0.00	\$0.33	\$971.67		
09 22 26.13 8400	Ceiling Suspension System, 1-5/8" channels, 16" OC	2,334	SF	\$1.50	\$2.42	\$0.00	\$1.57	\$12,813.66		
09 29 15.10 1000	Accessories, Furring Channel, galv steel, 7/8" deep, resilient	796	LF	\$1.45	\$1.91	\$0.00	\$1.34	\$3,737.22		
09 29 10.30 3190	Gypsum Board, On ceilings, standard, with compound skim coat (level 5)	2,334	SF	\$0.81	\$1.59	\$0.00	\$1.04	\$8,028.96		
09 31 13.10 0024	Thin Set Ceramic Tile, Backsplash, Luxury grade tiles	28	SF	\$15.60	\$8.79	\$0.00	\$6.74	\$871.64		
09 31 13.10 0100	Thin Set Ceramic Tile, Base using 1"x4" high piece	47	LF	\$4.87	\$6.08	\$0.00	\$4.14	\$709.23		
09 31 13.10 0024	Thin Set Ceramic Tile, Backsplash, Luxury grade tiles	161	SF	\$15.60	\$8.79	\$0.00	\$6.74	\$5,011.93		
09 31 13.10 0024	Thin Set Ceramic Tile, Backsplash, Luxury grade tiles	81	SF	\$15.60	\$8.79	\$0.00	\$6.74	\$2,521.53		
09 34 13.10 0030	Ceramic Tile Waterproofing, on floors, Fleece Laminated	161	SF	\$3.38	\$3.11	\$0.00	\$2.19	\$1,397.48		
09 64 23.10 7100	Wood Parquet Flooring, Walnut or teak, intricate pattern	692	SF	\$33.55	\$4.15	\$0.00	\$6.34	\$30,475.68		
09 65 66.10 1050	Relient Athletic Flooring, interlocking 2'x2' squares	1060	SF	\$15.60	\$1.27	\$0.00	\$2.30	\$20,320.20		
09 64 23.10 7000	Wood Parquet Flooring, Walnut or teak, plain pattern	379	SF	\$20.24	\$3.66	\$0.00	\$3.88	\$10,528.62		
09 91 23.72 1670	Painting Walls, complete, incl surface prep, 2 coat finish, on drywall	470	SF	\$0.15	\$1.66	\$0.00	\$0.85	\$1,250.20		
09 72 16.16 0100	Rigid Sheet Vinyl Wall Coverings, Acrylic, modified, semi-rigid PVC	74	SF	\$8.84	\$3.84	\$0.00	\$2.69	\$1,137.38		
<b>Subtotal</b>								<b>\$143,613.23</b>		

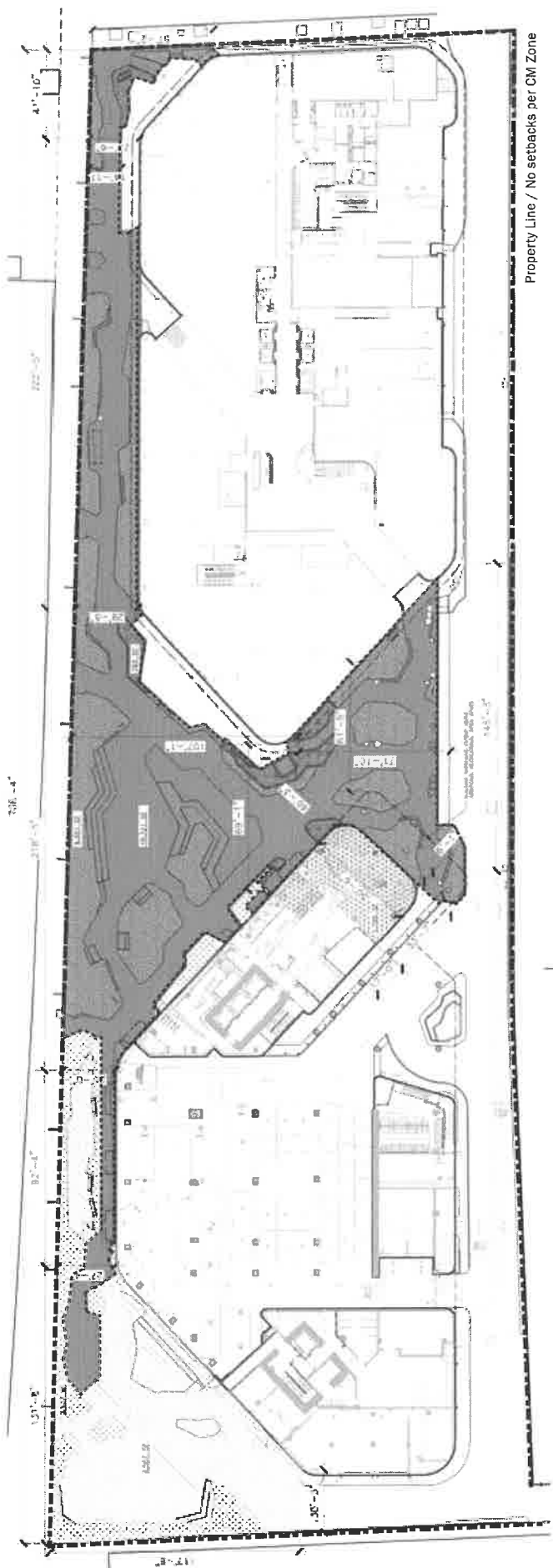
Recreation Credit Cost Estimate Sheet

CASE NUMBER: VTT-83350-CN									
RECREATIONAL AMENITY: Level 2 Private Amenity space									
EXHIBIT/SHEET REFERENCE: SHEET 06									
RSMeans Line Number	RSMeans Description	QTY	UNITS	MATERIAL	LABOR	EQUIPMENT	SUBCONTRACT	ESTIMATE TOTAL (2024 Index to LA- RSMEANS)	
<b>Division 10</b>									
10 28 13.13 0610	Commercial Toilet Accessories, Towel Dispenser and waste receptacle	5	EA	\$580.00	\$41.02	\$0.00	\$80.56	\$3,507.90	
10 28 13.13 6200	Commercial Toilet Accessories, Toilet tissue dispenser, double roll	5	EA	\$108.00	\$17.06	\$0.00	\$21.29	\$731.75	
10 28 13.13 6050	Commercial Toilet Accessories, toilet seat dispenser, Surface mounted	5	EA	\$46.00	\$27.35	\$0.00	\$21.14	\$472.45	
10 28 13.13 1100	Commercial Toilet Accessories, Grab bar, 36" long	5	EA	\$44.50	\$20.45	\$0.00	\$17.34	\$411.45	
10 44 13.53 2700	Fire equipment cabinet	3	EA	\$325.00	\$122.47	\$0.00	\$112.28	\$1,679.25	
<b>Subtotal</b>								<b>\$6,802.80</b>	
<b>Division 11</b>									
11 30 13.18 3350	Waste Disposal Equipment, Garbage Disposal sink type, maximum	1	EA	\$255.00	\$59.45	\$0.00	\$62.86	\$377.31	
<b>Subtotal</b>								<b>\$377.31</b>	
<b>Division 12</b>									
12 36 40.10 2800	Natural Stone countertop, Granite, average, 1-1/4" thick, 24" wide	6	LF	\$162.00	\$29.73	\$0.00	\$35.42	\$1,362.90	
12 36 40.10 2800	6" Stone Backsplash Stone countertop Gym Restrooms	6	LF	\$40.50	\$10.85	\$0.00	\$35.42	\$520.62	
12 24 13.10 1400	Shades, Vinyl coated cotton, lightproof decorator shades	2,175	SF	\$10.95	\$0.59	\$0.00	\$1.47	\$28,296.75	
<b>Subtotal</b>								<b>\$30,180.27</b>	
<b>Division 21</b>									
D4 01 04.10 0600	Wet-Fire Sprinkler - concealed heads	2,495	SF	\$4.01	\$2.73	\$0.00	\$0.00	\$16,816.30	
<b>Subtotal</b>								<b>\$16,816.30</b>	
<b>Division 22</b>									
22 42 13.13 3200	Water Closets, Bowl only, Wall Hung, for rough in, waste and vent	5	EA	\$1,700.00	\$365.64	\$0.00	\$403.36	\$12,345.00	
22 41 16.13 7990	Lavatories, Pedestal type, Rough in, supply, waste and vent	5	EA	\$630.00	\$567.60	\$0.00	\$414.40	\$8,060.00	
22 42 13.13 3100	Water Closets, Bowl only, Wall Hung	5	EA	\$1,050.00	\$161.04	\$0.00	\$226.64	\$7,188.40	
22 41 16.13 1040	Lavatories, Vanity Top, Cultured Marble, 25"x19", single bowl	4	EA	\$221.00	\$146.52	\$0.00	\$114.40	\$1,927.68	
22 41 39.10 2280	Faucets & Fittings, Lavatory faucet, single lever handle, satin nickel	4	EA	\$400.00	\$77.88	\$0.00	\$89.50	\$2,269.52	
22 41 16.13 1040	Lavatories, Vanity Top, Cultured Marble, 25"x19", single bowl	1	EA	\$221.00	\$146.52	\$0.00	\$114.40	\$481.92	
22 41 39.10 2280	Faucets & Fittings, Lavatory faucet, single lever handle, satin nickel	1	EA	\$400.00	\$77.88	\$0.00	\$89.50	\$567.38	
22 41 16.13 3580	Lavatories, Vanity top, Rough in, supply, waste and vent	10	EA	\$545.00	\$409.20	\$0.00	\$300.80	\$12,550.00	
22 11 13.23 1200	Pipe/Tube Copper, solder joints, 1" Diameter	300	LF	\$9.60	\$7.92	\$0.00	\$5.90	\$7,026.00	
<b>Subtotal</b>								<b>\$52,415.90</b>	
<b>Division 23</b>									
D3 01 05.10 1760	Apartment Building Heating System, Heating Systems 1,000 sf	2,495	SF	\$9.43	\$11.14	\$0.00	\$0.00	\$51,322.15	
<b>Subtotal</b>								<b>\$51,322.15</b>	

Recreation Credit Cost Estimate Sheet

CASE NUMBER: VTT-83350-CN									
RECREATIONAL AMENITY: Level 2 Private Amenity space									
EXHIBIT/SHEET REFERENCE: SHEET 06									
RSMMeans Line Number	RSMMeans Description	QTY	UNITS	MATERIAL	LABOR	EQUIPMENT	SUBCONTRACT	ESTIMATE TOTAL (2024 Index to LA - RSMMEANS)	AREA 2
<b>Division 26</b>									
26 51 13.55 0100	Interior LED fixtures, Down Light	10	EA	\$373.03	\$69.94	\$0.00	\$79.22	\$5,221.90	
26 52 13.16 0220	Emergency Lighting, Exit Signs, LED Standard, Double Face	2	EA	\$52.63	\$83.52	\$0.00	\$57.90	\$388.10	
26 51 13.55 2000	Interior LED fixtures, Downlight, Strip, one light bar 4' long	31	EA	\$332.15	\$65.86	\$0.00	\$77.19	\$14,731.20	
26 51 13.55 0100	Interior LED fixtures, Down Light	7	EA	\$373.03	\$69.94	\$0.00	\$79.22	\$3,655.33	
26 52 13.16 0220	Emergency Lighting, Exit Signs, LED Standard, Double Face	4	EA	\$52.63	\$83.52	\$0.00	\$57.90	\$776.20	
D5 02 01.35 0520	Electrical, Misc Power, 3 watts	2,495	SF	\$0.35	\$0.86	\$0.00	\$0.00	\$3,018.95	
D5 02 01.40 0400	Electrical, Central AC Power, 10 Watts	2,495	SF	\$1.06	\$1.03	\$0.00	\$0.00	\$5,214.55	
D5 03 09.10 0220	Electrical, Communication & alarm systems, 12 outlets	1	ea	\$13,183.80	\$18,333.00	\$0.00	\$0.00	\$31,516.80	
<b>Division 26 Subtotal</b>									
<b>Division 32</b>									
32 14 13.16 0800	Precast concrete patio block, 2-3/8" thick, Exposed local aggregate colors	400	SF	\$12.39	\$2.83	\$0.00	\$2.98	\$7,280.00	
<b>Division 32 Subtotal</b>									
<b>Subtotal</b>									

