

APPROVED

June 06 2021

BOARD OF RECREATION AND PARK COMMISSIONERS

BOARD REPORT

NO. 24-123

DATE June 06, 2024

C.D. 14

BOARD OF RECREATION AND PARK COMMISSIONERS

SUBJECT: VESTING TENTATIVE TRACT MAP VTT-84471 – RECOMMENDATION TO THE ADVISORY AGENCY FOR IN-LIEU PARK FEE PAYMENT

B. Aguirre	_____	M. Rudnick	_____
B. Jones	_____	for *C. Santo Domingo	<u>DF</u>
C. Stoneham	_____	N. Williams	_____

General Manager

Approved X

Disapproved _____

Withdrawn _____

RECOMMENDATIONS

1. Recommend that the Advisory Agency require Vesting Tentative Tract (VTT) 84471(Project) to pay in-lieu fees to the City in order to fulfill the Project's requirements under provisions of Los Angeles Municipal Code (LAMC) Section 12.33; and,
2. Authorize the Department of Recreation and Parks' (RAP) General Manager or designee to provide a Report to the Advisory Agency informing them of the Board of Recreation and Parks Commissioners' (Board) recommendation.

SUMMARY

Ordinance 184,505 (Parks Dedication and Fee Update Ordinance) became effective on January 11, 2017. Ordinance 184,505 requires most residential projects that create new dwelling units or joint living and work quarters to dedicate land or to pay a fee in-lieu (Park Fee) for the purpose of developing park and recreational facilities. Residential projects that propose one or more additional dwelling units are subject to these requirements unless they meet one of the exceptions listed in LAMC Section 12.33 C.3 (e.g. certain affordable housing units and secondary dwelling units may be exempt from any requirement to pay a fee).

LAMC Chapter 1ASEC. 13B.7.1.C.2.a (Advisory Agency) states in part that, "[t]he Advisory Agency is charged with the duty of making investigations and reports on the design and improvement of proposed subdivisions, of requiring the dedication of land, the payment of fees in lieu thereof, or a combination of both, for the acquisition and development of park and recreation sites and facilities...". The Director of the City Planning Department (City Planning) is designated as the Advisory Agency for the City of Los Angeles and is authorized to act in such capacity through one or more deputies appointed by him or her for that purpose.

BOARD REPORT

PG. 2 NO. 24-123

LAMC Chapter 1A SEC. 13B.7.1.D.3.b (Subdivision Committee) states that RAP is to submit a Report to the Advisory Agency for each application for subdivision map approval and that report "shall contain recommendations, approved by the Board of Recreation and Park Commissioners, specifying the land to be dedicated, the payment of fees in lieu thereof, or a combination of both for the acquisition and development of park or recreational sites and facilities to serve the future inhabitants of such subdivision...".

PROJECT SUMMARY

The Project is located at 800-908 North Main Street and 1081-1087 North Vignes Street in the Chinatown community of the City. The Project, as currently proposed, includes the construction of a phased, two-building mixed-use development that includes a 4-story commercial building and a new seven-story building consisting of 124 apartment units, of which 123 will be affordable, ground floor community services, the construction of two new community services buildings, two floors of subterranean parking. It is anticipated that the Project will occur in two phases. The "East Phase" will include the residential development and the "West Phase" will include the commercial building.

The residential portion of Project also includes approximately 16,200 square feet of space in the form private balconies and common areas that include two roof decks, a third floor, a privately accessible fitness zone, and ground level courtyard.

The Project, as submitted to City Planning, is not proposing to make a land dedication to the City of Los Angeles either on-site or off-site of the project location.

Conceptual renderings of the Project are attached (Attachment 1).

EARLY CONSULTATION MEETING

Pursuant to LAMC Section 12.33 D.1, applicants of residential Subdivision projects with more than fifty residential dwelling units are required to meet with RAP and City Planning prior to submitting a tract map application to City Planning. Per LAMC Section 12.33 D.1, "[t]he purpose of this early consultation is to discuss whether the City requires land dedication for the project and/or to discuss credits available to the applicant, if any."

RAP and City Planning staff held an Early Consultation meeting with Project representatives on **March 6, 2024**. The meeting included a discussion of the requirements of Los Angeles Municipal Code Section 12.33, the maximum land dedication that the Project could be required to provide, options and opportunities for on-site or off-site park land dedications, the calculation of Park Fees, and the various recreational credits available to the Project.

BOARD REPORT

PG. 3 NO. 24-123

ADVISORY AGENCY

The Project filed a tract map application with City Planning on May 6, 2024. On May 20, 2024, the Advisory Agency sent RAP a notification requesting RAP provide its report and recommendations on the Project by June 28, 2024. The Advisory Agency Filing Notification is attached (Attachment 2).

If no written Report is provided to the Advisory Agency, the Advisory Agency will assume that RAP has no report to make.

REQUIRED LAND DEDICATION / IN-LIEU FEE PAYMENT

Pursuant to LAMC Section 12.33 C, "All new residential dwelling units and joint living and work quarters shall be required to dedicate land, pay a fee, or provide a combination of land dedication and fee payment for the purpose of acquiring, expanding and improving park and recreational facilities for new residents."

Land Dedication

LAMC Section 12.33 D states that residential Subdivision projects with more than fifty residential dwelling units can be required by the City to dedicate land to the City for park and recreation purposes. The maximum amount of land that the Advisory Agency could require a project to dedicate to the City is calculated based on the formula detailed in LAMC Section 12.33 D.2:

- **LD = (DU x P) x F**
 - **LD** = Land to be dedicated in acres.
 - **DU** = Total number of new market-rate dwelling units.
 - **P** = Average number of people per occupied dwelling unit as determined by the most recent version of the U.S. Census for the City of Los Angeles.
 - **P = 2.7**
 - **F** = Park Service factor, as indicated by the Department of Recreation and Parks rate and fee schedule.
 - **F = 0.00251 (2.51 acres of park land per 1,000 residents)**

The maximum land dedication for the Project's proposed 124 units would be:

$$0.84 \text{ Acres} = (124 \times 2.7) \times 0.00251$$

BOARD REPORT

PG. 4 NO. 24-123

The amount of land that is required to be dedicated is subject to change depending on the Park Service factor in effect at the time the Project is required to dedicate the land; the number of exempt dwelling units (e.g. affordable housing units, existing dwelling units to be replaced on site, etc.) included as part of the Project; any Dwelling Unit Construction Tax previously paid by the Project; and, any credits granted by RAP to the Project for improvements to dedicated park land or for eligible privately owned recreational facilities and amenities.

As currently proposed, the Project has 123 affordable units that would likely qualify for an exemption per LAMC Section 12.33 C.3. If those dwelling units are ultimately determined to be exempt, the maximum required land dedication for the Project would be:

$$\mathbf{0.01\ Acres} = (1 \times 2.7) \times 0.00251$$

Per LAMC Section 12.33 D.3, a project that is required to make a land dedication to the City may make said land dedication, or any portion thereof, either on-site or off-site of the project location. Any off-site land dedication must be located within a certain radius from the project site, as specified below:

- a) Neighborhood Park: within a 2-mile radius
- b) Community Park: within a 5-mile radius
- c) Regional Park: within a 10-mile radius

While the Advisory Agency has the authority to require the Project to dedicate land to the City for park purposes, the Board would need to approve any proposed park land dedication before that land can be acquired and accepted by the City. Therefore, if the Advisory Agency requires the Project to dedicate land to the City, RAP staff would need to prepare a subsequent report to the Board regarding the proposed land dedication. That report would detail the amount and location of the land being dedicated, and the improvements, if any, proposed to be developed on the dedicated property. Additionally, if it is determined that the Project will provide a combination of land dedication and fee payment, the report would also identify the amount of in-lieu fees that would be owed to the City after RAP credits the Project for the amount of land being dedicated.

Per Section 66477(a)(7) of the California Government Code, "Only the payment of fees may be required in subdivisions containing 50 parcels or less, except that when a condominium project, stock cooperative or community apartment project, as those terms are defined in Sections 4105, 4125, and 4190 of the Civil Code, exceeds 50 dwelling units, dedication of land may be required notwithstanding that the number of parcels may be less than 50." The Project, as described in this Report, includes a new seven-story building consisting of 124 apartment units.

BOARD REPORT

PG. 5 NO. 24-123

In-Lieu Fee Payment

Pursuant to LAMC Section 12.33, the Park Fee amount is determined by the type of residential development project (Subdivision or Non-Subdivision) being developed. RAP shall collect these fees pursuant to LAMC Section 19.17 and the Park Fees Section of RAP's Rate and Fee Schedule. As of July 1, 2023, Residential Subdivision projects that are subject to the Subdivision fee shall pay:

\$16,758.00 x number of new non-exempt dwelling units

The **maximum** Park Fees payment for the Project's proposed 124 units would be:

\$2,077,992.00 = \$16,758.00 x 124 dwelling units

As currently proposed, the Project has 123 dwelling units that would likely qualify for an exemption per LAMC Section 12.33 C.3. If those dwelling units are ultimately determined to be exempt, the maximum required Park Fee payment for the Project would be:

\$16,758.00 = \$16,758.00 x 1 dwelling unit

The amount of Park Fees that are required to be paid is subject to change depending on the Park Fee schedule in effect in the year of payment; the number of exempt dwelling units (e.g. affordable housing units, existing dwelling units to be replaced on site, etc.) included as part of the Project; any Dwelling Unit Construction Tax previously paid by the Project; and, any credits granted by RAP to the Project for improvements to dedicated park land or for eligible privately owned recreational facilities and amenities.

Per LAMC Section 12.33 E.3, any Park Fees collected by the City shall be expended within a certain radius from the project site, as specified below:

- a) Neighborhood Park: within a 2-mile radius
- b) Community Park: within a 5-mile radius
- c) Regional Park: within a 10-mile radius

STAFF ANALYSIS AND RECOMMENDATION

In order for RAP staff to determine which mechanism, land dedication or payment of Park Fees, to recommend for the Board's review and approval, RAP staff analyzes each proposed development project including its location, new population, surrounding parks, any nearby active or proposed park acquisition or park development project, existing park service radius gaps, etc. RAP staff also analyzes any parks, open spaces, or recreational areas anticipated to be provided by each proposed development project in order to determine if those facilities would reduce the need for new public recreation and park facilities to serve the project residents.

BOARD REPORT

PG. 6 NO. 24-123

One of the most critical factors that RAP staff uses to analyze proposed developments is existing park service radius gaps. According to the Trust for Public Land 2024 Park Score Index, approximately 63% of residents in the City of Los Angeles live within a 10-minute walk from a public park or open space. The Mayor's Office of Sustainability pLAN sets a goal of increasing the percentage of Angelenos living within a one-half mile from a park to at least 65% by 2025; 75% by 2035; and 100% by 2050. RAP has employed a variety of strategies, such as the 50 Parks Initiative, that are intended to increase park access and meet these park access goals.

Site Analysis

The Project is located within the Central City North community of the City and within the Central City North Plan Area. Currently, the Project site is a surface parking lot.

An aerial view of the Project site is attached hereto (Attachment 3). A map showing the generalized zoning of the Project site and the Community Plan Area is also attached (Attachment 4).

The Project is located in a high-density area of the City. Below is an analysis of the density of the area within walking distance of the Project site and a comparison to both citywide density and local community density:

- Half-mile walking distance of the Project site (EPADSS): 11,553 persons (20,669 persons per square mile).
- City of Los Angeles Population Density (2018-2022 American Community Survey): 8,267 persons per square mile.
- Central City North Community Plan Area (2018-2022 American Community Survey): 8,220 persons per square mile.

Project Open Space and Recreational Areas

As previously discussed, the Project also includes approximately 16,200 square feet of open space in the form of private balconies and 2 roof decks and a third floor and ground level courtyards. Of the total open space, 1,200 square feet is for the private balconies and 15,000 is common open space. A proposed fitness room would be privately accessible for the residents of the building.

The amount of common open space being provided by the Project does not appear to significantly exceed the amount of open space the Project would otherwise be required to provide per LAMC (or other planning documents, specific plans, etc.).

As currently proposed, these recreational amenities would not likely reduce the Project's impact on existing public recreational and park facilities. These amenities would not likely significantly reduce the need for new or expanded public recreational and park facilities.

BOARD REPORT

PG. 7 NO. 24-123

Public Park Access

There are three (3) public parks within a half-mile walking distance of the Project site:

- Alpine Recreation Center is located at 817 North Yale Street in the Central City North Area of the City. This 1.9-acre park provides an auditorium, indoor basketball courts, a children's play area, fitness zone, volleyball courts, pergola, small grass area and a table tennis table.
- Ord and Yale Street Park is located at 524 Ord Street in the Central City North Area of the City. This 0.58-acre park provides a playground, fitness zone, plaza and performing arts space, fitness trail, upper viewing terrace, game tables, and a restroom.
- Yaanga Park (formerly Los Angeles Plaza Park) is located at 125 Paseo De La Plaza in the Central City Area of the City. This 0.8-acre park is the historic center of the Pueblo de Los Angeles and is a gathering location for cultural events, tourism, and shopping.