<b>Subtotal</b>									\$1,260,166.71
<b>(Cost based on Los Angeles 2024 Index)</b>									
Sales Tax 9.5%									\$119,715.84
<b>Estimate Subtotal</b>									\$1,379,882.55
Los Angeles City Index/100 Included in Cost Above							1.129		
<b>Adjusted Cost (Los Angeles)</b>									\$1,379,882.55
Architectural Fees	(01 11 31.10 0090)					7.75%			\$106,940.90
Construction Management	(01 11 31.20 0100)					5.00%			\$68,994.13
Permit	(01 41 26.50 0100)					2.00%			\$27,597.65
Engineering Fees	(01 11 31.30 0800)					4.25%			\$58,645.01
Performance Bond	(01 31 13.90 0900)					2.50%			\$34,497.06
Survey						2.00%			\$27,597.65
<b>Grand Total</b>							\$343.30		\$1,704,154.95



**LEVEL 01: RECREATIONAL CREDIT AREA PROVIDED (AREA 1)**

- ▨ PROVIDED RECREATIONAL CREDIT AREA TOTAL 28,859 SF
- ▨ PROVIDED PAVED AREA TOTAL 18,124 SF (64.8%)
- ▨ PROVIDED PAINTING AREA WITH ACCESSIBLE PAVED AREA TOTAL 9,381 SF (32.5%)
- ▨ PROVIDED INACCESSIBLE PAINTING AREA IN PARKED PLANTED TOTAL 760 SF (2.7%)

**ADDITIONAL RECREATIONAL CREDIT AREA PROVIDED: 33,859 SF**

- AREA 1: PLANT: 117,000 SF
- LEVEL 01: INTERIOR RECREATIONAL CREDIT AREA (NOT RECREATIONAL CREDIT) 12,100 SF
- LEVEL 02: RECREATIONAL CREDIT AREA (INTERIOR & EXTENSOR) 4,964 SF

**RESIDENTIAL OPEN SPACE CALCULATION**

- EACH UNIT = HAVING LARGER THAN 1 ROOMS 100 SF
- EACH UNIT HAVING 2 ROOMS 126 SF
- EACH UNIT HAVING MORE THAN 3 ROOMS 175 SF

**REQUIRED USEABLE OPEN SPACE TOTAL: 28,575 SF**  
 (70% MIN x 70224 x 1107 MIN x 73.5% x 94% x 10% x 10%)

Property Line / No setbacks per CM Zone

**PROVIDED USEABLE OPEN SPACE TOTAL 28,575 SF**

- CENTRAL COMMON OPEN SPACE TOTAL (8% OF TOTAL) 22,748 SF
- MIN. REQUIRED COMMON OPEN SPACE TOTAL 22,748 SF
- LEVEL 01: INTERIOR COMMON OPEN SPACE 12,088 SF
- LEVEL 02: INTERIOR COMMON OPEN SPACE 10,660 SF
- LEVEL 03: EXTERIOR COMMON OPEN SPACE 5,678 SF

**REQUIRED PLANTED OPEN SPACE TOTAL: 7,144 SF**  
 (28.75% REQUIRED COMMON OPEN SPACE x 25%)

**PROVIDED PLANTED OPEN SPACE TOTAL: 7,144 SF**

- LEVEL 01: PLANTED COMMON OPEN SPACE 5,522 SF
- LEVEL 02: PLANTED COMMON OPEN SPACE 1,622 SF

**3401 & 3411 S LA CIENEGA BLVD.**  
 LOS ANGELES, CA 90005

RECREATIONAL CREDIT AREA (PUBLIC)

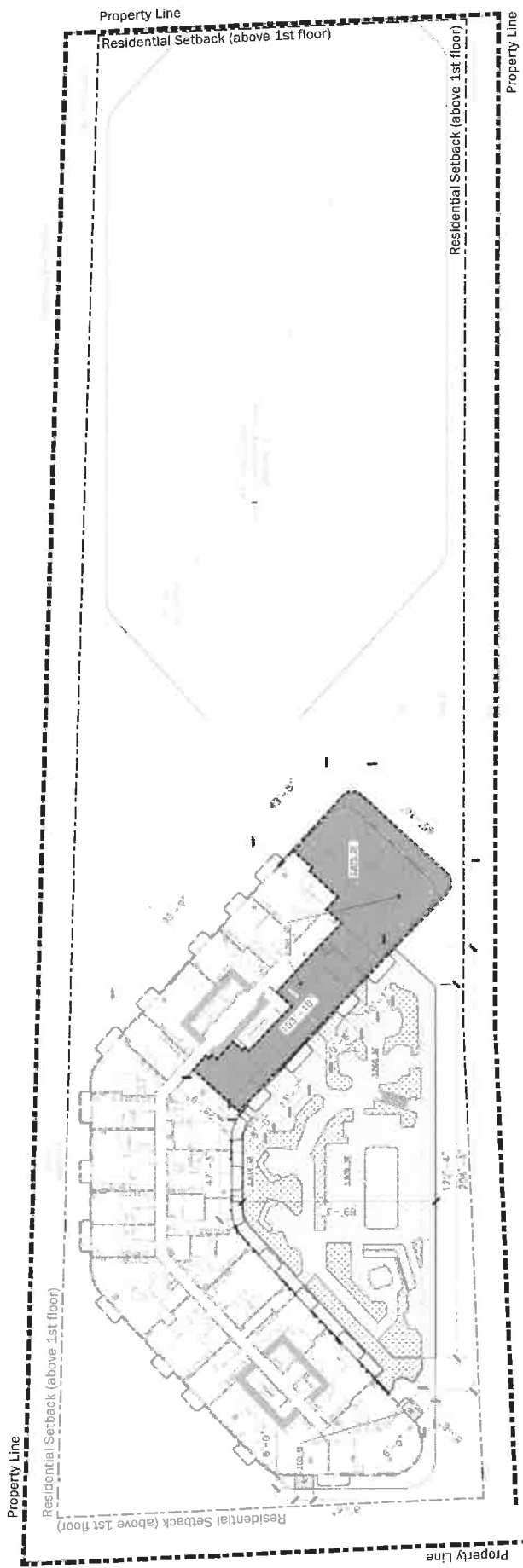
RECREATIONAL CREDIT AREA (PUBLIC)

RECREATIONAL CREDIT AREA (PUBLIC)

RECREATIONAL CREDIT AREA (PUBLIC)







**LEVEL 02 RECREATIONAL CREDIT AREA PROVIDED (AREA 2)**  
 4,984 SF

**ADDITIONAL RECREATIONAL CREDIT AREA PROVIDED:**  
 32,859 SF

AREA 1 - PLINK.  
 LEVEL 01 & 02 EXTERIOR RECREATIONAL CREDIT AREA (NOT INCLUDING IN-USE COMMON AREAS)  
 LEVEL 03 RECREATIONAL CREDIT AREA (INTERIOR & EXTERIOR) 4,984 SF

**RESIDENTIAL OPEN SPACE CALCULATION**

EACH UNIT HAVING LESS THAN 3 ROOMS  
 EACH UNIT HAVING 3 ROOMS  
 EACH UNIT HAVING MORE THAN 3 ROOMS

**REQUIRED USEABLE OPEN SPACE TOTAL: 28,575 SF**  
 100 SF x 100 UNITS x 1.00 ROOMS x 1.00 SF = 10,000 SF  
 100 SF x 100 UNITS x 1.00 ROOMS x 1.00 SF = 10,000 SF  
 100 SF x 100 UNITS x 1.00 ROOMS x 1.00 SF = 10,000 SF

**PROVIDED USEABLE OPEN SPACE TOTAL: 28,575 SF**

OUTER COMMON OPEN SPACE TOTAL 40% OF TOTAL  
 MAX. REQUIREMENT MUST CONSTITUTE 50% OF TOTAL  
 LEVEL 01 EXTERIOR COMMON OPEN SPACE 12,000 SF  
 LEVEL 02 EXTERIOR COMMON OPEN SPACE 12,000 SF  
 LEVEL 03 EXTERIOR COMMON OPEN SPACE 4,575 SF

INTERIOR COMMON OPEN SPACE TOTAL 10% OF TOTAL  
 MAX. ALLOWED MAY CONSTITUTE 25% OF TOTAL  
 LEVEL 01 INTERIOR COMMON OPEN SPACE 1,000 SF  
 LEVEL 02 INTERIOR COMMON OPEN SPACE 1,000 SF  
 LEVEL 03 INTERIOR COMMON OPEN SPACE 865 SF

LEVEL 01 PRIVATE OPEN SPACE  
 MAX. ALLOWED MAY CONSTITUTE 50% OF TOTAL  
 LEVEL 01 PRIVATE OPEN SPACE 100 SF  
 LEVEL 02 PRIVATE OPEN SPACE 700 SF  
 LEVEL 03 PRIVATE OPEN SPACE 90 SF

**REQUIRED PLANTED OPEN SPACE TOTAL: 7,144 SF**  
 25% OF PROVIDED COMMON OPEN SPACE x 25%

**PROVIDED PLANTED OPEN SPACE TOTAL: 7,144 SF**  
 LEVEL 01 PLANTED COMMON OPEN SPACE 3,572 SF  
 LEVEL 02 PLANTED COMMON OPEN SPACE 3,572 SF

**3401 & 3411 S LA CIENEGA BLVD.**  
 LOS ANGELES, CA 90006

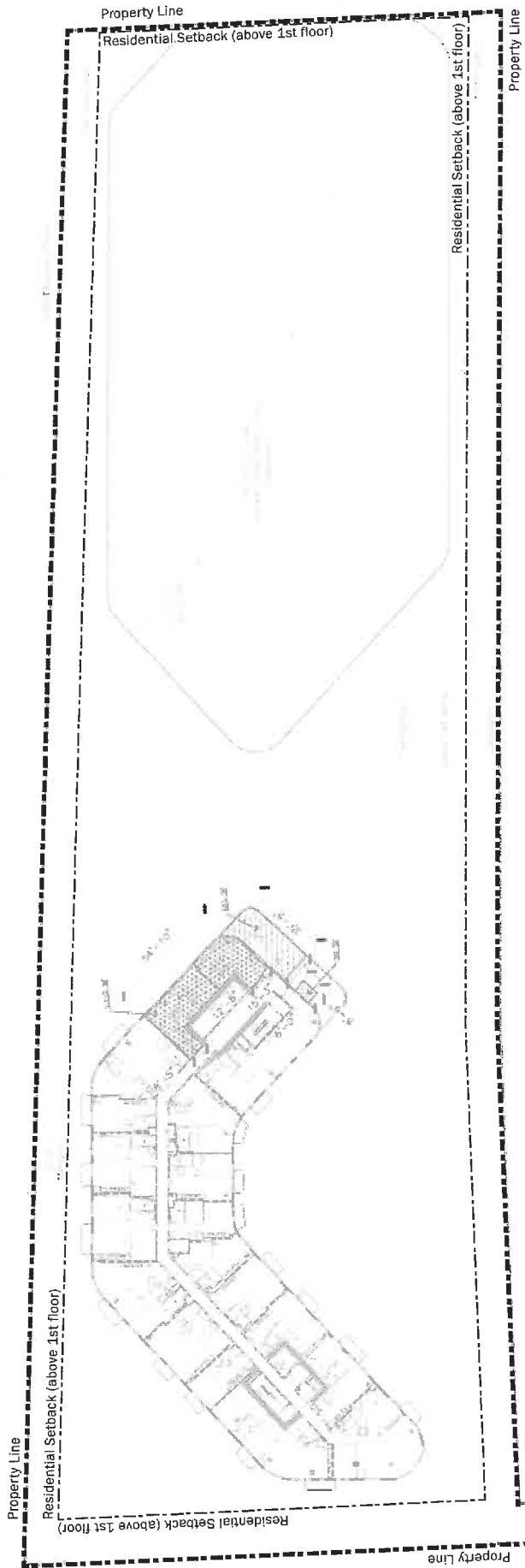
**SHEET 02**

DATE: 02/01/2020  
 PROJECT: 3401 & 3411 S LA CIENEGA BLVD  
 CITY: LOS ANGELES



NO.	DESCRIPTION	DATE	BY	CHECKED
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50	REVISIONS			

DATE: 02/01/2020  
 PROJECT: 3401 & 3411 S LA CIENEGA BLVD  
 CITY: LOS ANGELES



**LEVEL 12: COMMON OPEN SPACE**

PROVIDED COMMON USEABLE OPEN SPACE TOTAL	501 SF
PROVIDED RECREATIONAL CREDIT AREA PROVIDED	1,110 SF
PROVIDED PRIVATE OPEN SPACE TOTAL	80 SF
<b>PROVIDED USEABLE OPEN SPACE TOTAL</b>	<b>28,575 SF</b>

**ADDITIONAL RECREATIONAL CREDIT AREA PROVIDED:** 33,859 SF

AREA 1: PLANTING  
 LEVEL 03 EXTERIOR COMMON OPEN SPACE 28,885 SF  
 LEVEL 02 EXTERIOR COMMON OPEN SPACE 4,974 SF

**RESIDENTIAL OPEN SPACE CALCULATION**

EACH UNIT HAVING MORE THAN 3 ROOMS	100 SF
EACH UNIT HAVING 3 ROOMS	100 SF
EACH UNIT HAVING MORE THAN 3 ROOMS	175 SF
<b>REQUIRED USEABLE OPEN SPACE TOTAL:</b>	<b>28,575 SF</b>

100 SF x 150 UNITS = 15,000 SF + 100 SF x 175 UNITS = 17,575 SF

AREA 2: PLANTING  
 LEVEL 03 EXTERIOR COMMON OPEN SPACE 28,885 SF  
 LEVEL 02 EXTERIOR COMMON OPEN SPACE 4,974 SF

**REQUIRED PLANTED OPEN SPACE TOTAL:** 7,144 SF  
 28,575 SF REQUIRED COMMON OPEN SPACE x 25%

**PROVIDED PLANTED OPEN SPACE TOTAL:** 7,144 SF  
 LEVEL 03 PLANTED COMMON OPEN SPACE 3,507 SF  
 LEVEL 02 PLANTED COMMON OPEN SPACE 3,637 SF

**PROVIDED COMMON USEABLE OPEN SPACE TOTAL** 501 SF

**PROVIDED RECREATIONAL CREDIT AREA PROVIDED** 1,110 SF

**PROVIDED PRIVATE OPEN SPACE TOTAL** 80 SF

**PROVIDED USEABLE OPEN SPACE TOTAL** 28,575 SF

**ADDITIONAL RECREATIONAL CREDIT AREA PROVIDED:** 33,859 SF

AREA 1: PLANTING  
 LEVEL 03 EXTERIOR COMMON OPEN SPACE 28,885 SF  
 LEVEL 02 EXTERIOR COMMON OPEN SPACE 4,974 SF

**RESIDENTIAL OPEN SPACE CALCULATION**

EACH UNIT HAVING MORE THAN 3 ROOMS 100 SF  
 EACH UNIT HAVING 3 ROOMS 100 SF  
 EACH UNIT HAVING MORE THAN 3 ROOMS 175 SF

**REQUIRED USEABLE OPEN SPACE TOTAL:** 28,575 SF

100 SF x 150 UNITS = 15,000 SF + 100 SF x 175 UNITS = 17,575 SF

AREA 2: PLANTING  
 LEVEL 03 EXTERIOR COMMON OPEN SPACE 28,885 SF  
 LEVEL 02 EXTERIOR COMMON OPEN SPACE 4,974 SF

**REQUIRED PLANTED OPEN SPACE TOTAL:** 7,144 SF  
 28,575 SF REQUIRED COMMON OPEN SPACE x 25%

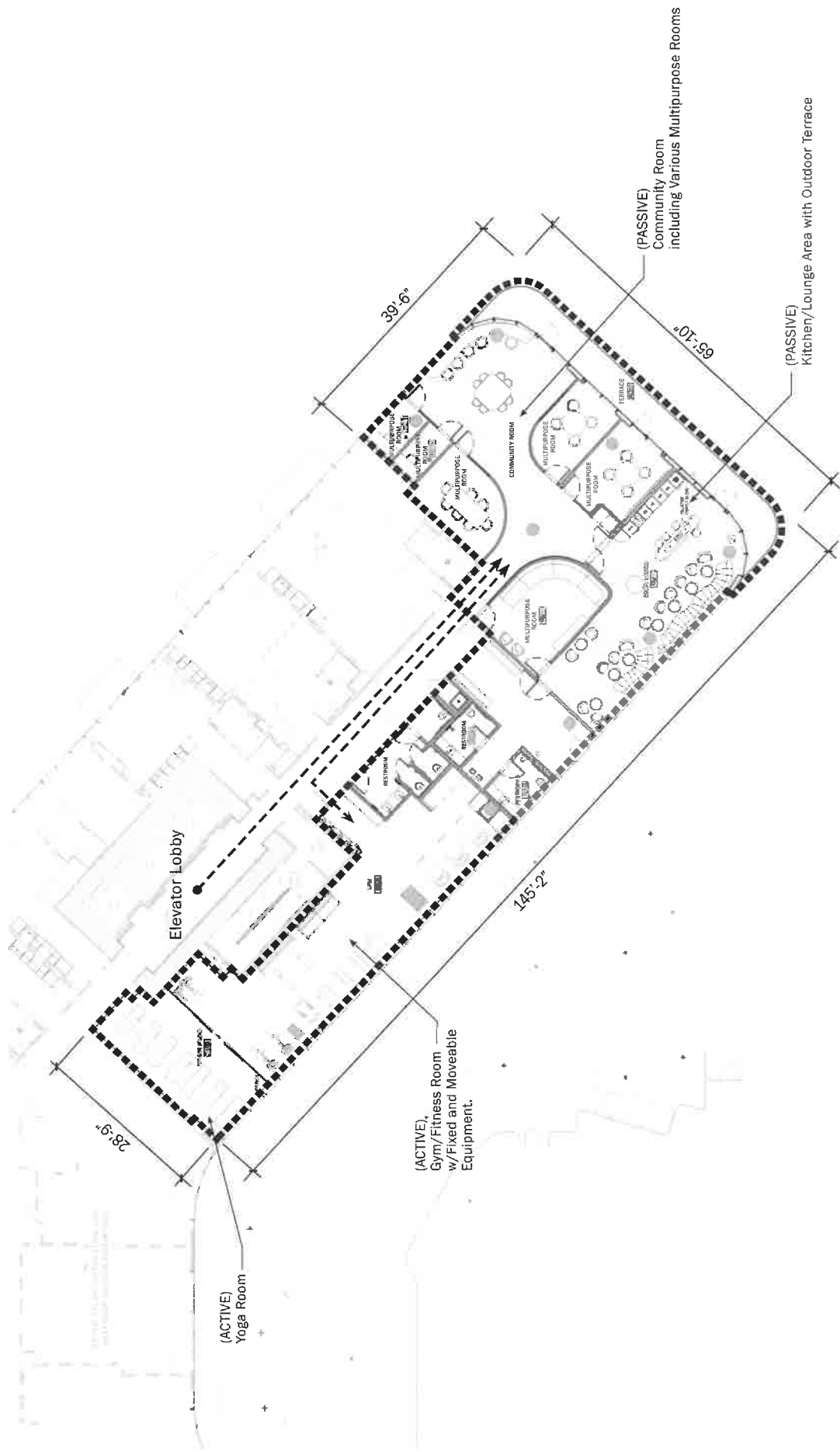
**PROVIDED PLANTED OPEN SPACE TOTAL:** 7,144 SF  
 LEVEL 03 PLANTED COMMON OPEN SPACE 3,507 SF  
 LEVEL 02 PLANTED COMMON OPEN SPACE 3,637 SF



**REVISIONS**

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99	08/14/24	ISSUED FOR PERMITS
100	08/14/24	ISSUED FOR PERMITS





RECREATIONAL CREDIT AREA (PRIVATE)

**3401 & 3411 S LA CIENEGA BLVD.**  
 LOS ANGELES, CA 90008

**PROJECT:** RECREATIONAL CREDIT AREA  
**DATE:** 05/11/2011  
**SCALE:** 1/8" = 1'-0"

**OWNER:** RECREATIONAL CREDIT AREA  
**ARCHITECT:** JACOBS+JACOBS ARCHITECTS  
**DATE:** 05/11/2011

**PROJECT:** RECREATIONAL CREDIT AREA  
**DATE:** 05/11/2011

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**DATE:** 05/11/2011

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**DATE:** 05/11/2011

**PROJECT:** RECREATIONAL CREDIT AREA  
**DATE:** 05/11/2011

**PROJECT:** RECREATIONAL CREDIT AREA  
**DATE:** 05/11/2011



NO.	DESCRIPTION
1	RECREATIONAL CREDIT AREA
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**PROJECT:** RECREATIONAL CREDIT AREA  
**DATE:** 05/11/2011

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**DATE:** 05/11/2011

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**DATE:** 05/11/2011

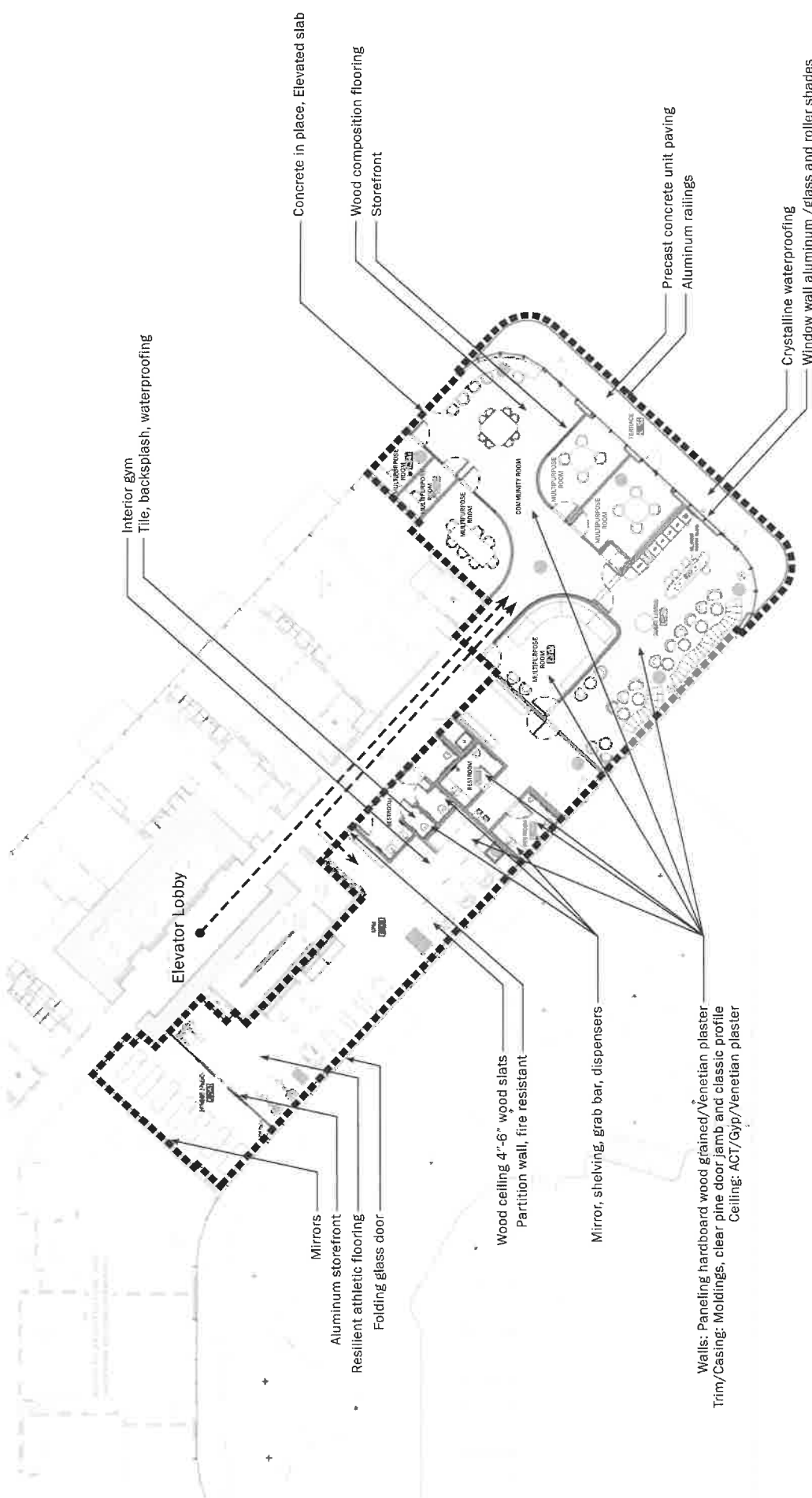
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**DATE:** 05/11/2011