A map showing the project location and nearby public parks is attached (Attachment 5).

As previously noted in this Report, a land dedication for a new public park could be located either on-site or off-site of the Project location. If a new public park was provided at the Project location the park would serve the new residents of the Project and would serve approximately **7,426** new, previously unserved, residents within a half-mile walking distance (Attachment 6). If a new public park was provided off-site of the Project location the park would serve the new residents of the Project as well as an unknown number of new, previously unserved, residents within a half-mile walking distance. If the proposed Project does elect to make some or all of its required land dedication off-site, staff would work with the Project to identify a site that would serve project residents, help close an existing park service area gap, and maximize, to the extent feasible, the number of new residents who would be within a half-mile walking distance of a public park.

Staff Recommendation

RAP staff recommends that the appropriate mitigation measure for this proposed Project is the payment of in-lieu fees to the City as the Project is proposing the construction of apartment units, of which nearly all will qualify for an affordable housing exemption.

FISCAL IMPACT

The potential Fiscal Impact to the RAP's General Fund is currently unknown.

This Report was prepared by Jeremy Silva, Planning Assistant, Planning, Maintenance and Construction Branch.

BOARD REPORT

PG. 8 NO. 24-123

LIST OF ATTACHMENTS

- 1) Attachment 1 - Conceptual Project Renderings
- 2) Attachment 2 - Advisory Agency Filing Notice
- 3) Attachment 3 - Aerial View of Project Site
- 4) Attachment 4 - Generalized Zoning
- 5) Attachment 5 - Project Location and Surrounding Parks
- 6) Attachment 6 - EPADSS Report



Related Code Sections

Los Angeles Municipal Code (LAMC) Section 13.17 G (Administrative Review) authorizes ministerial review for projects in compliance with Supplemental Use Districts; Ordinance No. 183,145 established the River Improvement Overlay (RIO) District. Procedures for Administrative Review are governed by LAMC Section 13B.3.1, of Chapter 1A.

Section F. Development Regulations

1. **Landscaping.** Indicate the drawing sheet that illustrates the percentage of new landscaped area and the associated plant species. The drawing should identify whether a plant is either a native species, Watershed Wise and/or from the Los Angeles County River Master Plan Landscaping Guidelines and Plant Palettes. An exception is made for herbs, fruits, or vegetable plants.

2. **Screening/Fencing.**
 a. **Loading/Off-Street Parking.** For a project with any loading areas and/or off-street parking facilities that contain three or more spaces indicate the drawing sheet that illustrates the location of the parking/loading areas and the location, height and design of the screen/fence that shields views of the parking/loading from the abutting rights-of-way and the LA River.
 b. **Equipment.** For a project that includes any exterior equipment (electrical transformers, mechanical units, water meters) indicate the drawing sheet(s) that illustrate the location of each equipment and any associated screening so that the equipment is screened from public view.

Drawing Sheet	Administrative Use Only
L0.00 L0.01 L0.02	<input type="checkbox"/>
A01.01 A01.02 A03.01 A03.02	<input type="checkbox"/>
L1.10 L1.11	<input type="checkbox"/>

3. **Exterior Trash Enclosures.** For a project that includes a trash disposal unit indicate the drawing sheet that illustrates the location of the unit(s) and the design of any enclosure(s).

4. **Fencing.** For any project, with the exception of single-family homes (but including homes built as part of the small lot ordinance), that faces a street that crosses the river or terminates at the river or a river frontage road and/or faces a river frontage road and includes a fence within the front or side yards that is visible from the street, indicate the drawing sheet that illustrates the location and design of the fence.

5. **Exterior Site Lighting.** Indicate the drawing sheet that illustrates the location and design characteristics of any site and building mounted lighting.

6. **Projects within Inner Core:**

a. **Landscape Buffer.** Indicate the drawing sheet that illustrates the location of the 10' buffer.

b. **Fence.** Indicate the drawing sheet that illustrates the location and design, and height of any fence at or within the 10' buffer area.

c. **Fence Height.** See (b) above.

d. **Gates.** Indicate the drawing sheet that illustrates the location, height design and operation of the gate(s). Small-lot projects shall comply with the requirements of Section F.4.1 and therefore the gate may be a single gate from the entire project to the river and not from individual homes.

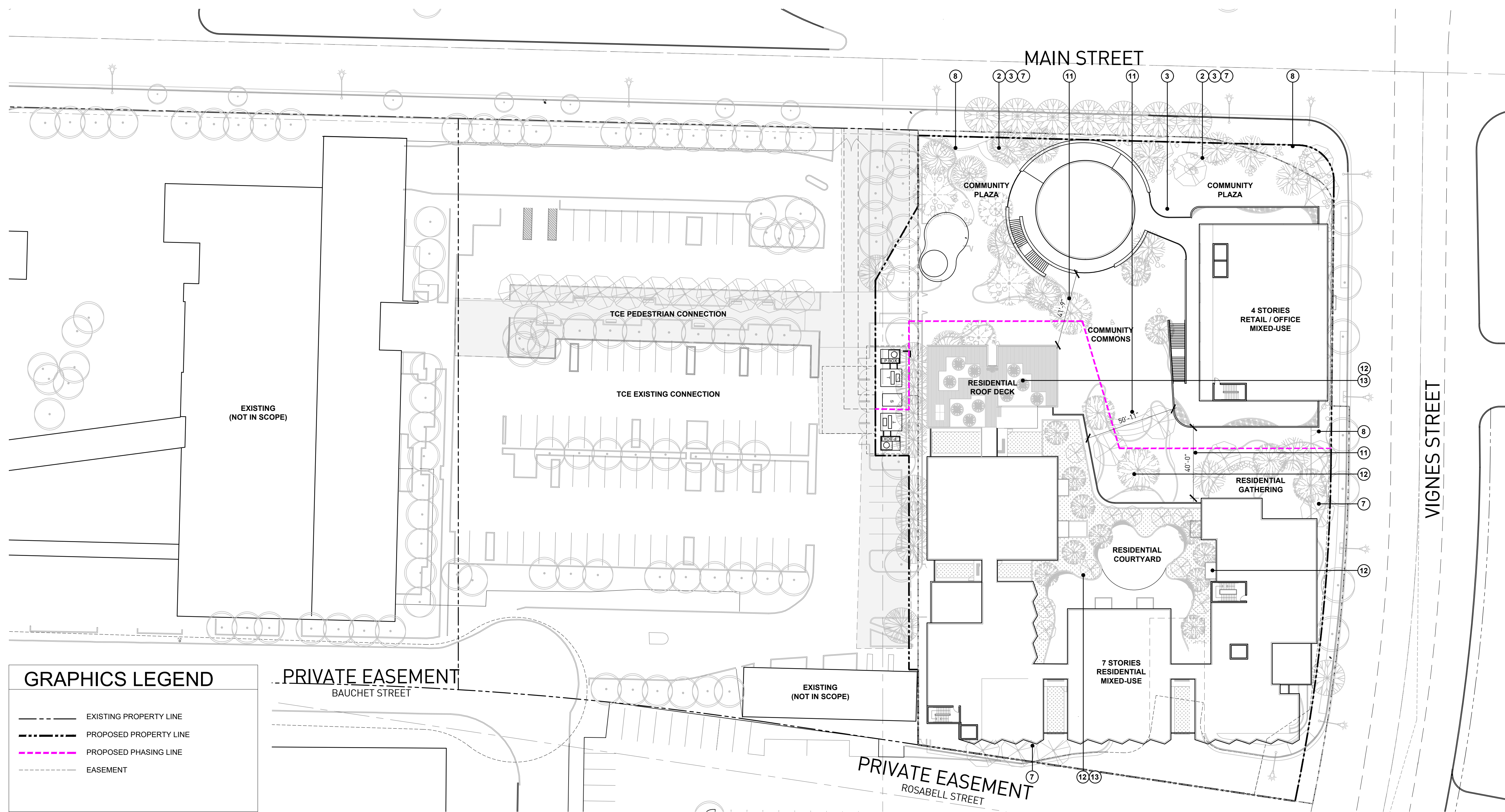
e. **Noise.** Projects subject to a conditional use permit for the sale or dispensing of alcoholic beverages, including beer and wine, shall indicate the drawing sheet that illustrates the location and design of all noise-attenuating features such that operational sounds shall not exceed 5 decibels above the existing or presumed ambient levels of the property line(s) of properties on the opposite bank.

Drawing Sheet	Administrative Use Only
N/A	<input type="checkbox"/>
L1.10 L1.11	<input type="checkbox"/>
A00.52 A00.53	<input type="checkbox"/>
N/A	<input type="checkbox"/>
N/A	<input type="checkbox"/>
N/A	<input type="checkbox"/>
N/A	<input type="checkbox"/>
N/A	<input type="checkbox"/>

7. **River Access.** See (d) above.

8. **Riverfront Door.** Indicate the drawing sheet that illustrates the location of a doorway visible to, (not necessarily parallel to) and accessible from the river corridor or frontage road.

Drawing Sheet	Administrative Use Only
N/A	<input type="checkbox"/>
N/A	<input type="checkbox"/>



ALAMEDA DISTRICT SPECIFIC PLAN DESIGN CONFORMANCE

URBAN DESIGN

- 1 8.A.2.A BUILDING HEIGHT AND MASSING
- 2 8.B APPENDIX A.A.1 MIXED USE PROJECTS SHALL PROVIDE OPEN SPACE AREAS WITH ONE OR MORE OF THE FOLLOWING, OR SIMILAR FEATURES: PLAZA, COURTYARD, OR PLANTED AREA WITH A MINIMUM OF 25% LANDSCAPE AREAS. PROPOSED PROJECT INCLUDES PLAZAS AND COURTYARDS WITH 25% LANDSCAPE COVERAGE.
- 3 8.B APPENDIX A.A.2 MIXED USE PROJECTS SHALL PROVIDE PEDESTRIAN ACCESS THROUGH THE USE OF ARCADES, CONNECTING PLAZAS, OR OPEN SPACES. PLAZAS ARE PROVIDED ALONG MAIN FOR ACCESS.
- 4 8.B APPENDIX A.A.3 ARCHITECTURAL STYLE AND CHARACTER SHALL BE COMPLEMENTARY WITH THE HISTORIC UNION STATION AND TERMINAL ANNEX BUILDINGS WITH NEUTRAL COLORS, STONE, MASONRY, CONCRETE, OR PLASTER MATERIALS. THE PROPOSED PROJECT'S MATERIALITY COMPLEMENTS THE EXISTING CHARACTER, INCLUDING WARM NEUTRAL PLASTER SURFACES AND GREEN AND TERRA COTTA ACCENT COLORS. TEXTURED PANELS ON THE COMMUNITY CARE BUILDING REFERENCE THE ROOF TILES OF UNION STATION, WHILE ITS SOFT CURVILINEAR GEOMETRY CELEBRATES THE SITE'S RIPARIAN PAST.
- 5 8.B APPENDIX A.A.4 UTILIZE SCALE DEVICES WHICH REDUCE THE APPEARANCE OF BUILDING MASS OR BULK AT THE FIRST FLOOR LEVEL, IN ORDER TO CREATE A PEDESTRIAN ORIENTED BUILDING SCALE. THE PROPOSED PROJECT RESTS ON A TEXTURED PLASTER BASE IN RICH TERRA COTTA TONE THAT ECHOS LANDSCAPE ELEMENTS. RECESSED ARCHED OPENINGS WITH CLEAR GLAZING SERVE TO ANIMATE THE STREET LEVEL AND FRAME ENTRANCES TO THE PROJECT.

- 6 8.B APPENDIX A.B.1 OPEN SPACE AREAS BETWEEN RESIDENTIAL BUILDINGS AND RAIL FACILITIES SHALL INCORPORATE EXTENSIVE VISUAL SCREENING AND LANDSCAPING AS A BUFFER BETWEEN THE TWO LAND USES. NOT APPLICABLE TO THE PROPOSED PROJECT AS ITS NOT ADJACENT TO A RAIL FACILITY.
- 7 8.B APPENDIX A.B.2 ALL OPEN AREAS NOT USED FOR DRIVEWAYS, PARKING AREAS, OR RECREATIONAL FACILITIES SHALL BE ATTRACTIVELY LANDSCAPED AND MAINTAINED. LANDSCAPE IS PROVIDED THROUGHOUT THE PROPOSED PROJECT.
- 8 8.B APPENDIX A.B.3 RESIDENTIAL PROJECTS SHALL ENCOURAGE PEDESTRIAN ACCESS DESIGNED TO PROVIDE EASY ACCESS TO TRANSIT FACILITIES, BY LINKING WITH PRIMARY PEDESTRIAN CORRIDORS. PEDESTRIAN CONNECTIONS ARE PROVIDED ALONG MAIN AND VIGNES PROVIDING ACCESS TO PEDESTRIAN CORRIDORS LEADING TO TRANSIT CONNECTIONS.
- 9 8.B APPENDIX A.B.4 ARCHITECTURAL STYLE AND CHARACTER SHALL BE COMPLEMENTARY WITH THE HISTORIC UNION STATION AND TERMINAL ANNEX BUILDINGS WITH NEUTRAL COLORS, STONE, MASONRY, CONCRETE, OR PLASTER MATERIALS. WITH RECESSED OR PUNCHED WINDOWS, TERRACES, AND BALCONIES AS APPROPRIATE. THE RESIDENTIAL PORTION OF THE PROPOSED PROJECT IS BROKEN INTO SMALLER ELEMENTS TO ALLOW LIGHT AND AIR THROUGH AND MEDIATE THE SCALE OF THE PROJECT. THE SIMPLE PLASTER VOLUMES SERVE AS A FOIL TO THE LANDSCAPED OUTDOOR SPACES AND VIBRANT COMMUNITY CARE BUILDINGS, WHILE ALSO INCLUDING SUBTLE TEXTURING, PROJECTING WINDOW SHADOWS AND BALCONIES, AND NATURAL ACCENT TONES IN GOLD AND RUST.