**PROJECT:** RECREATIONAL CREDIT AREA  
**DATE:** 05/11/2011

**PROJECT:** RECREATIONAL CREDIT AREA  
**DATE:** 05/11/2011

**SHEET 05**





**AREA 2 : Level 2 Private Amenity Space (Privately Accessible Space)**

**3401 & 3411 S LA CIENEGA BLVD.**  
LOS ANGELES, CA 90005

DATE: 08/11/2011  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
SCALE: 1/8" = 1'-0"

PROJECT: [Name]  
SHEET: 06

3401 & 3411 S LA CIENEGA BLVD.  
LOS ANGELES, CA 90005

DATE: 08/11/2011  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
SCALE: 1/8" = 1'-0"

PROJECT: [Name]  
SHEET: 06

3401 & 3411 S LA CIENEGA BLVD.  
LOS ANGELES, CA 90005

DATE: 08/11/2011  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
SCALE: 1/8" = 1'-0"

PROJECT: [Name]  
SHEET: 06

3401 & 3411 S LA CIENEGA BLVD.  
LOS ANGELES, CA 90005

DATE: 08/11/2011  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
SCALE: 1/8" = 1'-0"

PROJECT: [Name]  
SHEET: 06



3401 & 3411 S LA CIENEGA BLVD.  
LOS ANGELES, CA 90005

DATE: 08/11/2011  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
SCALE: 1/8" = 1'-0"

PROJECT: [Name]  
SHEET: 06

3401 & 3411 S LA CIENEGA BLVD.  
LOS ANGELES, CA 90005

DATE: 08/11/2011  
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CHECKED BY: [Name]  
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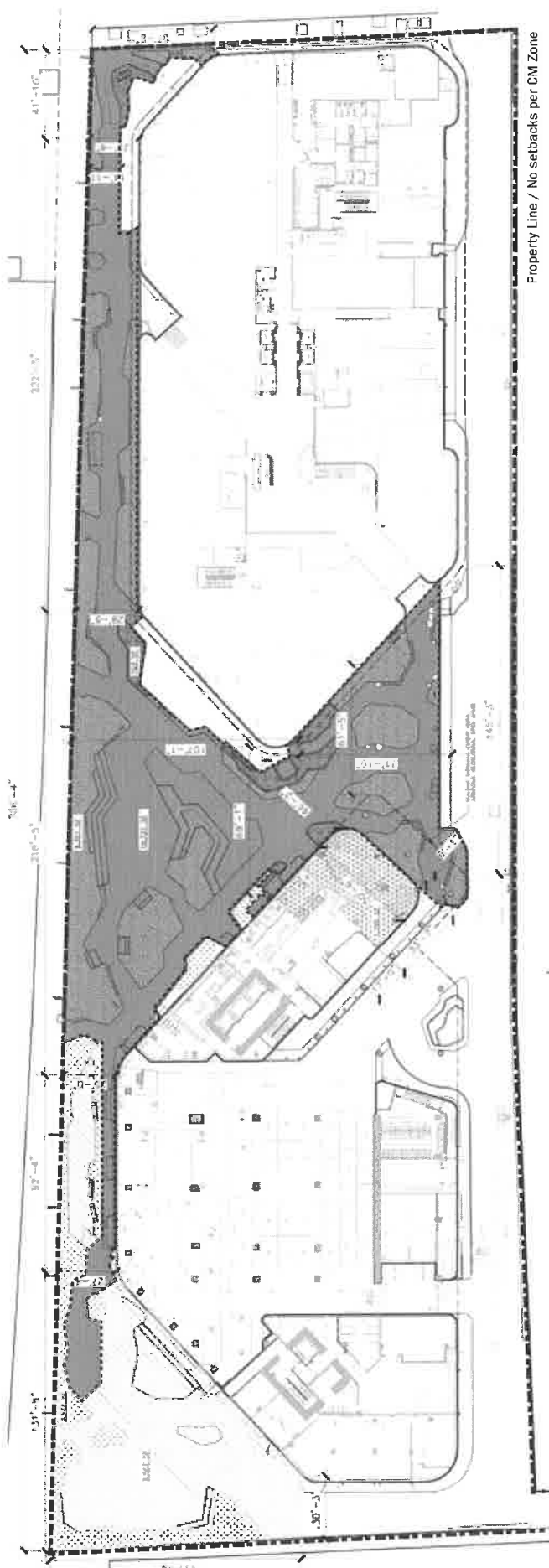
PROJECT: [Name]  
SHEET: 06

3401 & 3411 S LA CIENEGA BLVD.  
LOS ANGELES, CA 90005

DATE: 08/11/2011  
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CHECKED BY: [Name]  
SCALE: 1/8" = 1'-0"

PROJECT: [Name]  
SHEET: 06

3401 & 3411 S LA CIENEGA BLVD.  
LOS ANGELES, CA 90005



Property Line / No setbacks per CM Zone

**LEVEL 01: RECREATIONAL CREDIT AREA PROVIDED (AREA 1)**

- PROVIDED RECREATIONAL CREDIT AREA TOTAL: 28,575 SF
- PROVIDED PAVED AREA TOTAL: 18,721 SF (66.8%)
- PROVIDED PLANTING AREA (FLUSH WITH) ACCESSIBLE PAVED AREA TOTAL: 9,361 SF (33.2%)
- PROVIDED INACCESSIBLE PLANTING AREA IN PAVED PLANTER TOTAL: 782 SF (2.7%)

**ADDITIONAL RECREATIONAL CREDIT AREA PROVIDED:**

- 33,859 SF
- AREA 1 - PUBLIC: 17,071 SF (51% FROM IN-SITUARIAL CREDIT AREA) MUST INCLUDE MINIMUM 40% CALI 288 B&P
- AREA 2 - LEVEL 02 RECREATIONAL CREDIT AREA, INTERIOR & EXTERIOR: 4,964 SF

**PROVIDED USEABLE OPEN SPACE TOTAL: 28,575 SF**

- EXTERIOR COMMON OPEN SPACE TOTAL (MIN. OF TOTAL): 25,741 SF
- MAX. REQUIREMENT MUST CONSTITUTE 50% OF TOTAL
- LEVEL 00 EXTERIOR COMMON OPEN SPACE: 13,264 SF
- LEVEL 12 EXTERIOR COMMON OPEN SPACE: 12,477 SF
- INTERIOR COMMON OPEN SPACE TOTAL (MIN. OF TOTAL): 2,834 SF
- MAX. ALLOWED MAY CONSTITUTE 20% OF TOTAL
- LEVEL 01 INTERIOR COMMON OPEN SPACE: 1,785 SF
- LEVEL 12 INTERIOR COMMON OPEN SPACE: 1,049 SF
- PRIVATE LEVEL SPACES (TOTAL): 800 SF
- MAX. ALLOWED MAY CONSTITUTE 10% OF TOTAL
- LEVEL 00 PRIVATE OPEN SPACE: 100 SF
- LEVEL 05-11 PRIVATE OPEN SPACE: 100 SF
- LEVEL 12 PRIVATE OPEN SPACE: 600 SF

**RESIDENTIAL OPEN SPACE CALCULATION**

- EACH UNIT HAVING MORE THAN 3 ROOMS: 100 SF
- EACH UNIT HAVING 3 ROOMS: 75 SF
- EACH UNIT HAVING MORE THAN 3 ROOMS: 15 SF
- REQUIRED USEABLE OPEN SPACE TOTAL: 28,575 SF
- 1 SF PER 1,000 SF GROSS AREA + 175 SF PER 1,000 SF GROSS AREA
- MIN. MAX. REQUIREMENT IS AS A PERCENTAGE OF TOTAL USEABLE OPEN SPACE
- EXTERIOR COMMON OPEN SPACE MUST CONSTITUTE MIN. 50% OF TOTAL COMMON OPEN SPACE
- INTERIOR COMMON OPEN SPACE MAY CONSTITUTE MAX. 20% OF TOTAL COMMON OPEN SPACE

**REQUIRED PLANTED OPEN SPACE TOTAL: 7,144 SF**

- PER 75 SF PER 1,000 SF COMMON OPEN SPACE (MIN. 1,000 SF)
- PROVIDED PLANTED OPEN SPACE TOTAL: 7,144 SF
- LEVEL 01 PLANTED COMMON OPEN SPACE: 3,572 SF
- LEVEL 12 PLANTED COMMON OPEN SPACE: 3,572 SF

**RECREATIONAL CREDIT AREA (PUBLIC)**

NO.	DESCRIPTION	AMOUNT
1	PROVIDED RECREATIONAL CREDIT AREA TOTAL	28,575
2	ADDITIONAL RECREATIONAL CREDIT AREA PROVIDED	33,859
3	TOTAL RECREATIONAL CREDIT AREA PROVIDED	62,434

NO.	DESCRIPTION	AMOUNT
1	PROVIDED RECREATIONAL CREDIT AREA TOTAL	28,575
2	ADDITIONAL RECREATIONAL CREDIT AREA PROVIDED	33,859
3	TOTAL RECREATIONAL CREDIT AREA PROVIDED	62,434

NO.	DESCRIPTION	AMOUNT
1	PROVIDED RECREATIONAL CREDIT AREA TOTAL	28,575
2	ADDITIONAL RECREATIONAL CREDIT AREA PROVIDED	33,859
3	TOTAL RECREATIONAL CREDIT AREA PROVIDED	62,434

NO.	DESCRIPTION	AMOUNT
1	PROVIDED RECREATIONAL CREDIT AREA TOTAL	28,575
2	ADDITIONAL RECREATIONAL CREDIT AREA PROVIDED	33,859
3	TOTAL RECREATIONAL CREDIT AREA PROVIDED	62,434

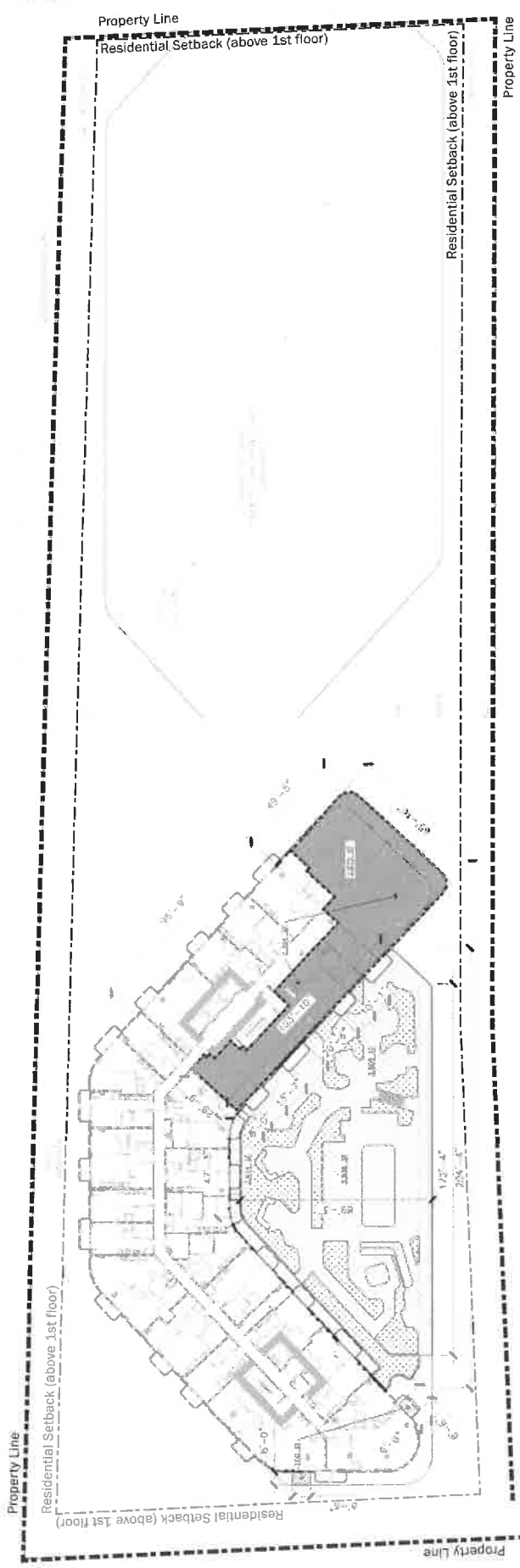
NO.	DESCRIPTION	AMOUNT
1	PROVIDED RECREATIONAL CREDIT AREA TOTAL	28,575
2	ADDITIONAL RECREATIONAL CREDIT AREA PROVIDED	33,859
3	TOTAL RECREATIONAL CREDIT AREA PROVIDED	62,434

**3401 & 3411 S LA CIENEGA BLVD.**  
LOS ANGELES, CA 90008

PROJECT: 2209800  
DATE: 11/11/2021



**SHEET 01**



**LEVEL 02 RECREATIONAL CREDIT AREA PROVIDED (AREA 2)**  
 4,984 SF

**ADDITIONAL RECREATIONAL CREDIT AREA PROVIDED:**  
 33,859 SF

AREA 1 PUBLIC  
 LEVEL 01 EXTERIOR RECREATIONAL CREDIT AREA (W/OUT W/CS CAL.) 28,865 SF  
 AREA 2 LEVEL 02 RECREATIONAL CREDIT AREA (INTERIOR & EXTERIOR) 4,994 SF

**PROVIDED USEABLE OPEN SPACE TOTAL:** 28,575 SF

EXTERIOR COMMON OPEN SPACE TOTAL (MIN. OF TOTAL LEVELS)  
 MIN. REQUIREMENT MUST CONSTITUTE 50% OF TOTAL  
 LEVEL 01 EXTERIOR COMMON OPEN SPACE 11,088 SF  
 LEVEL 02 EXTERIOR COMMON OPEN SPACE 11,088 SF  
 LEVEL 03 EXTERIOR COMMON OPEN SPACE 6,400 SF

INTERIOR COMMON OPEN SPACE TOTAL (MIN. OF TOTAL LEVELS)  
 MIN. REQUIREMENT MUST CONSTITUTE 50% OF TOTAL LEVELS  
 LEVEL 01 INTERIOR COMMON OPEN SPACE 2,805 SF  
 LEVEL 02 INTERIOR COMMON OPEN SPACE 1,192 SF  
 LEVEL 03 INTERIOR COMMON OPEN SPACE 1,192 SF

MAX. ALLOWED MAY CONSTITUTE 50% OF TOTAL LEVELS  
 LEVEL 01 PRIVATE OPEN SPACE 860 SF  
 LEVEL 02 PRIVATE OPEN SPACE 100 SF  
 LEVEL 03 PRIVATE OPEN SPACE 100 SF

**RESIDENTIAL OPEN SPACE CALCULATION**

EACH UNIT MUST HAVE AT LEAST 11 SQUARE FEET OF OPEN SPACE  
 EACH UNIT HAVING MORE THAN 3 ROOMS

**REQUIRED USEABLE OPEN SPACE TOTAL:** 28,575 SF

4,984 SF + 23,591 SF = 28,575 SF

AREA 2 MAX. REQUIREMENT AS A PERCENTAGE OF TOTAL USABLE OPEN SPACE  
 EXTERIOR COMMON OPEN SPACE LIMIT CONSTITUTE 50% MIN. OF TOTAL PROVIDED OPEN SPACE  
 EXTERIOR PRIVATE OPEN SPACE MAY CONSTITUTE MAX. 50% OF TOTAL PROVIDED OPEN SPACE

**REQUIRED PLANTED OPEN SPACE TOTAL:** 7,144 SF

0.25 SF REQUIRED COMMON OPEN SPACE PER 284 SF

**PROVIDED PLANTED OPEN SPACE TOTAL:** 7,144 SF

LEVEL 01 PLANTED COMMON OPEN SPACE 3,675 SF  
 LEVEL 02 PLANTED COMMON OPEN SPACE 3,469 SF

**RECREATIONAL CREDIT AREA (PUBLIC)**

**3401 & 3411 S LA CIENEGA BLVD.**  
 LOS ANGELES, CA 90008

**SHEET 02**

PROJECT # 200600  
 DATE 11/19/21  
 DRAWN BY [Signature]

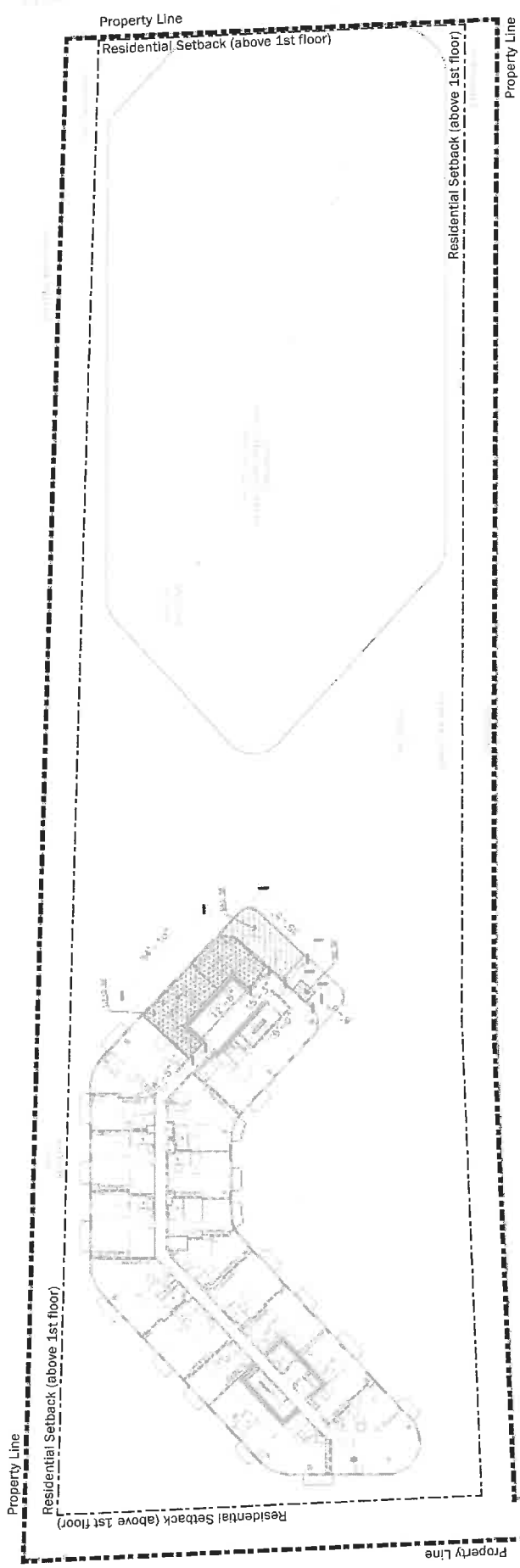
**REVISIONS**

NO.	DESCRIPTION	DATE
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10	REVISIONS TO PERMIT	11/19/21

**SCALE**  
 1" = 10'-0"

**NOTES**

- ALL DIMENSIONS UNLESS OTHERWISE NOTED.
- SEE SHEET 01 FOR GENERAL NOTES AND SPECIFICATIONS.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
- ALL MATERIALS SHALL BE OF THE QUALITY AND TYPE SPECIFIED.
- CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
- ALL UTILITIES SHALL BE PROTECTED AND DEEPER THAN THE FOUNDATION.
- ALL EXCAVATIONS SHALL BE PROPERLY SHORED AND BRACED.
- ALL FOUNDATIONS SHALL BE PROPERLY CONCRETED AND CURED.
- ALL ROADS SHALL BE PROPERLY GRADED AND PAVED.
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- ALL FOUNDATIONS SHALL BE PROPERLY CONCRETED AND CURED.
- ALL ROADS SHALL BE PROPERLY GRADED AND PAVED.



**LEVEL 12: COMMON OPEN SPACE**

PROVIDED COMMON USEABLE OPEN SPACE TOTAL	651 SF
PROVIDED INTERIOR COMMON OPEN SPACE TOTAL	1,110 SF
PROVIDED PRIVATE OPEN SPACE TOTAL	60 SF
<b>ADDITIONAL RECREATIONAL CREDIT AREA PROVIDED:</b>	<b>33,859 SF</b>
<b>PROVIDED USEABLE OPEN SPACE TOTAL</b>	<b>28,575 SF</b>

**RESIDENTIAL OPEN SPACE CALCULATION**

AREA + PUBLIC  
LEVEL 03 EXTERIOR RECREATIONAL CREDIT AREA (NEAR RECREATION) 28,860 SF  
LEVEL 02 RECREATIONAL CREDIT AREA (INTERIOR & EXTERIOR) 4,964 SF

AREA + PRIVATE  
LEVEL 03 EXTERIOR RECREATIONAL CREDIT AREA (NEAR RECREATION) 28,860 SF  
LEVEL 02 RECREATIONAL CREDIT AREA (INTERIOR & EXTERIOR) 4,964 SF

**REQUIRED USEABLE OPEN SPACE TOTAL: 28,575 SF**  
 AREA + PUBLIC 17,800 SF + 28,860 SF + 4,964 SF = 47,624 SF  
 AREA + PRIVATE 17,800 SF + 28,860 SF + 4,964 SF = 47,624 SF

**RESIDENTIAL OPEN SPACE CALCULATION**

AREA + PUBLIC  
LEVEL 03 EXTERIOR RECREATIONAL CREDIT AREA (NEAR RECREATION) 28,860 SF  
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LEVEL 03 EXTERIOR RECREATIONAL CREDIT AREA (NEAR RECREATION) 28,860 SF  
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**REQUIRED USEABLE OPEN SPACE TOTAL: 28,575 SF**  
 AREA + PUBLIC 17,800 SF + 28,860 SF + 4,964 SF = 47,624 SF  
 AREA + PRIVATE 17,800 SF + 28,860 SF + 4,964 SF = 47,624 SF

**REQUIRED PLANTED OPEN SPACE TOTAL: 7,144 SF**

**REQUIRED PLANTED OPEN SPACE TOTAL: 7,144 SF**



LA 3 15 24



FIG. 11. PROPOSED OVERALL SITE PLAN

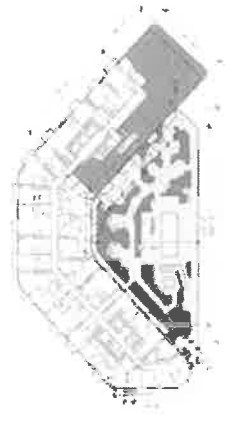


FIG. 12. PROPOSED OVERALL SITE PLAN



FIG. 13. PROPOSED OVERALL SITE PLAN



FIG. 14. PROPOSED OVERALL SITE PLAN



FIG. 15. PROPOSED OVERALL SITE PLAN



FIG. 16. PROPOSED OVERALL SITE PLAN

**GENERAL NOTES:**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC) AND THE CALIFORNIA ELECTRICAL CODE (CEC).
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPLICABLE AGENCIES.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
4. ALL UTILITIES SHALL BE LOCATED AND DEPTH MARKED PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
6. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE APPLICABLE AGENCIES.
7. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORK SITE AT ALL TIMES.
8. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
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3401 & 3411 S LA CIENEGA BLVD.  
LOS ANGELES, CA 90016

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	08/15/24
2	REVISIONS	
3	REVISIONS	
4	REVISIONS	
5	REVISIONS	
6	REVISIONS	
7	REVISIONS	
8	REVISIONS	
9	REVISIONS	
10	REVISIONS	
11	REVISIONS	
12	REVISIONS	
13	REVISIONS	
14	REVISIONS	
15	REVISIONS	
16	REVISIONS	
17	REVISIONS	
18	REVISIONS	
19	REVISIONS	
20	REVISIONS	