HISTORIC PRESERVATION

- 10 8.C HISTORIC PRESERVATION NOT APPLICABLE TO THE PROPOSED PROJECT.
- 11 8.D.1.b.2 OPEN SPACE RESIDENTIAL BUILDINGS SHALL BE SEPARATED FROM NONRESIDENTIAL BUILDINGS BY A MINIMUM OF 40 FEET OF OPEN SPACE. PROPOSED PROJECT PROVIDES MINIMUM REQUIRED SEPARATIONS.
- 12 8.D.1.b.3 OPEN SPACE RESIDENTIAL OPEN SPACE SHALL BE PROVIDED ON SITE AS EITHER PRIVATE SPACE OR AS PUBLIC SPACE. PRIVATE RESIDENTIAL OPEN SPACE SHALL BE CONTIGUOUS TO THE DWELLING UNIT, WITH A MINIMUM OF 50 SQUARE FEET AND SHALL BE A MINIMUM EIGHT FOOT CLEAR UNDER ANY PROJECTIONS. PUBLIC RESIDENTIAL OPEN SPACE SHALL BE OPEN TO SKY READILY ACCESSIBLE TO ALL RESIDENTS OF THE PROJECT, AND A MINIMUM SIZE OF 400 SQUARE FEET. THE PROPOSED PROJECT PROVIDES BOTH PRIVATE AND PUBLIC OPEN SPACES THROUGHOUT.
- 13 8.D.1.b.3 LANDSCAPING OPEN SPACES, PLAZAS, AND COURTYARDS, EXCLUDING PEDESTRIAN CONNECTIONS AND ARCADES, SHALL CONTAIN A MINIMUM OF 25% LANDSCAPE AREA. PROPOSED PROJECT INCLUDES PLAZAS AND COURTYARDS WITH 26.7% LANDSCAPE COVERAGE.



245 East 3rd Street
 Long Beach, California 90802
 t 662.901.1500
 STUDIO-11.COM



3590 ELM AVENUE
 LONG BEACH, CA
 90807

TCE MAIN, LOS ANGELES

800 N. MAIN STREET,
 LOS ANGELES, CA,
 90012

#	DATE	ISSUE
PZA SUBMITTAL	01/31/2024	
PZA RESUBMITTAL	03/15/2024	
ENTITLEMENT SUBM.	03/29/2024	
ENTITLEMENT SUBM.	04/19/2024	

JOB NO. 23-099

RIO & SPECIFIC PLAN COMPLIANCE

A00.01

NOT ISSUED FOR CONSTRUCTION

OPEN SPACE SUMMARY

REQUIRED:

58 UNITS WITH < 3 HABITABLE ROOMS	x	100 SF/UNIT	=	5,800 SF
33 UNITS WITH 3 HABITABLE ROOMS	x	125 SF/UNIT	=	4,125 SF
33 UNITS WITH > 3 HABITABLE ROOMS	x	175 SF/UNIT	=	5,775 SF

TOTAL REQUIRED RESIDENTIAL OPEN SPACE 15,700 SF

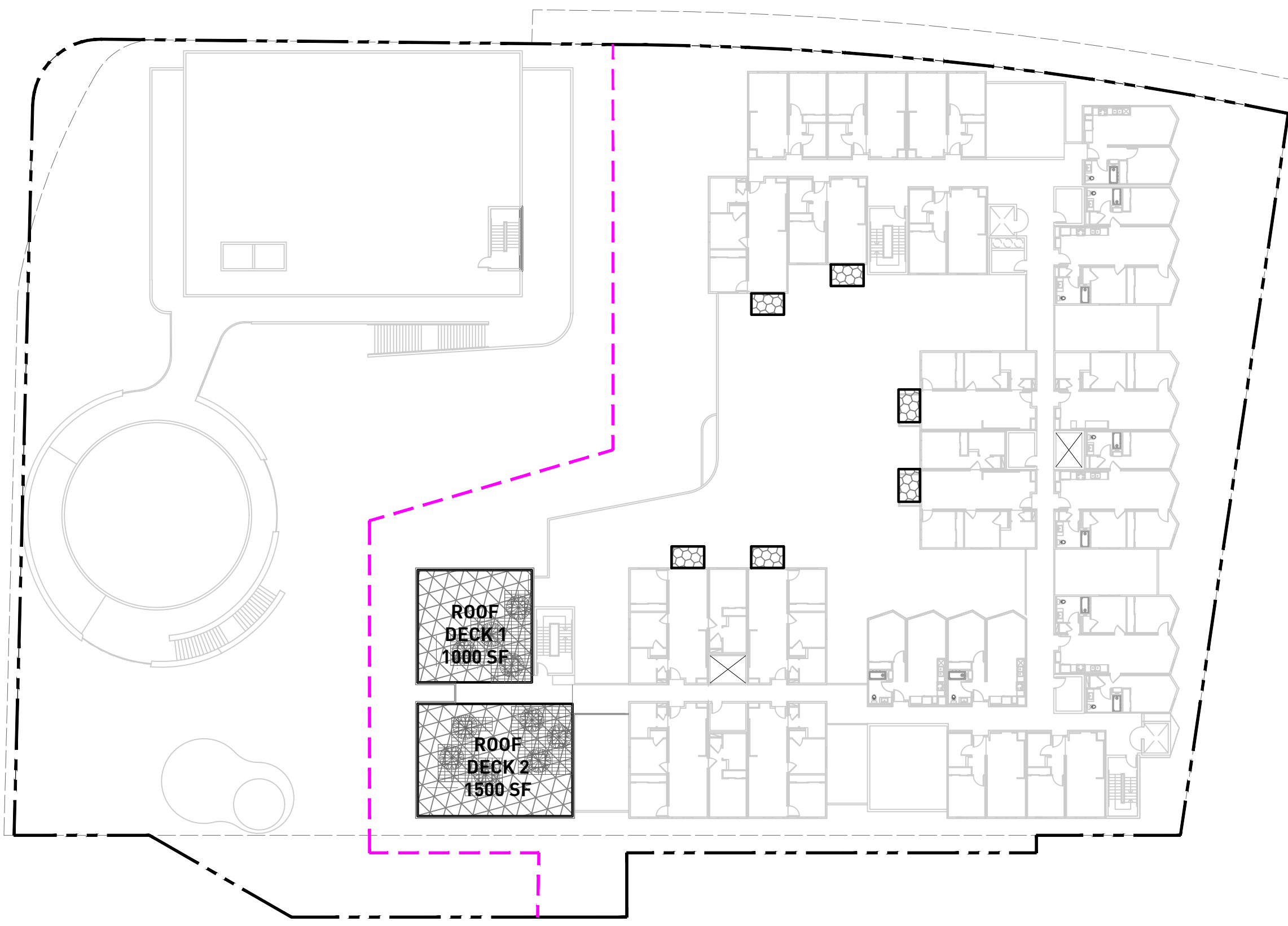
PROVIDED:

BALCONY	50SF PER 24 UNITS	1,200 SF
GROUND LEVEL	RESIDENTIAL GATHERING	4,500 SF
THIRD LEVEL	RESIDENTIAL COURTYARD	8,000 SF
SEVENTH LEVEL	ROOF DECK 1	1,000 SF
	ROOF DECK 2	1,500 SF

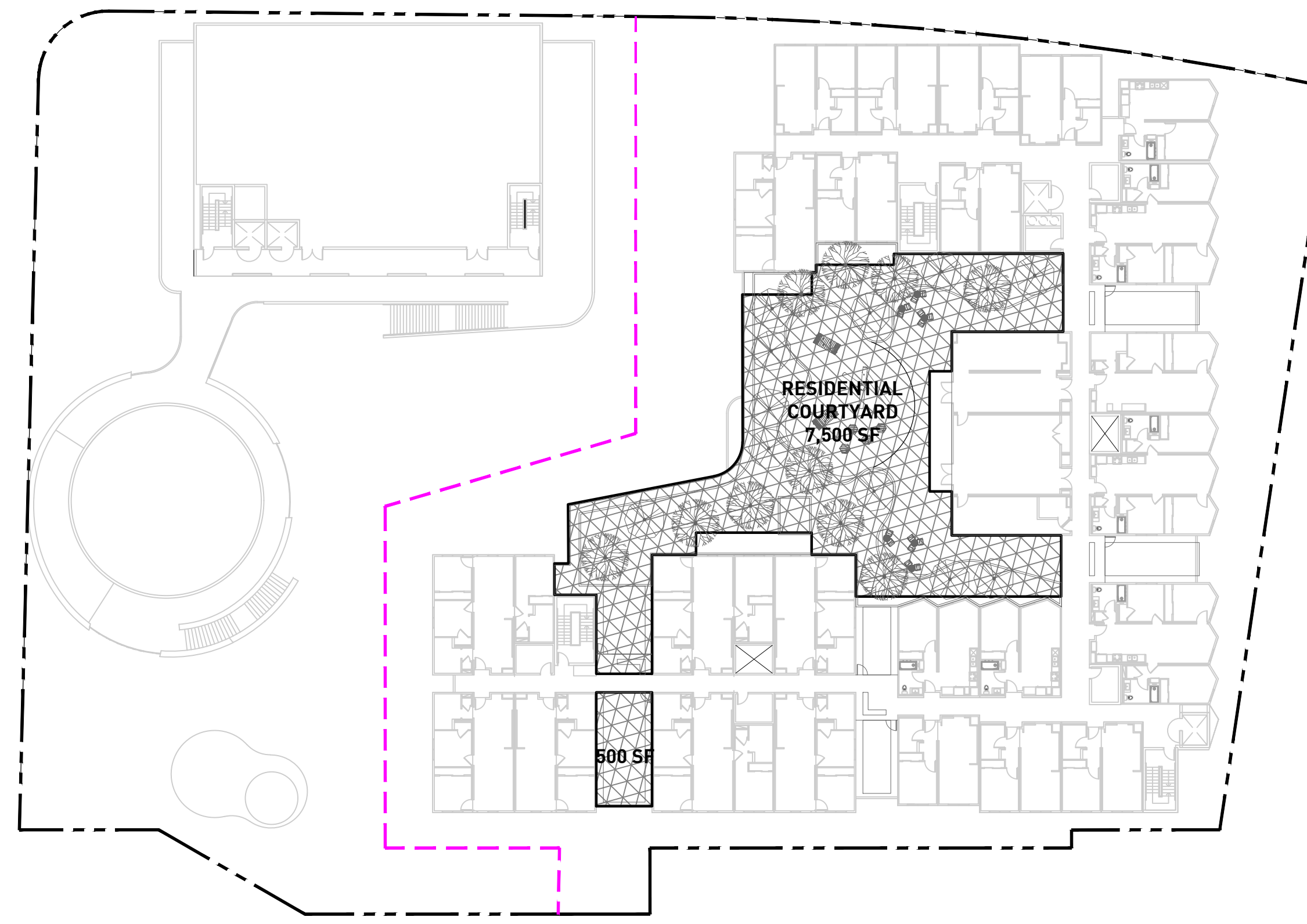
TOTAL PROVIDED RESIDENTIAL OPEN SPACE 16,200 SF