**SCALE:**

**DATE:** 08/15/24

**PROJECT:** 3401 & 3411 S LA CIENEGA BLVD.

**CLIENT:** [REDACTED]

**DESIGNER:** [REDACTED]

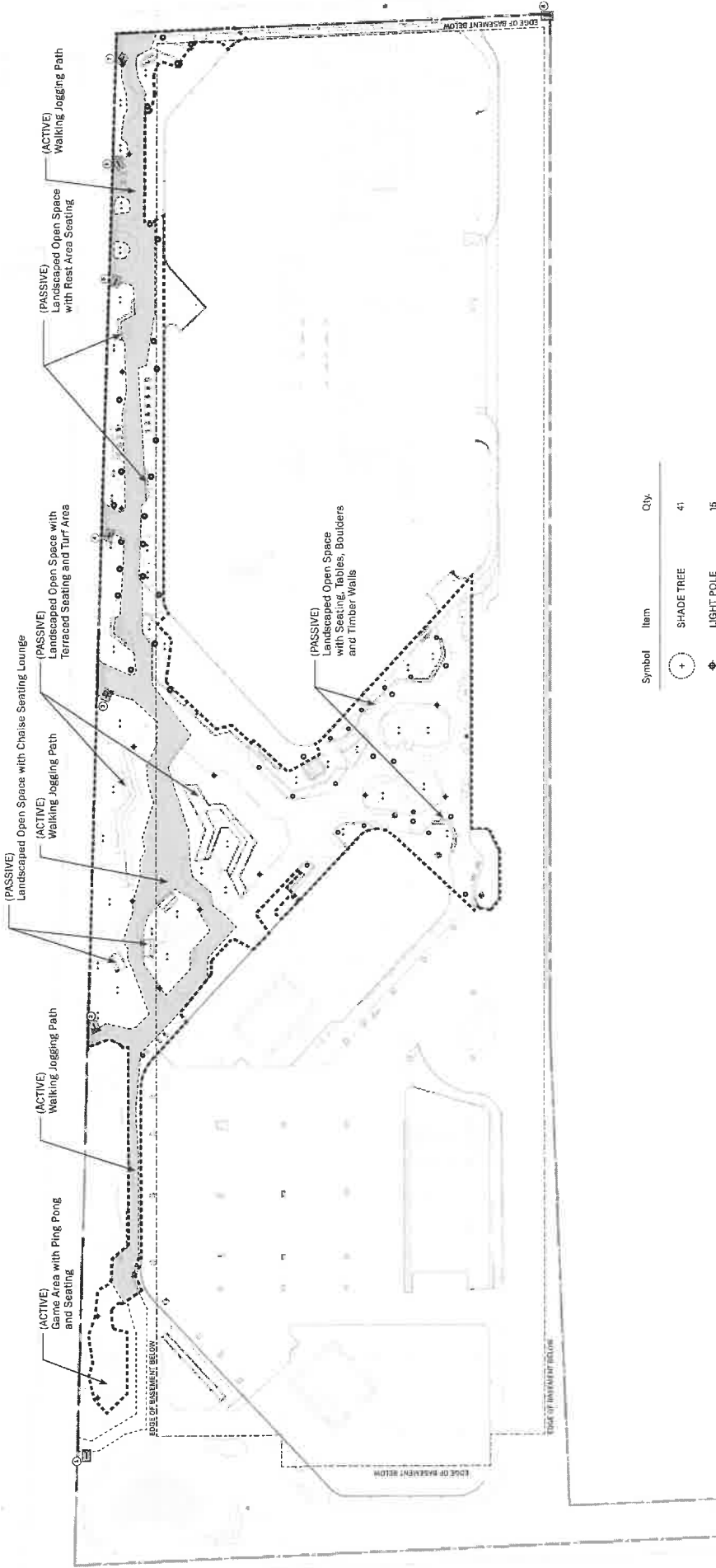
**ARCHITECT:** [REDACTED]

**ENGINEER:** [REDACTED]

**PLANNING:** [REDACTED]

**LANDSCAPE:** [REDACTED]

**CONTRACTOR:** [REDACTED]



Symbol	Item	Qty.
+	SHADE TREE	41
⊕	LIGHT POLE	15
●	LIGHT BOLLARD	39
++	TREE UPLIGHT	39 (pair)
⊙	PLAZA DRAIN	9

- RECREATIONAL CREDIT AREA (PUBLIC)
- - - DESIGNATED WALKING / JOGGING PATH
- SITE ENTRY RULES AND REGULATIONS SIGN

**3401 & 3411 S LA CIENEGA BLVD.**  
LOS ANGELES, CA 90006

DATE: 08/11/2010  
PROJECT # 2009000

SCALE: 1/8" = 1'-0"

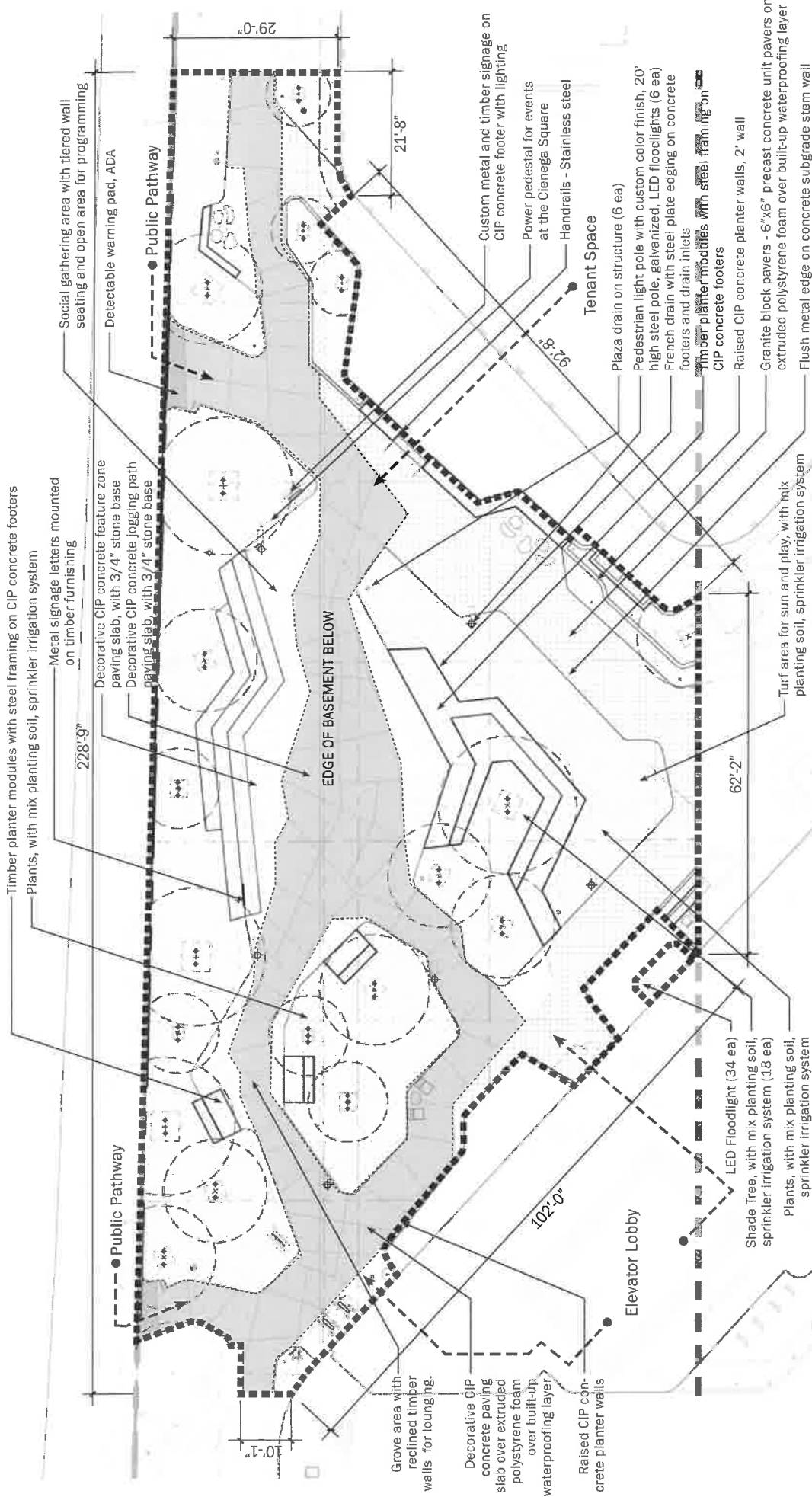
DESIGNED BY: [Firm Name]  
DRAWN BY: [Firm Name]  
CHECKED BY: [Firm Name]  
APPROVED BY: [Firm Name]

**SHEET 05**

DATE: 08/11/2010  
PROJECT # 2009000

SCALE: 1/8" = 1'-0"

DESIGNED BY: [Firm Name]  
DRAWN BY: [Firm Name]  
CHECKED BY: [Firm Name]  
APPROVED BY: [Firm Name]



**AREA 1(North) : Ground Floor Public Plaza (Publicly Accessible Space)**

DESIGNATED WALKING / JOGGING PATH



**3401 & 3411 S LA CIENEGA BLVD.**  
 LOS ANGELES, CA 90008

DATE: 11/11/2024  
 PROJECT: 24-000000  
 SHEET: 06

PROJECT INFORMATION

OWNER: [REDACTED]  
 ARCHITECT: [REDACTED]  
 ENGINEER: [REDACTED]

CONTRACT NUMBER: [REDACTED]  
 CONTRACT DATE: [REDACTED]  
 CONTRACT VALUE: [REDACTED]

PROJECT LOCATION: [REDACTED]

PROJECT DESCRIPTION: [REDACTED]

PROJECT PHASE: [REDACTED]

PROJECT STATUS: [REDACTED]

PROJECT CONTACT: [REDACTED]

PROJECT PHONE: [REDACTED]

PROJECT FAX: [REDACTED]

PROJECT EMAIL: [REDACTED]

PROJECT WEBSITE: [REDACTED]

PROJECT ADDRESS: [REDACTED]

PROJECT CITY: [REDACTED]

PROJECT STATE: [REDACTED]

PROJECT ZIP: [REDACTED]

PROJECT COUNTY: [REDACTED]

PROJECT DISTRICT: [REDACTED]

PROJECT ZONE: [REDACTED]

PROJECT PERMIT: [REDACTED]

PROJECT PLAN: [REDACTED]

PROJECT SHEET: [REDACTED]

PROJECT SCALE: [REDACTED]

PROJECT DATE: [REDACTED]

PROJECT TIME: [REDACTED]

PROJECT WEATHER: [REDACTED]

PROJECT SOIL: [REDACTED]

PROJECT WATER: [REDACTED]

PROJECT AIR: [REDACTED]

PROJECT GROUNDWATER: [REDACTED]

PROJECT SEISMIC: [REDACTED]

PROJECT HISTORIC: [REDACTED]

PROJECT CULTURAL: [REDACTED]

PROJECT ENVIRONMENTAL: [REDACTED]

PROJECT SOCIAL: [REDACTED]

PROJECT ECONOMIC: [REDACTED]

PROJECT POLITICAL: [REDACTED]

PROJECT LEGAL: [REDACTED]

PROJECT ETHICAL: [REDACTED]

PROJECT MORAL: [REDACTED]

PROJECT RELIGIOUS: [REDACTED]

PROJECT PHILOSOPHICAL: [REDACTED]

PROJECT SCIENTIFIC: [REDACTED]

PROJECT TECHNICAL: [REDACTED]

PROJECT ARTS: [REDACTED]

PROJECT RECREATION: [REDACTED]

PROJECT EDUCATION: [REDACTED]

PROJECT HEALTHCARE: [REDACTED]

PROJECT FINANCIAL: [REDACTED]

PROJECT ENERGY: [REDACTED]

PROJECT TRANSPORTATION: [REDACTED]

PROJECT INFRASTRUCTURE: [REDACTED]

PROJECT UTILITIES: [REDACTED]

PROJECT TELECOMMUNICATIONS: [REDACTED]

PROJECT MEDIA: [REDACTED]

PROJECT PUBLISHING: [REDACTED]

PROJECT INFORMATION TECHNOLOGY: [REDACTED]

PROJECT SPACE: [REDACTED]

PROJECT TIME: [REDACTED]

PROJECT PEOPLE: [REDACTED]

PROJECT CULTURE: [REDACTED]

PROJECT COMMUNITY: [REDACTED]

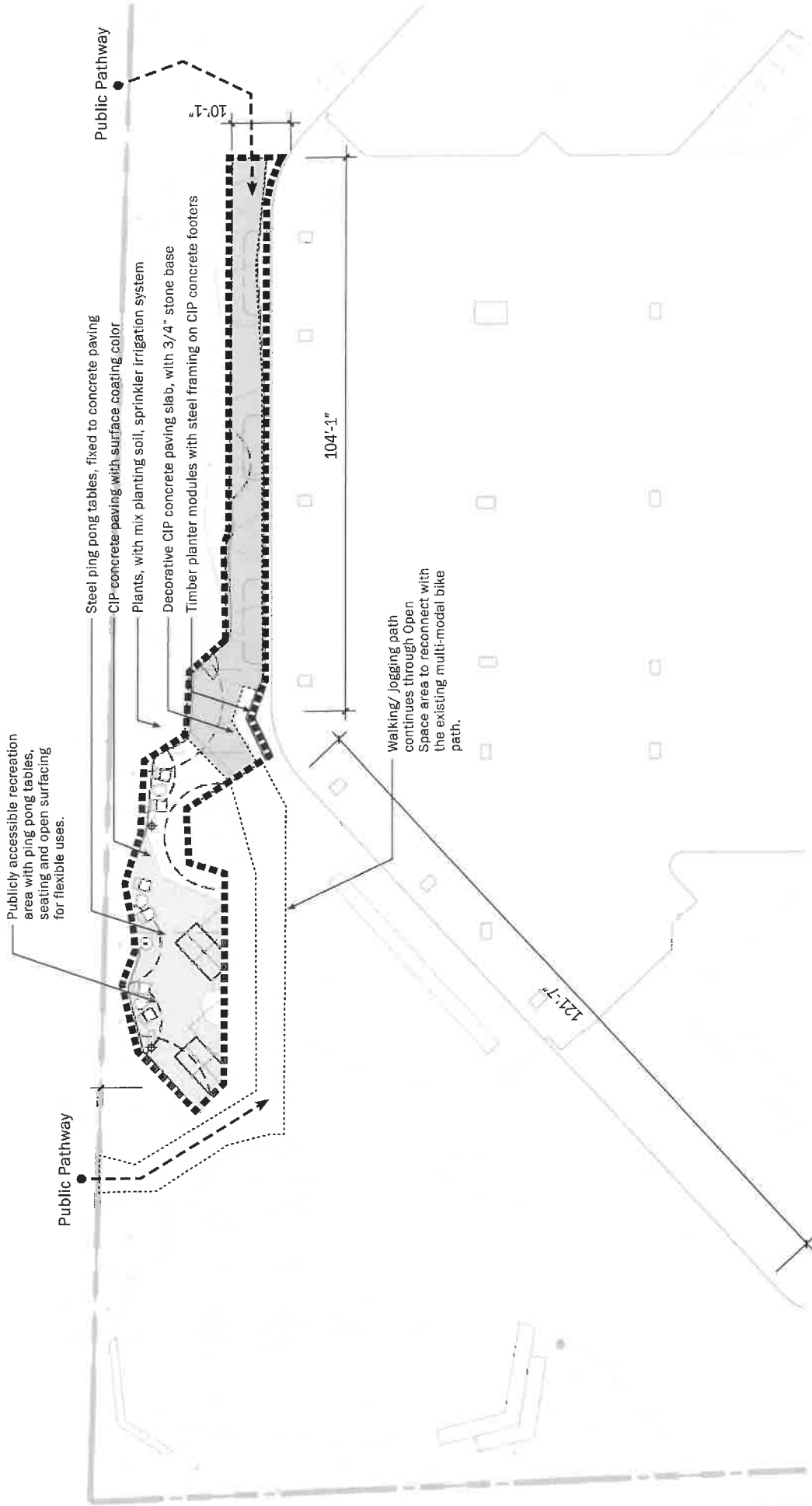
PROJECT SOCIETY: [REDACTED]

PROJECT HUMANITY: [REDACTED]

PROJECT UNIVERSE: [REDACTED]







Publicly accessible recreation area with ping pong tables, seating and open surfacing for flexible uses.

Steel ping pong tables, fixed to concrete paving  
CIP concrete paving with surface coating color

Plants, with mix planting soil, sprinkler irrigation system  
Decorative CIP concrete paving slab, with 3/4" stone base  
Timber planter modules with steel framing on CIP concrete footers

Walking/jogging path continues through Open Space area to reconnect with the existing multi-modal bike path.

Public Pathway

Public Pathway

### AREA 1(West) : Ground Floor Public Plaza (Publicly Accessible Space)

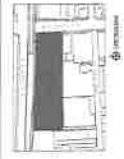


PROJECT: 20180000  
SHEET NO.: 09  
DATE: 11/14/2018



**SHEET 09**

DATE: 11/14/2018	PROJECT: 20180000
SHEET NO.: 09	DATE: 11/14/2018



DESIGNATED WALKING / JOGGING PATH CONNECTION

WALKING/JOGGING PATH CONNECTION TO EXISTING BIKE PATH

WALKING/JOGGING PATH CONNECTION TO EXISTING BIKE PATH

WALKING/JOGGING PATH CONNECTION TO EXISTING BIKE PATH

WALKING/JOGGING PATH CONNECTION TO EXISTING BIKE PATH

WALKING/JOGGING PATH CONNECTION TO EXISTING BIKE PATH

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WALKING/JOGGING PATH CONNECTION TO EXISTING BIKE PATH

WALKING/JOGGING PATH CONNECTION TO EXISTING BIKE PATH

WALKING/JOGGING PATH CONNECTION TO EXISTING BIKE PATH

# Allen Matkins

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www.allenmatkins.com

Margaret R. Akerblom  
E-mail: [makerblom@allenmatkins.com](mailto:makerblom@allenmatkins.com)  
Direct Dial: 213.955.5623 File Number: 375058.00005/4867-8270-5149.2

## Via Electronic Mail

November 20, 2024

William Lamborn  
Los Angeles Mayor's Office  
Director of Planning Policy and Development  
[William.lamborn@lacity.org](mailto:William.lamborn@lacity.org)

Andrew Westall  
Office of Councilwoman Heather Hutt, 10<sup>th</sup> District  
Chief Deputy  
[Andrew.westall@lacity.org](mailto:Andrew.westall@lacity.org)

**Re: Habitat Project at 3401 S. La Cienega Blvd.; Recreation and Parks  
Fee**

William and Andrew:

We represent La Cienega Owner LLC (“**Applicant**”) the applicant for the Habitat project (“**Project**”) located at 3401 S. Cienega Blvd.

We are writing on behalf of Applicant seeking your assistance regarding a disconcerting experience Applicant had with staff from the Department of Recreation and Parks (“**RAP**”) earlier this fall. Applicant has worked closely with RAP staff for the past three years on plans for the Project and Applicant’s corresponding application to obtain fee credit (“**Fee Credit**”) against the Project’s RAP impact fee (“**RAP Fee**”). In addition to the Project’s required open space, Applicant has set aside an additional **33,859 sf** of excess open space in the Project and designed a beautiful public park and plaza in furtherance the City’s goals to provide more urban open spaces, pedestrian districts and public plazas. Applicant has followed every guideline and requirement of the City’s fee credit ordinance and has addressed every concern raised by RAP staff through multiple resubmissions at Applicant’s significant expense. Despite these efforts, RAP staff, citing extra-textual criteria inconsistent with RAP’s past protocol and in violation of the fee credit ordinance, informed Applicant via an email dated October 31, 2024 that it would not support Applicant’s fee credit application and would not recommend that the Project be considered eligible for any amount of fee credit. We believe this abrupt change in course to be an arbitrary and capricious exercise of RAP staff’s discretion that, for the reasons stated below, threatens the City’s open space, housing and recreational goals, aspirations and targets. Attached for your reference are renderings from Applicant’s Fee Credit application.

### *Project Overview*

Habitat is a new mixed-use residential and commercial development located at the La Cienega/Jefferson Metro Expo Line station and in the heart of the West Adams neighborhood.

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Consisting of 260 residential units, approximately 228,000 sf of office, and 3,000 sf of ground floor retail, Habitat will transform this 3.5 acre corner property from a former fenced off self-storage facility to a vibrant pedestrian and transit-oriented urban village. Among the 260 residential units, 22 units will be set aside for very low-income households and 7 units will be set aside for workforce housing. The commercial and residential buildings will open up onto a spacious plaza fronting the existing bicycle path along Jefferson Blvd. The plaza will directly connect to the Metro station, acting as a continuation and enhancement of the pedestrian area where Metro riders disembark from the aboveground train platform. The Project is required to, and has, set aside 28,575 sf of private and common open space for the residential units. The Project is also voluntarily setting aside 33,859 sf of privately and publicly accessible open space to further benefit the Project's residents, the surrounding community and transit riders. The Project's entitlements were approved by the Planning Commission on June 14, 2022, and Project construction commenced on June 5, 2023.

### *Administrative History*

Applicant has made extraordinary efforts to consult with RAP staff through every stage of the Project. As noted above, the Project included in its design 33,859 sf of additional open space, and Applicant has always been forthcoming about its intention to pursue a Fee Credit against the Project's anticipated RAP fee of approximately \$4 million. RAP staff has never done or said anything to dissuade Applicant from that pursuit. In fact, in Applicant's conversations with RAP staff dating back to October 2021, RAP staff has consistently provided guidance geared towards assisting Applicant with developing a successful Fee Credit application. At one point, while Applicant sought entitlements for the Project in 2021, RAP staff advised Applicant that it should be careful to distinguish on its plans the open space square footage required by the LAMC (not eligible for the Fee Credit) versus the additional, voluntary open space (eligible for the Fee Credit). Applicant amended its plans accordingly in anticipation of applying for the Fee Credit after entitlements were approved.

Applicant began the formal process of applying for the Fee Credit around April 2023 and has done its best to navigate the long, grueling, and increasingly opaque process set forth by RAP staff as a precondition of obtaining a Fee Credit since that time. We have included an overview of Applicant's efforts below:

- April – August 2023: Applicant's Project team emails with RAP staff regarding clarifications of Fee Credit application instructions and exhibits.
- August 1, 2023: RAP staff emails Applicant Project team with Recreation Credit Exhibit Instructions PF-3002-1 [revised 11.28.2017], which RAP states lists the amenities eligible for the Fee Credit. The instructions outline a wide array eligible amenities and facilities, reflective of the fact that there are many types of facilities that can satisfy the recreational needs of urban residents. The outlined amenities and facilities included,



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without limitation, community rooms (including game rooms and kitchens), designated walking/jogging paths, gyms and yoga rooms, a community room with kitchen, and landscaped open space (including seating and shade). These are the instructions in effect when the Project's vesting tentative tract map vested on January 7, 2022.

- August 10, 2023: Project team submits Fee Credit application to RAP pursuant to the instructions provided by RAP staff on August 1, 2023. This submittal ("**Fee Credit Proposal**") includes a gym, yoga room, landscaped open space, a designated jogging/path, outdoor ping pong tables, and shaded seating areas. The Fee Credit Proposal is consistent with the location and use of the Project – it is a highly urbanized space situated between the two Project towers (6 stories and 12 stories) and the raised Metro Expo Line tracks. The amenities are highly compatible with the urban nature of the location – including space for transit riders, pedestrians, and bicyclists from the Jefferson bike path to rest and socialize, active urban amenities such as a gym, yoga room, and outdoor ping pong tables, and shaded, comfortable seating areas surrounded by lush landscaping.
- August 21, 2023: Project team met with RAP staff regarding RAP staff's comments to submitted application. RAP staff comments included minor changes to the Fee Credit Proposal such as changing the exhibits from color to black and white, expanding the credit areas to multiple sheets so they were easier to see, providing separate exhibits for the public and non-public credit areas, and clarifying that no credits are given for furniture, fixtures, and equipment (which Applicant does not dispute). When the Applicant's Project team asked at the meeting if the proposed credit areas would qualify for the Fee Credit, RAP staff responded that they thought so at this point.
- September 7, 2023: RAP staff presents a new proposed Fee Credit Policy ("**2023 Credit Policy**") to the RAP Facility Repair and Maintenance Task Force.
- October 19, 2023: The RAP Board reviews and adopts the 2023 Credit Policy. The 2023 Credit Policy provides more detailed requirements for active and passive amenities but still lists a very wide array of eligible facilities, including indoor gyms/fitness rooms, designated walking/jogging paths, and landscaped open space, picnic tables and seating.
- October 26, 2023: Applicant Project Team submitted revised Fee Credit Proposal to which incorporated all RAP staff's comments from the August 21, 2023 meeting.
- October 31, 2023: RAP responded by email to indicate that "These submissions are not compliant with RAP's Recreation Credit Policy [i.e., the 2023 Credit Policy adopted on October 19, 2023]. These submittals will need to be revised to be compliant with the new

William Lamborn  
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Page 4

policy. We also don't recommend the use of color in the exhibits so we need to find a better way to clearly identify the required and excess open space on the first page.”