LEGEND

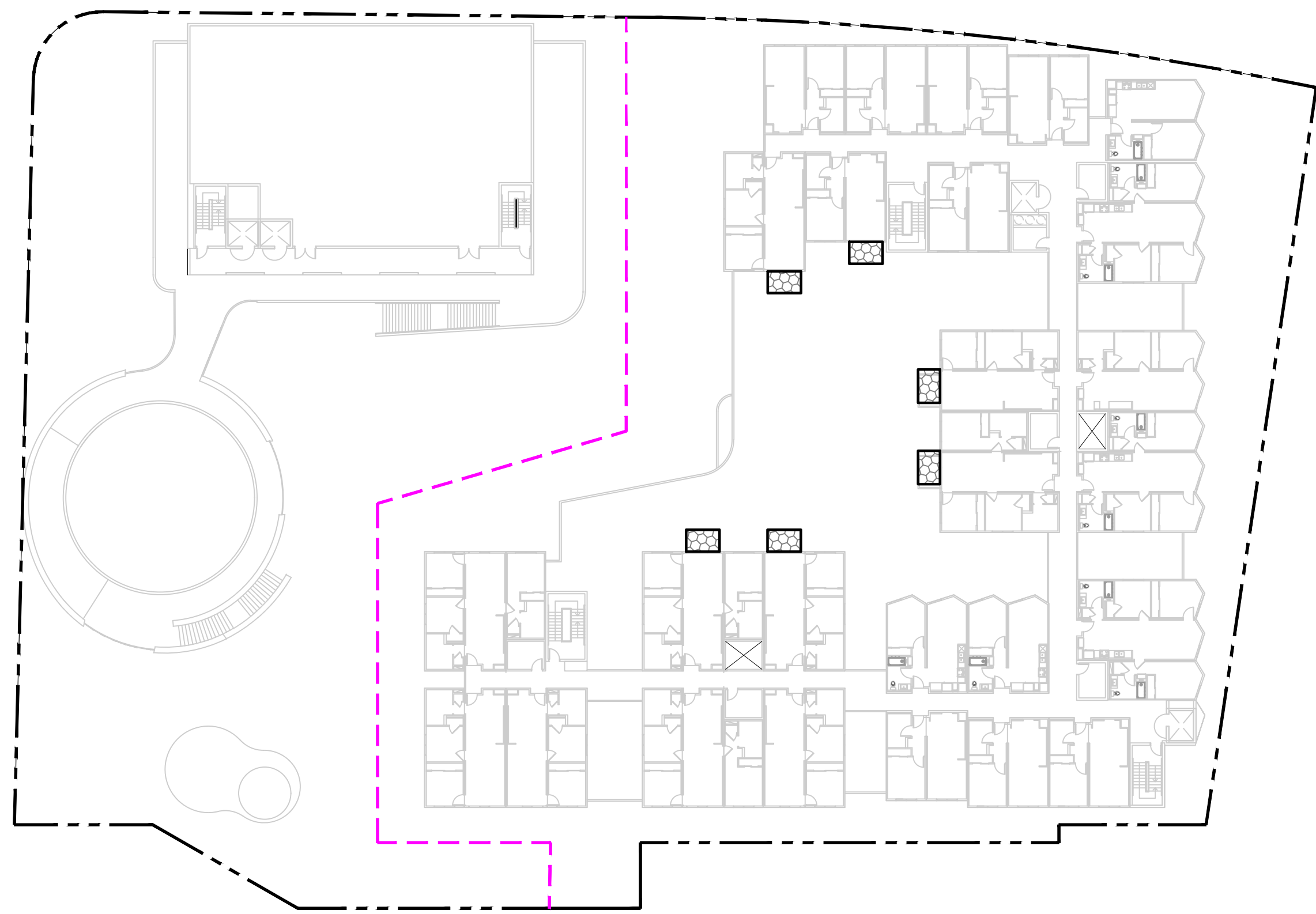
- RESIDENTIAL PRIVATE OPEN SPACE
- RESIDENTIAL COMMON OPEN SPACE



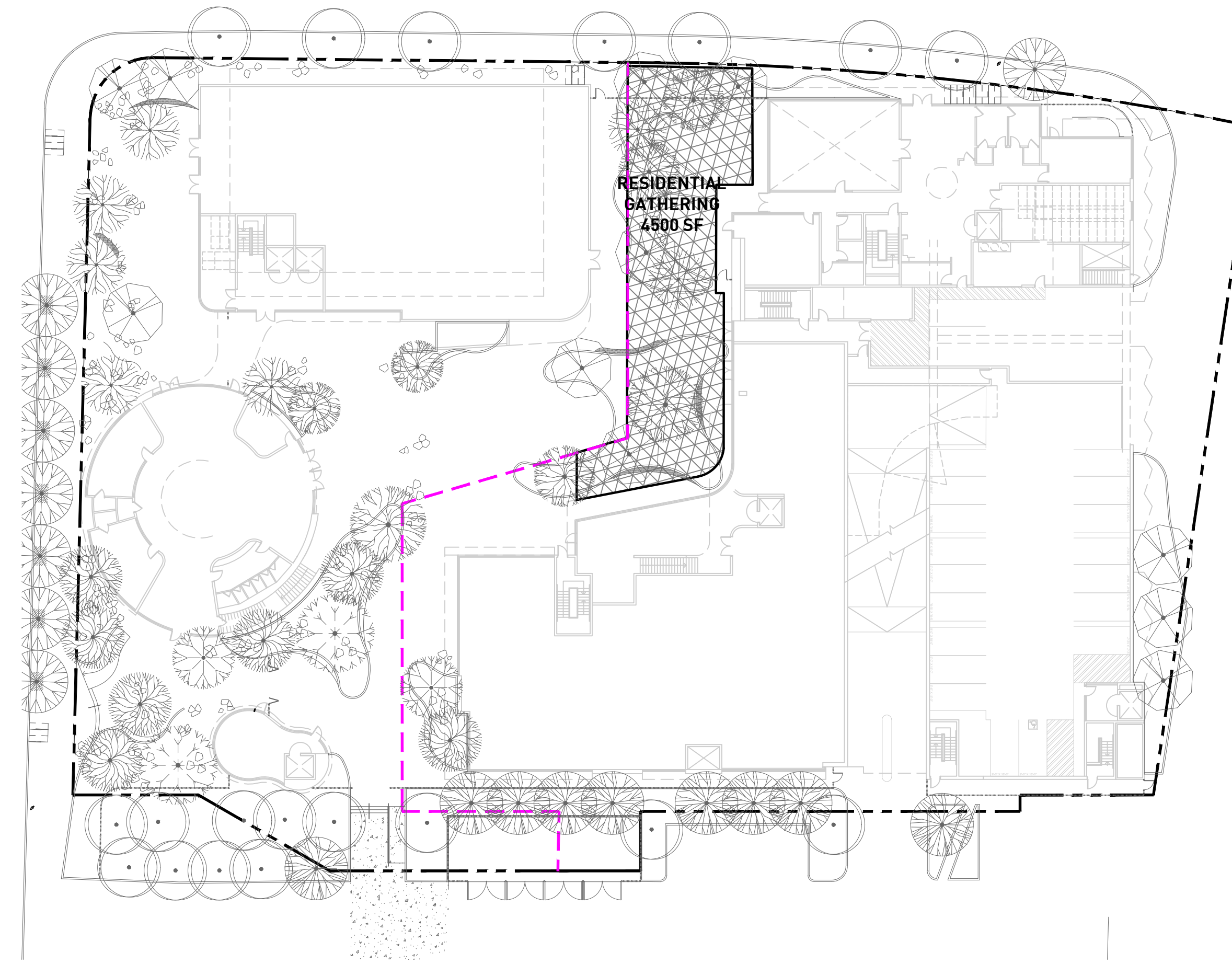
OPEN SPACE PLAN LEVEL 7 | 4
1/32" = 1'-0"



OPEN SPACE PLAN LEVEL 3 | 2
1/32" = 1'-0"



OPEN SPACE PLAN LEVEL 4-6 | 3
1/32" = 1'-0"



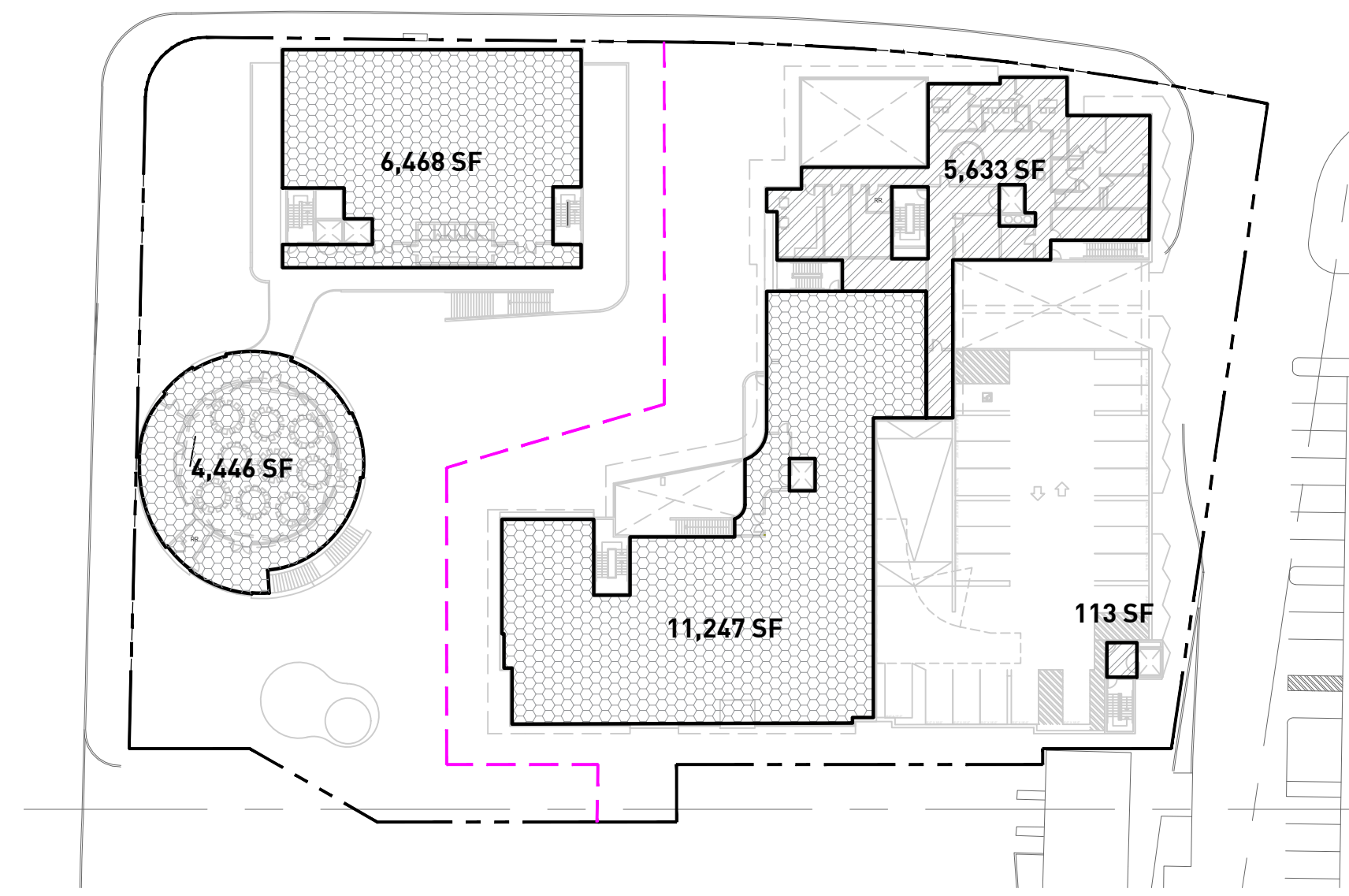
OPEN SPACE PLAN LEVEL 1 | 1
1/32" = 1'-0"

ZONING CODE AREA SUMMARY

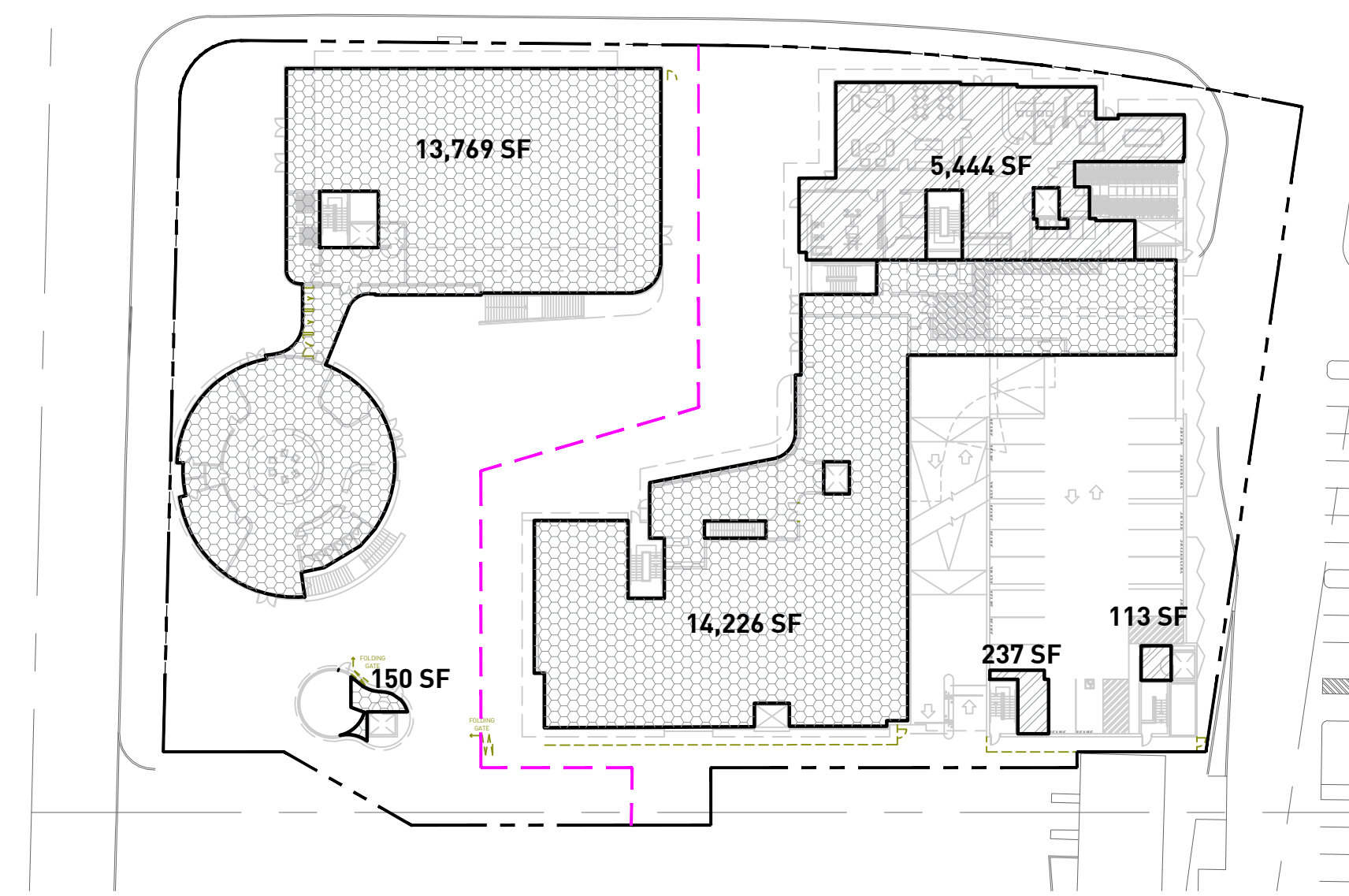
	WEST PHASE ZONING CODE AREAS		EAST PHASE ZONING CODE AREAS	
	RESIDENTIAL	NON-RESIDENTIAL	RESIDENTIAL	NON-RESIDENTIAL
LEVEL 7:	0 SF	0 SF	21,060 SF	0 SF
LEVEL 6:	0 SF	0 SF	24,148 SF	0 SF
LEVEL 5:	0 SF	0 SF	24,148 SF	0 SF
LEVEL 4:	0 SF	6,468 SF	24,148 SF	0 SF
LEVEL 3:	0 SF	6,468 SF	24,148 SF	0 SF
LEVEL 2:	0 SF	10,914 SF	5,746 SF	11,247 SF
LEVEL 1:	0 SF	13,919 SF	5,794 SF	14,226 SF
LEVEL P1:	0 SF	567 SF	0 SF	0 SF
LEVEL P2:	0 SF	492 SF	0 SF	0 SF
SUBTOTAL:	0 SF	38,828 SF	129,192 SF	25,473 SF
TOTAL:	WEST PHASE TOTAL = 38,828 SF		EAST PHASE TOTAL = 154,665 SF	
GRAND TOTAL:	WEST + EAST PHASE TOTAL = 193,493			

LEGEND

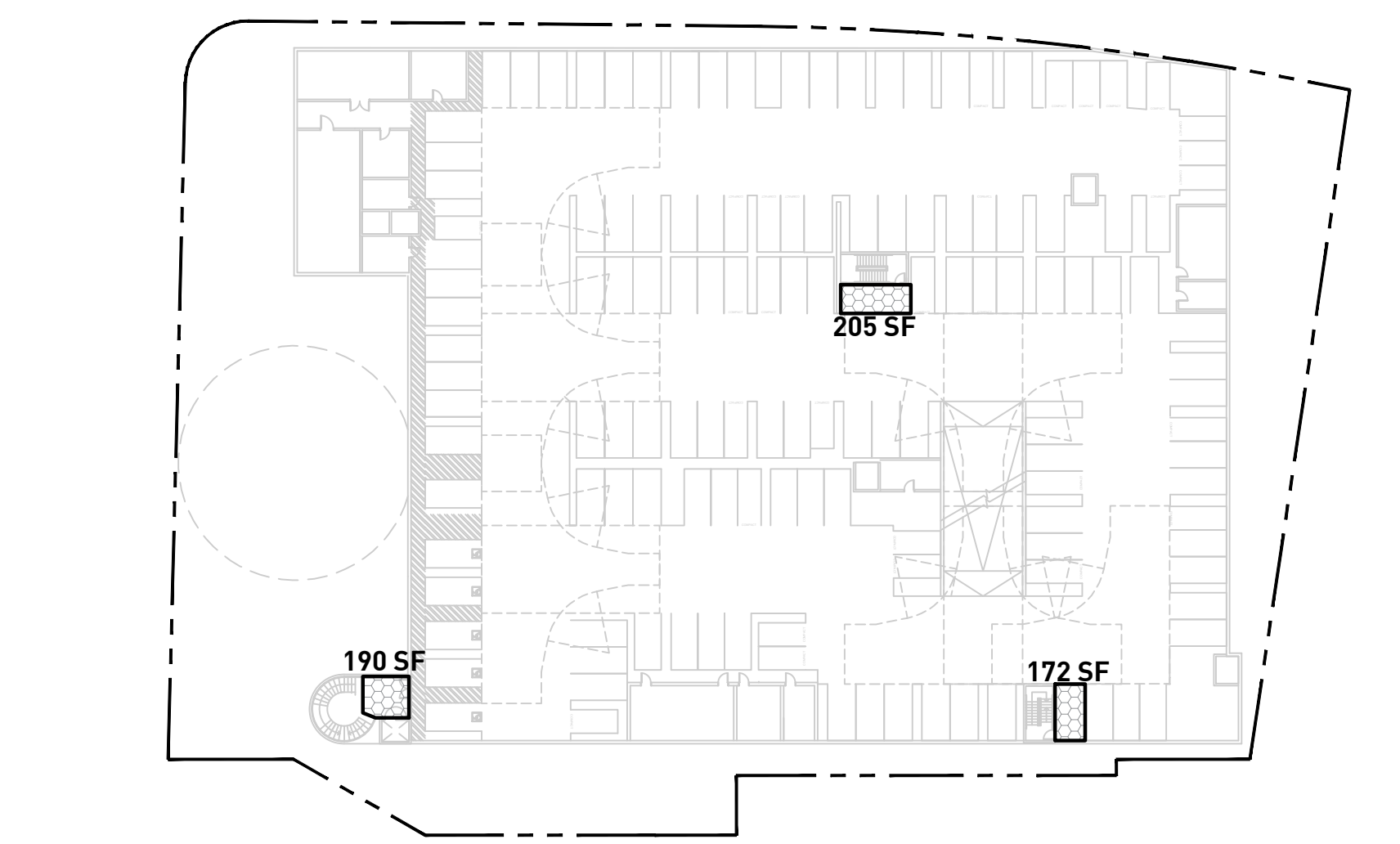
- NON-RESIDENTIAL
- RESIDENTIAL



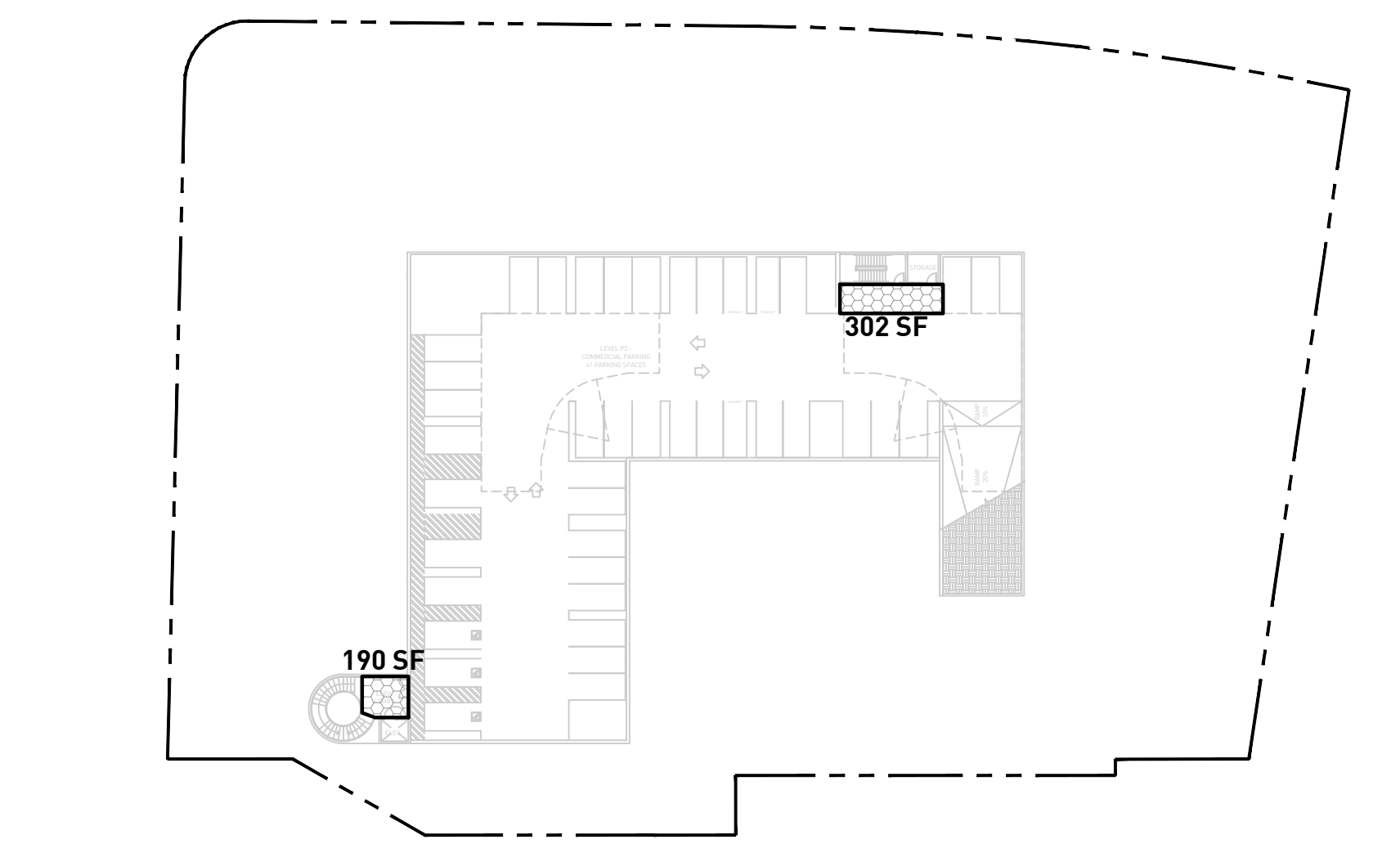
ZONING CODE AREA ANALYSIS - LEVEL 2 | 4
1" = 50'-0"



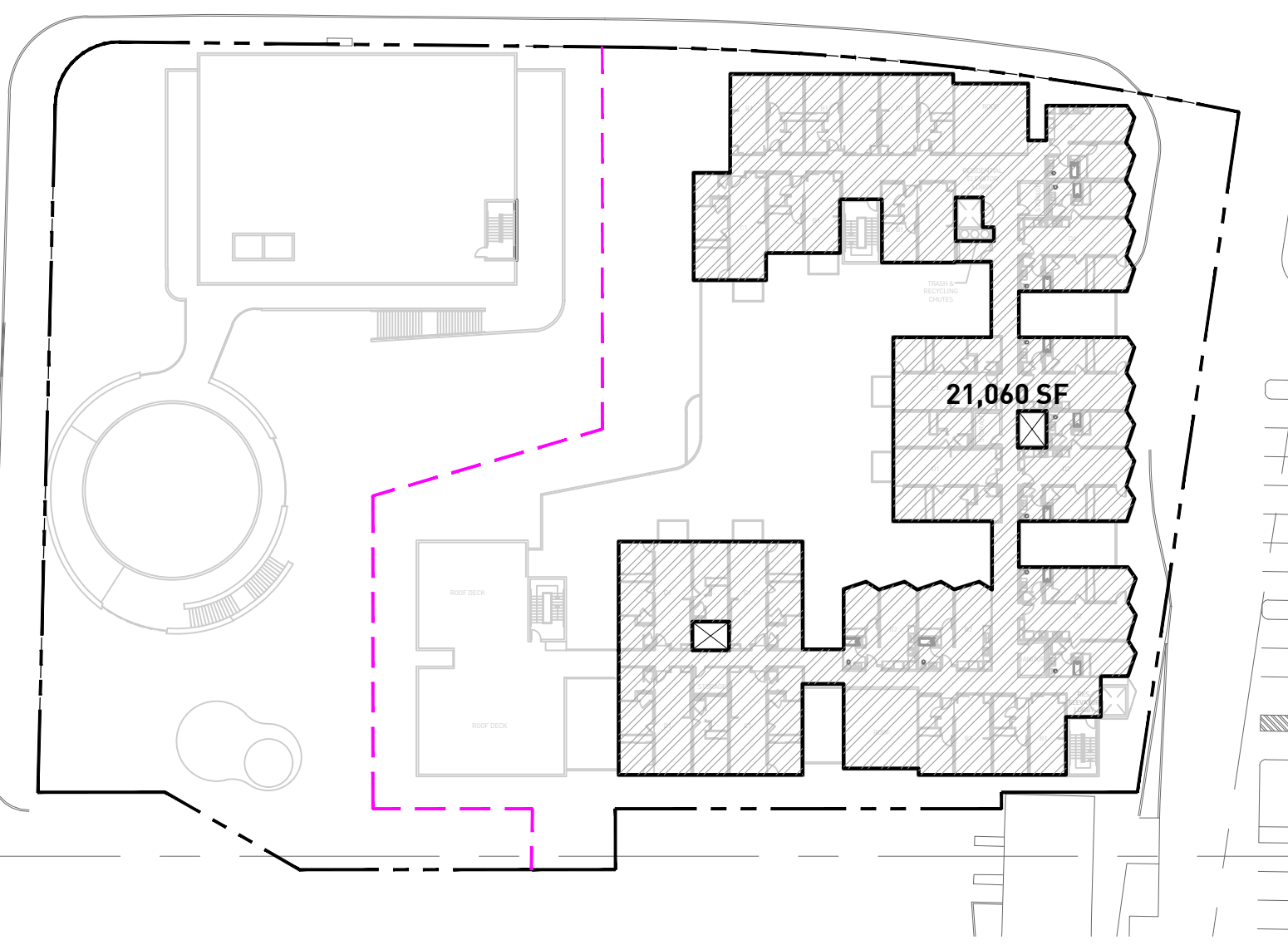
ZONING CODE AREA ANALYSIS - LEVEL 1 | 3
1" = 50'-0"