- November 1, 2023: As a response to Applicant Project’s team’s email same day asking how the submission is not compliant with 2023 Credit Policy, RAP staff responded to say “The policy details the eligible amenities and provides size requirements for the spaces and amenities. Most of your areas do not have the required mix of active and passive amenities as detailed in the policy. Apologies for any confusion caused by the forms. We are in the process of updating the forms and instructions but you should closely review the policy and update the area exhibits accordingly. You can also go ahead and delete appliances, artwork, espresso machine, and furniture noted in the indoor spaces and any of the plantings that are required by the LAMC from the cost estimates. We previously advised in our meeting that we will not give credit for items that are not fixed or permanent and said items must have a recreational value or use.”
- November 17, 2023: Applicant submitted a revised Fee Credit Proposal to incorporate features of the 2023 Credit Policy in an effort to work cordially and in cooperation with RAP staff even though Applicant’s Project and vested against the 2023 Credit Policy. While changes were incorporated, the overall theme and design remained consistent with the original Fee Credit Proposal.
- December 1, 2023: RAP staff provided comments on the November 17, 2023 submission. Comments included that RAP would not support credits for certain amenities such as restrooms, corridors, and the community room, that Applicant should make the floor plans larger so they are easier to read, and that signage delineating certain amenity areas would need to be included.
- December 14, 2023: Applicant Project Team again submitted a revised Fee Credit Proposal incorporating and addressing RAP staff’s comments from December 1, 2023. While Applicant made revisions to certain features to address the December 1, 2023, the design remained consistent with the original Fee Credit Proposal.
- January 8, 2024: RAP staff provided comments on the December 14, 2023 submission. These comments included numerous requests to change or remove certain labels on the exhibits, questions regarding the cost estimates for the credit areas and amenities, and questions relating to whether certain equipment was permanent or fixed.
- April 22, 2024: Applicant submits revised Fee Credit Proposal to address the comments from RAP staff on January 8, 2024. This submission again maintains the overall

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Andrew Westall  
November 20, 2024  
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programming and design of the original Fee Credit Proposal but makes adjustments in response to RAP staff comments.

- May 13, 2024: RAP staff sends Project team a written comment letter on the April 22, 2024 submission. RAP staff still does not object to the overall programming and design of the Fee Credit Proposal, but instead again provides critiques of specific amenities (e.g., the community room needs a greater mix of active/passive amenities; gym equipment must be fixed or permanent; the walking/jogging path must be clearly delineated to be eligible; more permanent shade and usable grass/synthetic turf is recommended; etc.).
- August 1, 2024: RAP staff clarifies by email that community rooms are also still eligible even though not expressly set forth in the 2023 Credit Policy if they include an adequate mix of active and passive amenities that would reduce the impact to the park system.
- October 7, 2024: Applicant submits a revised Fee Credit Proposal. Applicant notes that it is vested against the 2023 Credit Policy, but nonetheless it incorporates in good faith most of the adjustments suggested by RAP staff in the May letter. These include making gym and yoga room equipment fixed, detailing the community room active and passive amenities, and removing the parts of the walking/jogging path which RAP previously stated they felt were ineligible.
- October 31, 2024: RAP staff writes to Applicant rejecting the Fee Credit Proposal in its entirety. RAP's letter states that staff believes "the private and public amenities listed in this recreation credit submission will ultimately not reduce the need for public recreation and park facilities to serve project residents. The amenities listed in your submission do not negate the residents' need for additional ballfields, basketball courts, playgrounds, recreation and/or senior centers, other park amenities, and RAP owned-facilities or program nearby." Consequently, RAP states that it will not recommend that this Fee Credit Proposal move forward or that it be given one single dollar of Fee Credit.

### *Fee Credit Ordinance Overview*

City Council approved the Park Dedication and Fee Update Ordinance, Ord. 184505 (LAMC, § 12.33) (the "**Ordinance**") in 2016, requiring residential project applicants to dedicate park land or pay a fee in lieu (i.e., the RAP Fee). The Ordinance is intended to encourage developers to provide excess, additional open space that they develop and maintain at their own expense in exchange for a credit against the otherwise assessed RAP park fee, while helping the City to meet its own open space and recreation goals. The Ordinance provides that an applicant can secure a Fee Credit against the RAP Fee for a particular project by providing additional privately or publicly accessible, but privately

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owned and maintained, recreational amenities not otherwise required by the Los Angeles Municipal Code (“LAMC”). (LAMC, § 12.33 H.2.). The Ordinance states the RAP Fee “shall be partially credited” so long as additional open space is available for all residents of the project and the area/facilities in the additional open space satisfy the recreation and park needs of the residential development thereby reducing the need for public recreation and park facilities to serve the project residents. (*Ibid.*) The Ordinance does not otherwise qualify the availability of the Fee Credit and, absent any such other restrictions of qualifications, establishes the expectation that applications for Fee Credits would be fairly considered and typically granted.

### *Analysis*

Applicant’s Fee Credit Proposal not only complies with the Ordinance, but with every piece of guidance provided by RAP staff prior to their rejection email dated October 31, 2024, including the 2023 Credit Policy and the predecessor policy. Both the current and prior Fee Credit policies cite a wide array of eligible facilities that would allow developers to qualify for the Fee Credit, reflective of the fact that there are many types of facilities that can satisfy the recreational needs of urban residents. As set forth in both Fee Credit policies and communications with staff, eligible facilities include, without limitation, community rooms (including game rooms and kitchens), designated walking/jogging paths, gyms and yoga rooms, and landscaped open space (including seating and shade). In fact, a central goal of the West Adams – Baldwin Hills – Leimert Park Community Plan is to: *“Create more small parks, pedestrian districts, and public plazas. While regional parks and green networks are an important component of the City’s open space strategy, more small-scale, urban open spaces must be developed as well, as they are crucial to the quality of life of the City’s residents. There are many opportunities at the community level to create public “pocket” parks as part of new developments, to enhance pedestrian orientation in key commercial areas, and to build well-designed public plazas. (1-11).”*

Applicant’s design and eligible facilities further these goals in a manner that is appropriate for the location and character of the Project site. As previously mentioned, the Project’s open space is in a thoroughly urban setting, sandwiched between the Project’s six-story office building and 12-story residential building and elevated Metro tracks. Metro riders disembarking at the Expo station arrive at the Project’s doorstep and the existing Jefferson bike path runs along the Project’s entire frontage. The core function of the designed open space is to create a node that activates this streetscape by providing a welcoming, beautified respite for pedestrians, residents, office workers, bicyclists, and Metro and bus riders. The Fee Credit Proposal reflects these diverse needs with shaded seating areas, lush landscaping, and a walking path. The Fee Credit Proposal also enhances these functions by including appropriate active amenities as required by the Fee Credit policies but tailored for this type of urban location - a gym, yoga room, community room, fixed ping pong tables, and jogging path.

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It is against this backdrop that the substance of RAP's staff's rejection email dated October 31, 2024 is particularly concerning. In that email, RAP staff indicate that Applicant's Fee Proposal fails to mitigate the need for "additional ballfields, basketball courts, playgrounds, recreation and/or senior centers, other park amenities, and RAP owned-facilities or program nearby," with the implication being that a Fee Credit application could only be successful if it included "ballfields, basketball courts, playgrounds, recreation or senior centers." This assertion is not only at odds with the text and legislative intent of the City's Ordinance, it is inconsistent with each and every written policy and clarification the City has promulgated pertaining to the Fee Credit, including the 2023 Credit Policy and its predecessor, which provide for a broad array of eligible facilities and amenities which meet the diverse recreational needs of the City's residents. Indeed, the assertion by RAP staff that these are the only types of amenities that qualify for Fee Credit is also incongruous with the Project location – no pedestrians, bicyclists, transit riders, or office works will stop at this space if it is entirely fenced off or occupied by a building for one single activity or age group.

Perhaps equally troubling is the fact that this is first time over the past four years that RAP staff has ever mentioned that Applicant's Fee Credit Proposal would only be successful if it included one of these specific facilities. Even though each of Applicant's resubmissions was an iteration of the original Fee Credit Proposal from August 2023 and has never included those amenities, RAP staff never once stated throughout this years-long process that the design should or must consist of "ballfields, basketball courts, playgrounds, recreation or senior centers" or would otherwise be dead on arrival. Applicant participated in a years-long process in good faith and under the belief that, in working with RAP staff, its Fee Credit application would be fairly considered. RAP staff's rejection demonstrates a stunning disregard for the time and cost it takes applicants to go through the credit process (not to mention the cost Applicant incurred to incorporate 33,859 sf of additional open space into project design). If RAP does not intend to abide by the City's Ordinance pertaining to Fee Credits, then the City should amend it to limit the credit to "ballfields, basketball courts, playgrounds, recreation or senior centers" or rescind the Fee Credit option altogether. Since the City has done neither of those things, it must abide by the Ordinance and City policies as they exist today.

Moreover, we note that RAP staff's conduct also utterly defeats the purpose of the fee credit portion of the Ordinance altogether. The fee credit is intended to incentivize developers to provide in their projects excess, additional open space that they develop and maintain at their own expense – the tradeoff is that the Ordinance promises developers, in exchange for these additional open spaces, a credit against the otherwise very sizeable RAP park fee. Without the availability of the fee credit, developers cannot afford to provide these excess open spaces in their projects and certainly will not take on the liability and cost of opening them to the public, which will be a great loss for the City's residents and impede the City's ability to meet its open space and recreation goals. The City's legislators should therefore be greatly concerned about the manner in which RAP is engaging with project applicants and failing to correctly implement the City's Ordinance and related policies.

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We sincerely appreciate you taking the time to review this letter. We believe that City officials and all Angelenos have a vested interest in the manner in which RAP staff is engaging with project applicants, evaluating Fee Credit applications and administering discretion afforded to the Department under the Ordinance and we respectfully request a meeting to discuss and your help in getting this process back on a mutually beneficial path forward.

Regards,

A handwritten signature in blue ink, appearing to read 'Margaret R. Akerblom', with a stylized, cursive script.

Margaret R. Akerblom

MRA  
Enclosure

# **EXHIBITS**



**Public Recreation Credit Area (Aerial View)**

Highly visible and accessible to Metro Rail E Line riders, the Public Recreation Credit Area will serve to enhance the urban experience providing space to exercise while walking or jogging, resting at the many seating areas, and cooling off under shade provided by trees and the adjacent buildings.





**Public Recreation Credit Area (Aerial View)**

The generous open space comprising the Public Recreation Credit Area extends across the site including additional landscaped open space with seating, tables and other landscape features such as boulders and timber walls providing the community with a first-class environment to pause, relax and enjoy the surrounding nature.



**Public Recreation Credit Area (Pedestrian View)**

The heart of the Public Recreation Credit Area includes a walking and jogging path, landscaped open space with chaise seating lounge areas, terraced seating, open grass areas with ping pong tables for the public to enjoy.



### **Public Recreation Credit Area (Cyclist View)**

Located adjacent to the LA Metro shared-use bike path, the Public Recreation Area provides a safe and natural walking and jogging path extending across the length of the site from La Cienega at the eastern edge to the western edge. Moments of pause for pedestrians, places for cyclists to rest and refill their tires, and an abundance of native landscaping provides an enhanced experience for Los Angeles residents from across the region.