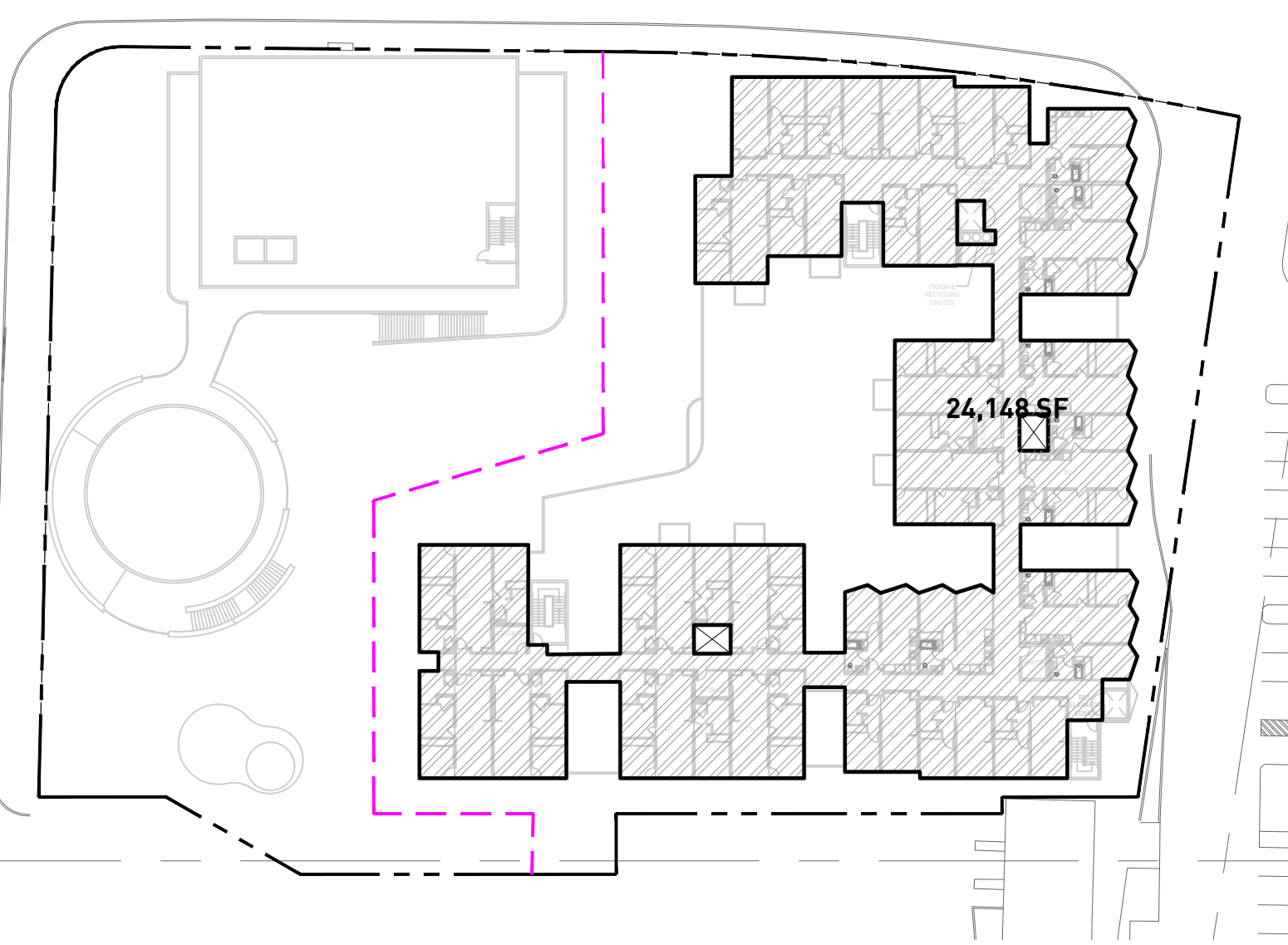
ZONING CODE AREA ANALYSIS - LEVEL P1 | 2
1" = 50'-0"



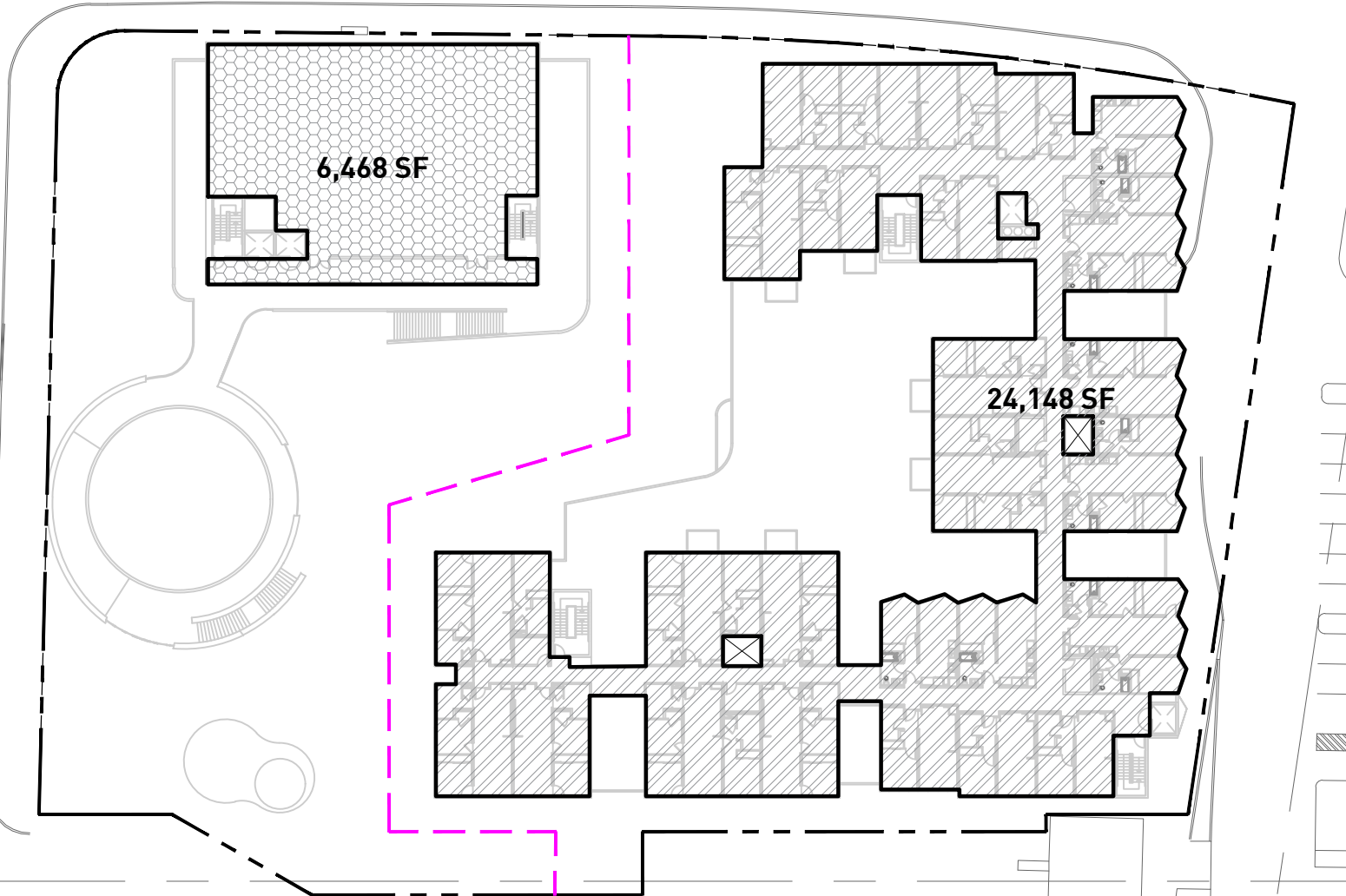
ZONING CODE AREA ANALYSIS - LEVEL P2 | 1
1" = 50'-0"



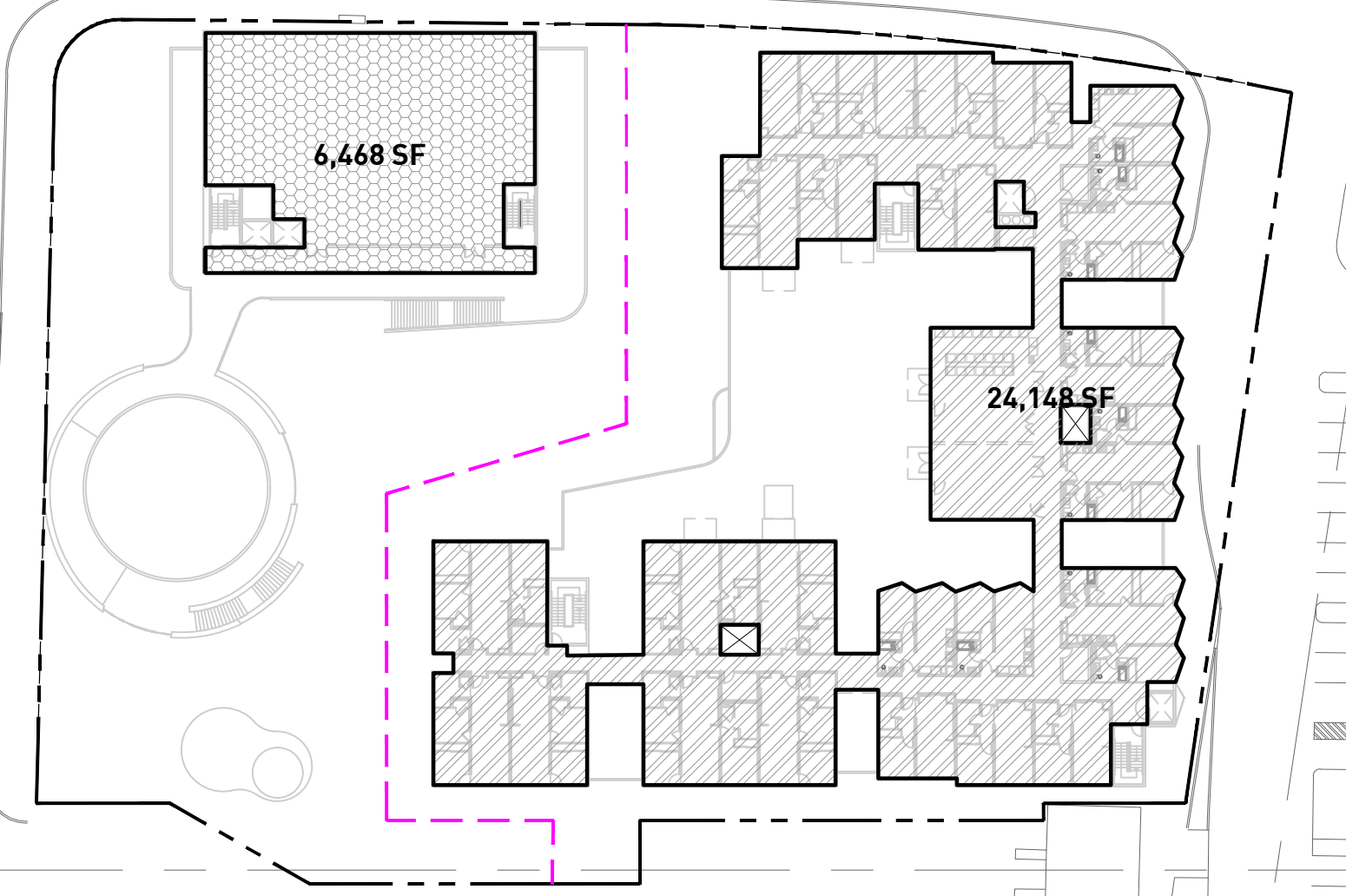
ZONING CODE AREA ANALYSIS - LEVEL 7 | 8
1" = 50'-0"



ZONING CODE AREA ANALYSIS - LEVEL 5 & 6 | 7
1" = 50'-0"



ZONING CODE AREA ANALYSIS - LEVEL 4 | 6
1" = 50'-0"



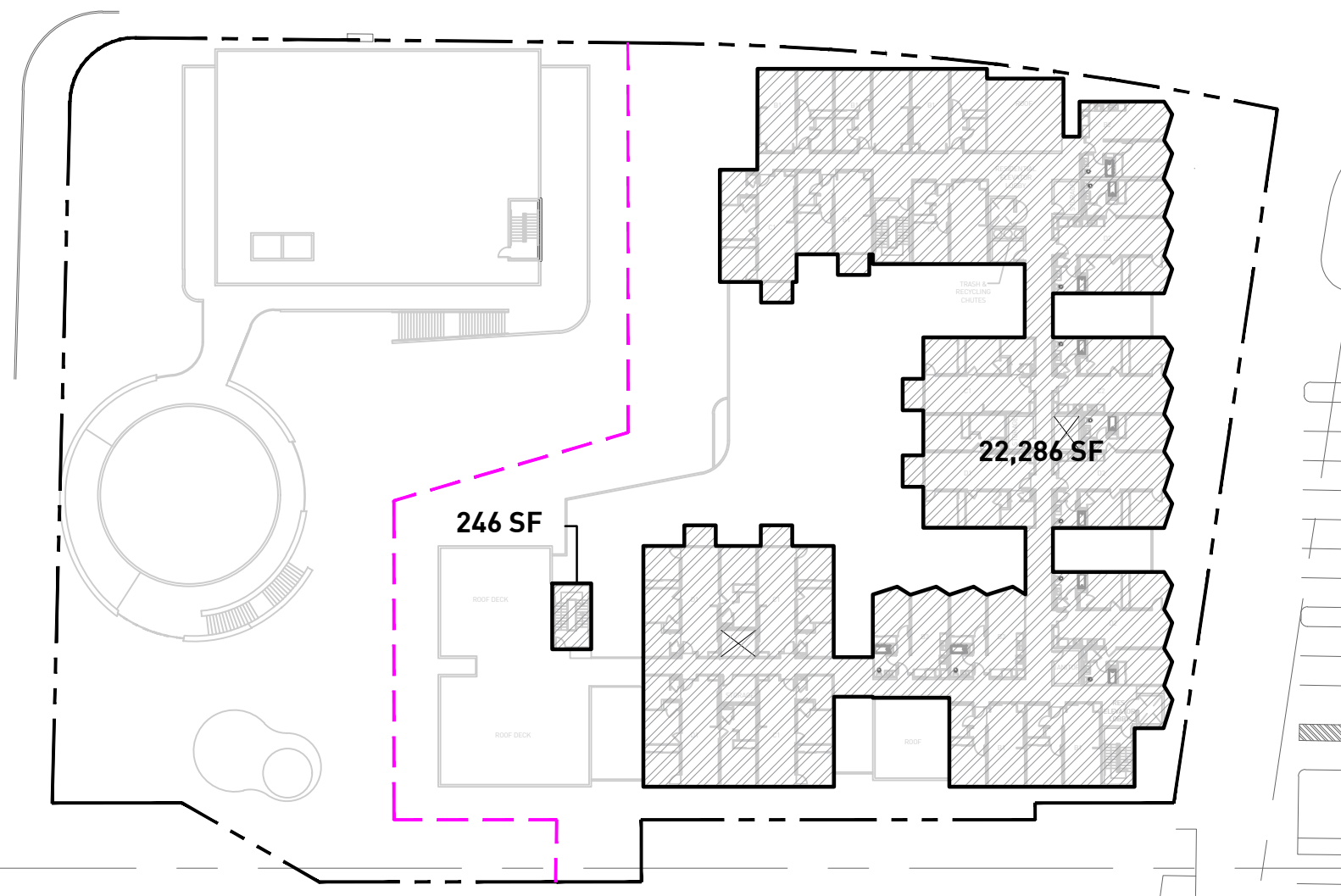
ZONING CODE AREA ANALYSIS - LEVEL 3 | 5
1" = 50'-0"

BUILDING CODE AREA SUMMARY

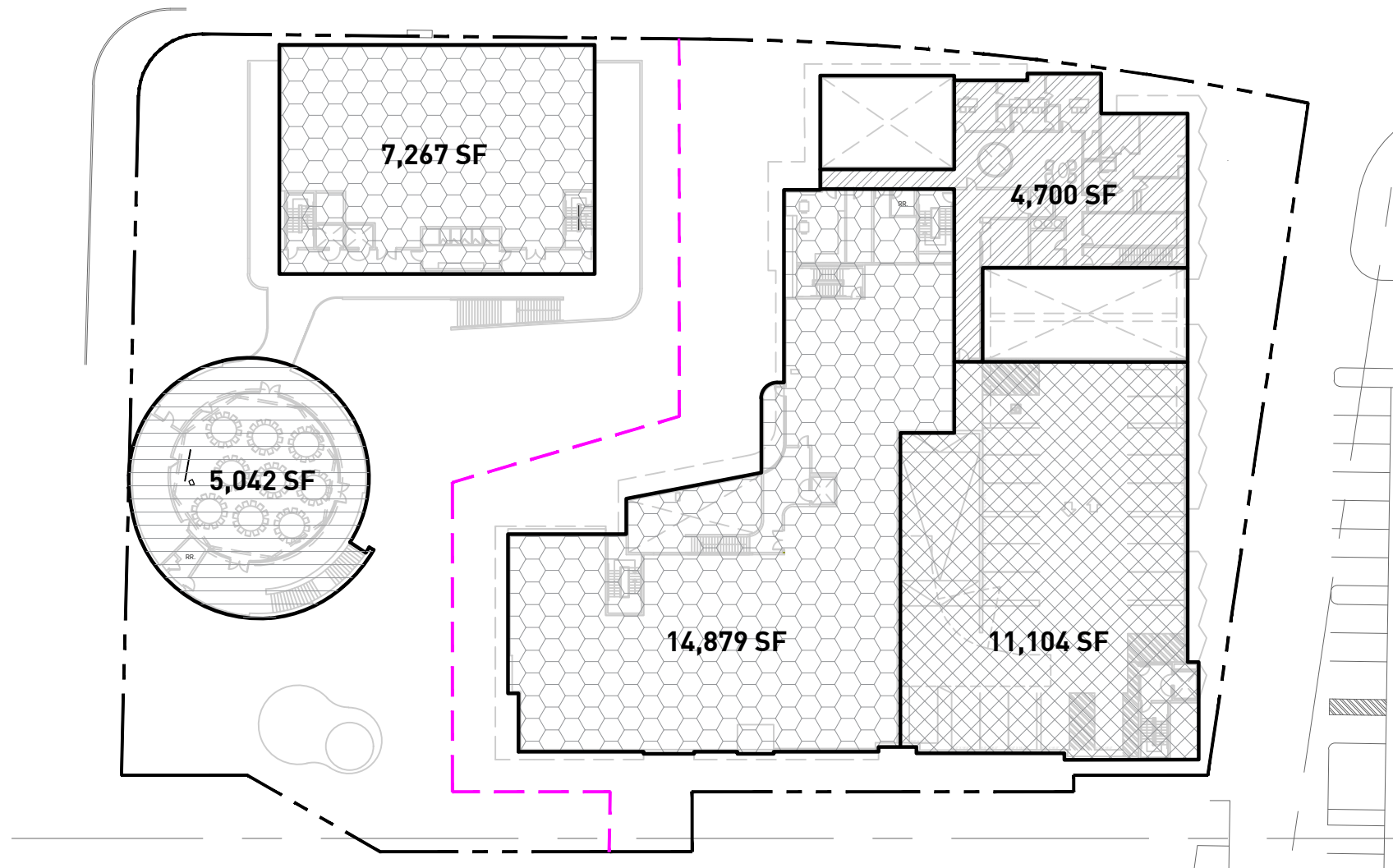
	WEST PHASE BUILDING CODE AREAS				EAST PHASE BUILDING CODE AREAS			
	B	R-2	S-2	A-2	B	R-2	S-2	A-2
LEVEL 7:	0 SF	0 SF	0 SF	0 SF	0 SF	22,532 SF	0 SF	0 SF
LEVEL 6:	0 SF	0 SF	0 SF	0 SF	0 SF	26,334 SF	0 SF	0 SF
LEVEL 5:	0 SF	0 SF	0 SF	0 SF	0 SF	26,334 SF	0 SF	0 SF
LEVEL 4:	7,267 SF	0 SF	0 SF	0 SF	0 SF	26,334 SF	0 SF	0 SF
LEVEL 3:	7,267 SF	0 SF	0 SF	0 SF	0 SF	26,334 SF	0 SF	0 SF
LEVEL 2:	7,267 SF	0 SF	0 SF	5,042 SF	14,879 SF	4,700 SF	11,104 SF	0 SF
LEVEL 1:	9,684 SF	0 SF	0 SF	5,042 SF	12,379 SF	6,718 SF	14,628 SF	0 SF
LEVEL P1:	0 SF	0 SF	61,208 SF	0 SF	0 SF	0 SF	0 SF	0 SF
LEVEL P2:	0 SF	0 SF	21,280 SF	0 SF	0 SF	0 SF	0 SF	0 SF
SUBTOTAL:	31,485 SF	0 SF	82,488 SF	10,084 SF	27,258 SF	139,286 SF	25,732 SF	0 SF
TOTAL:	WEST PHASE TOTAL = 124,057 SF				EAST PHASE TOTAL = 192,276 SF			
GRAND TOTAL:	WEST + EAST PHASE TOTAL = 316,333 SF							

LEGEND

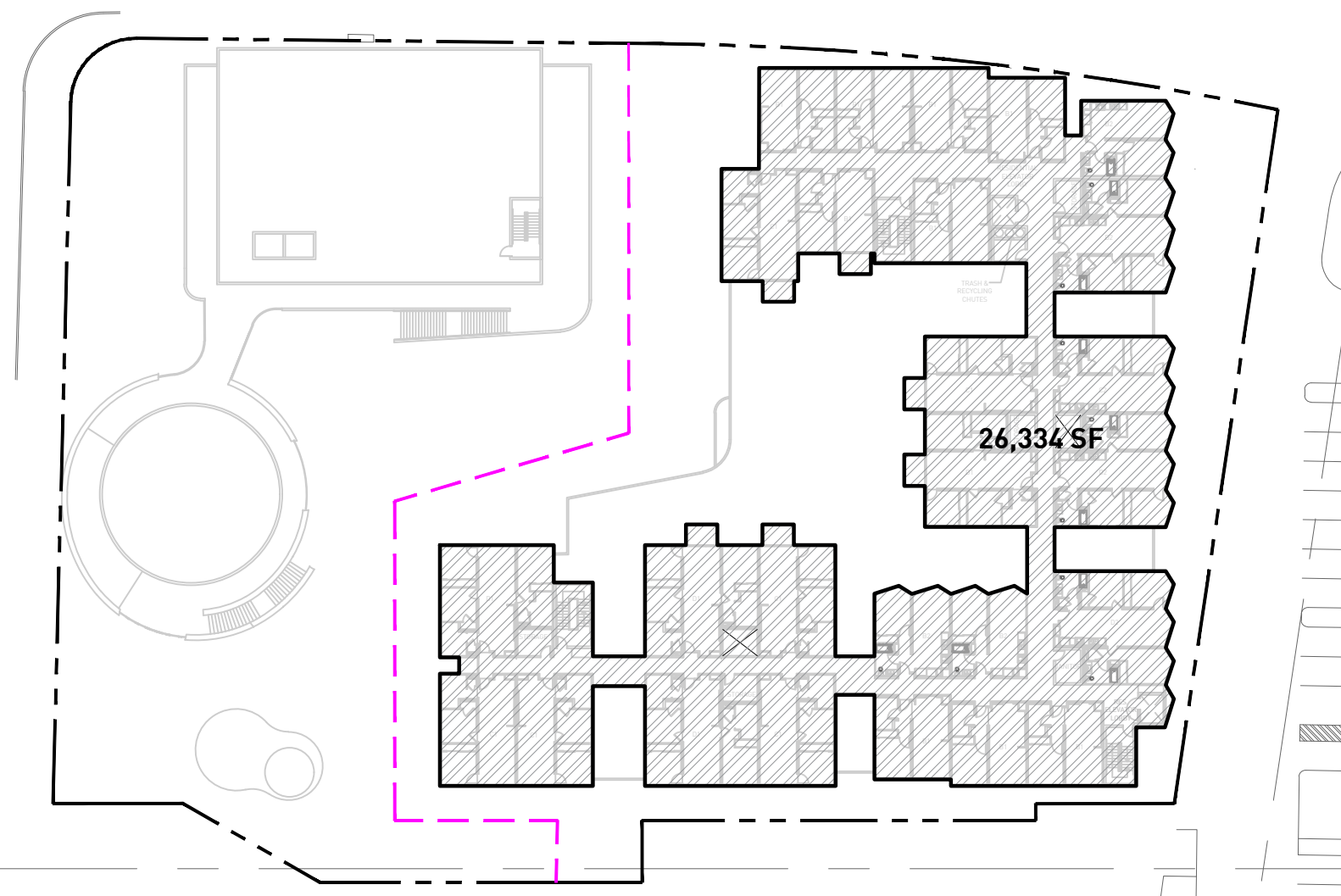
	B
	R-2
	S-2
	A-2



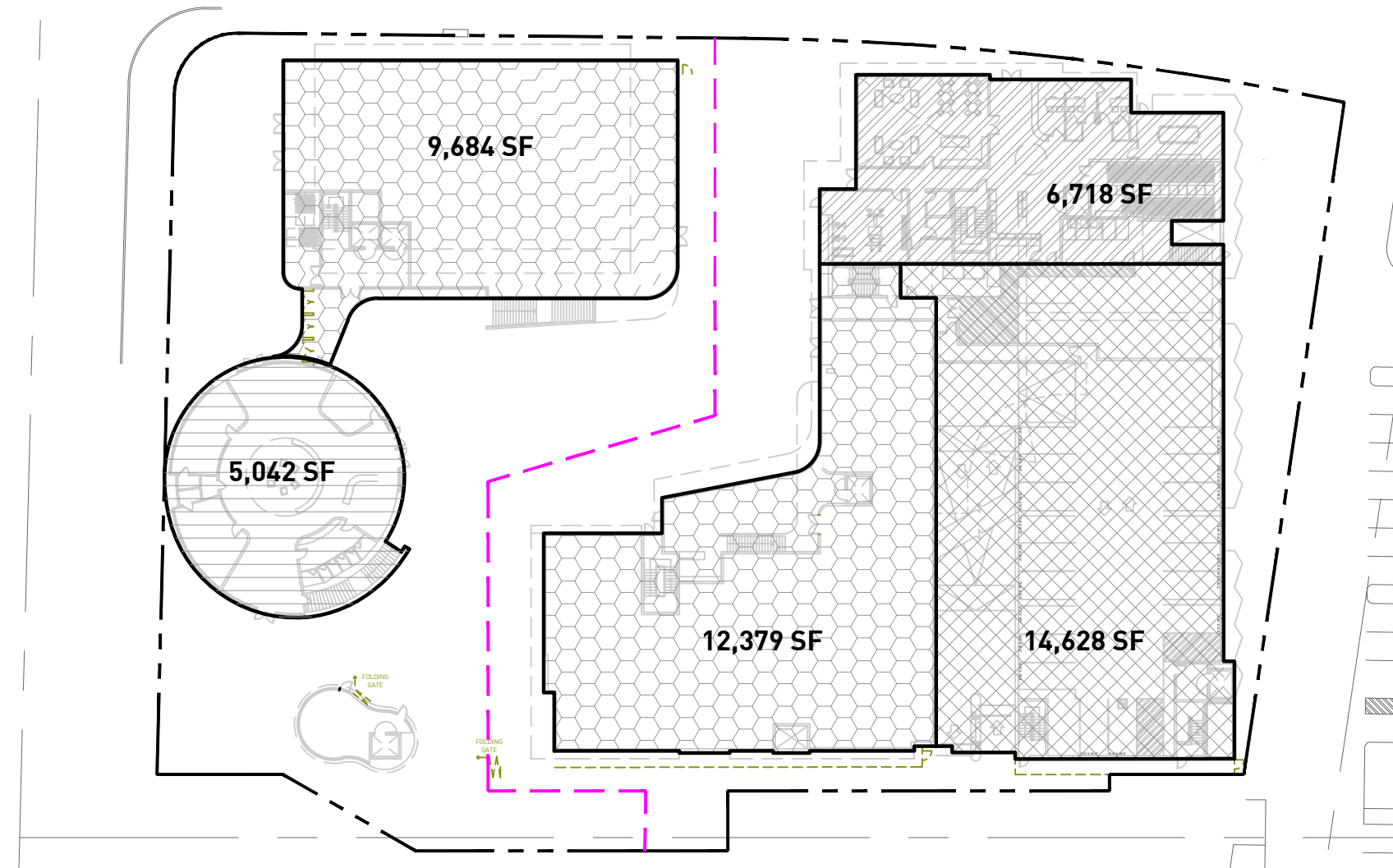
BUILDING CODE AREA ANALYSIS - LEVEL 7 | 8



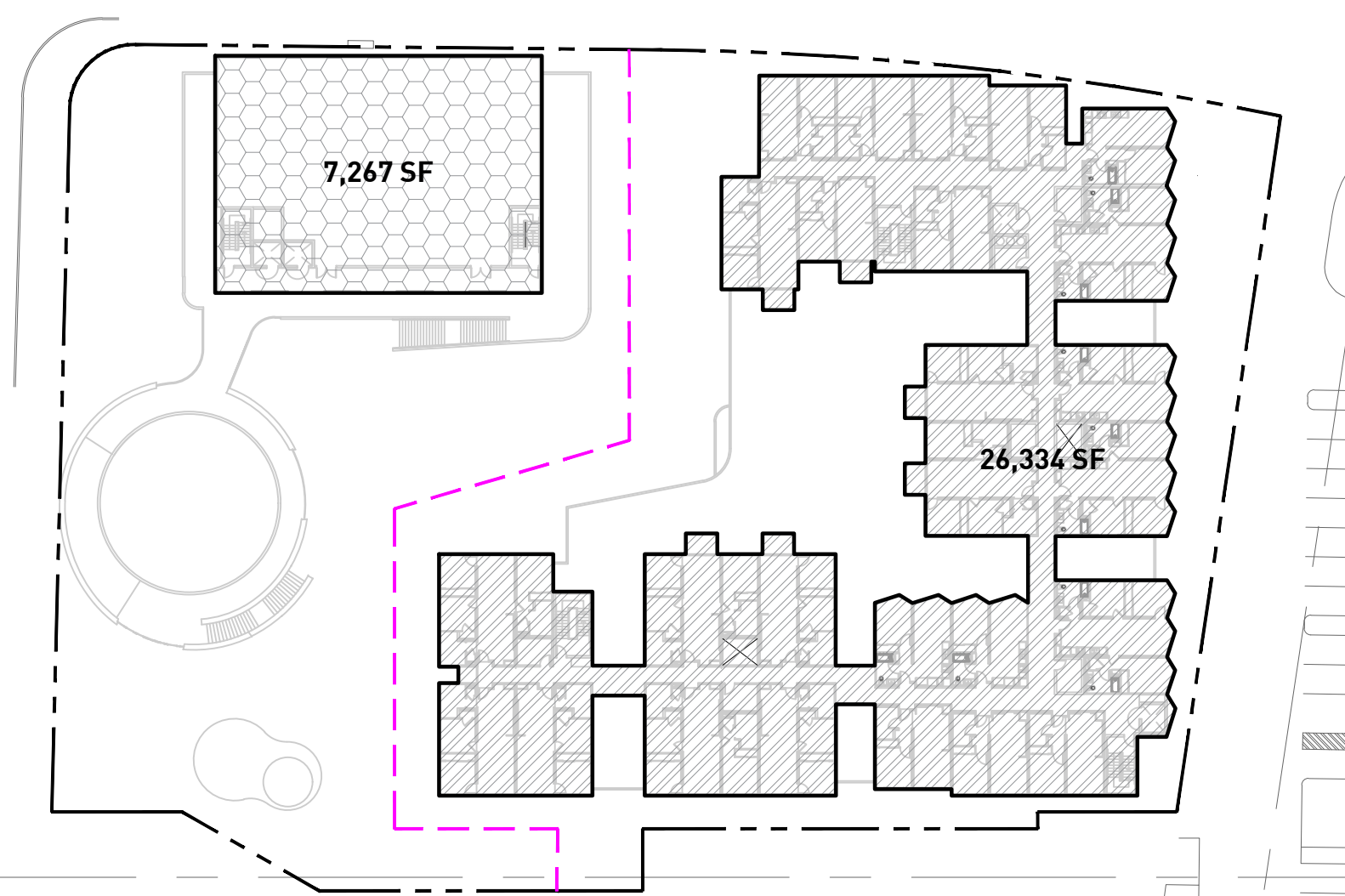
BUILDING CODE AREA ANALYSIS - LEVEL 2 | 4



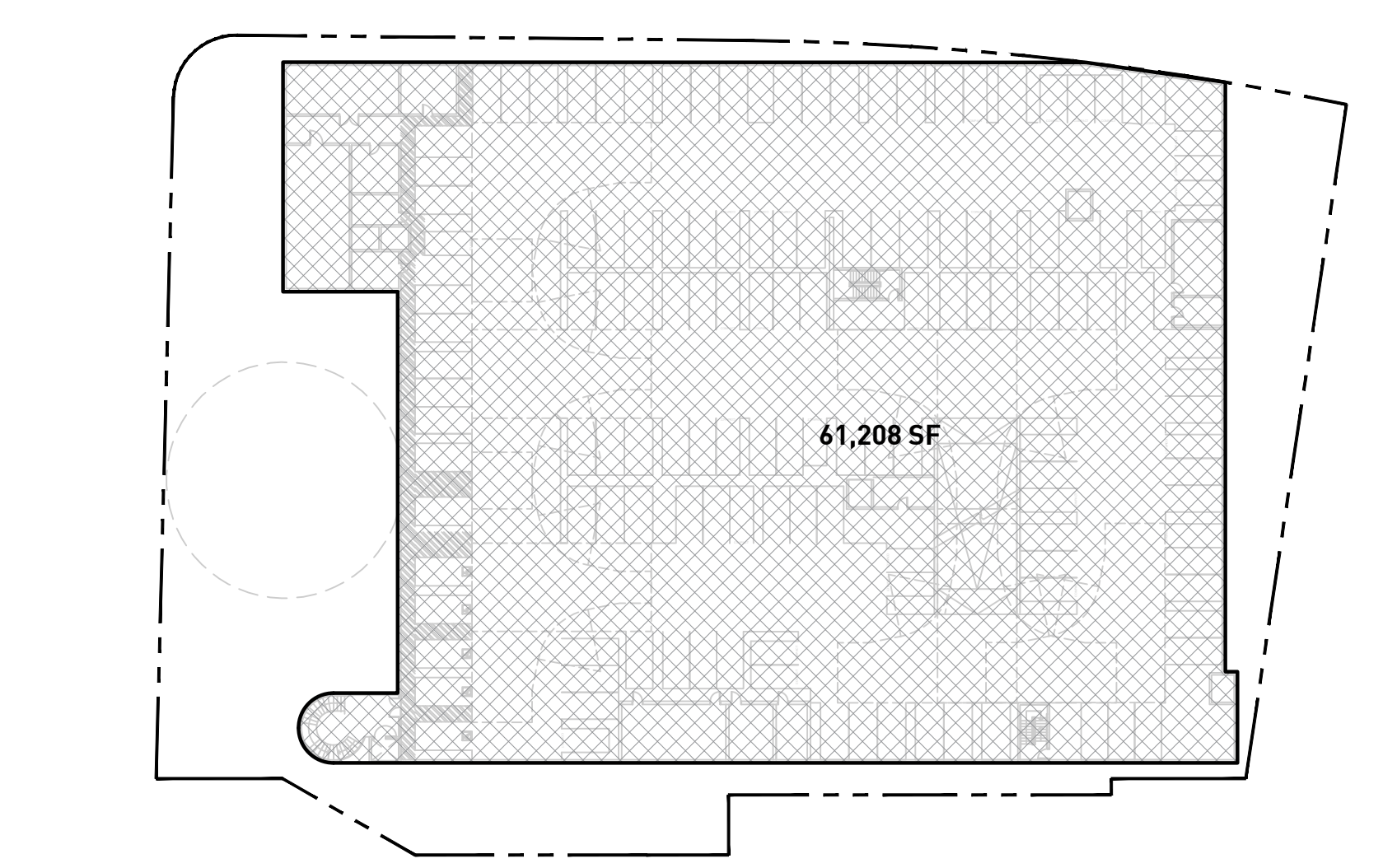
BUILDING CODE AREA ANALYSIS - LEVEL 5 & 6 | 7



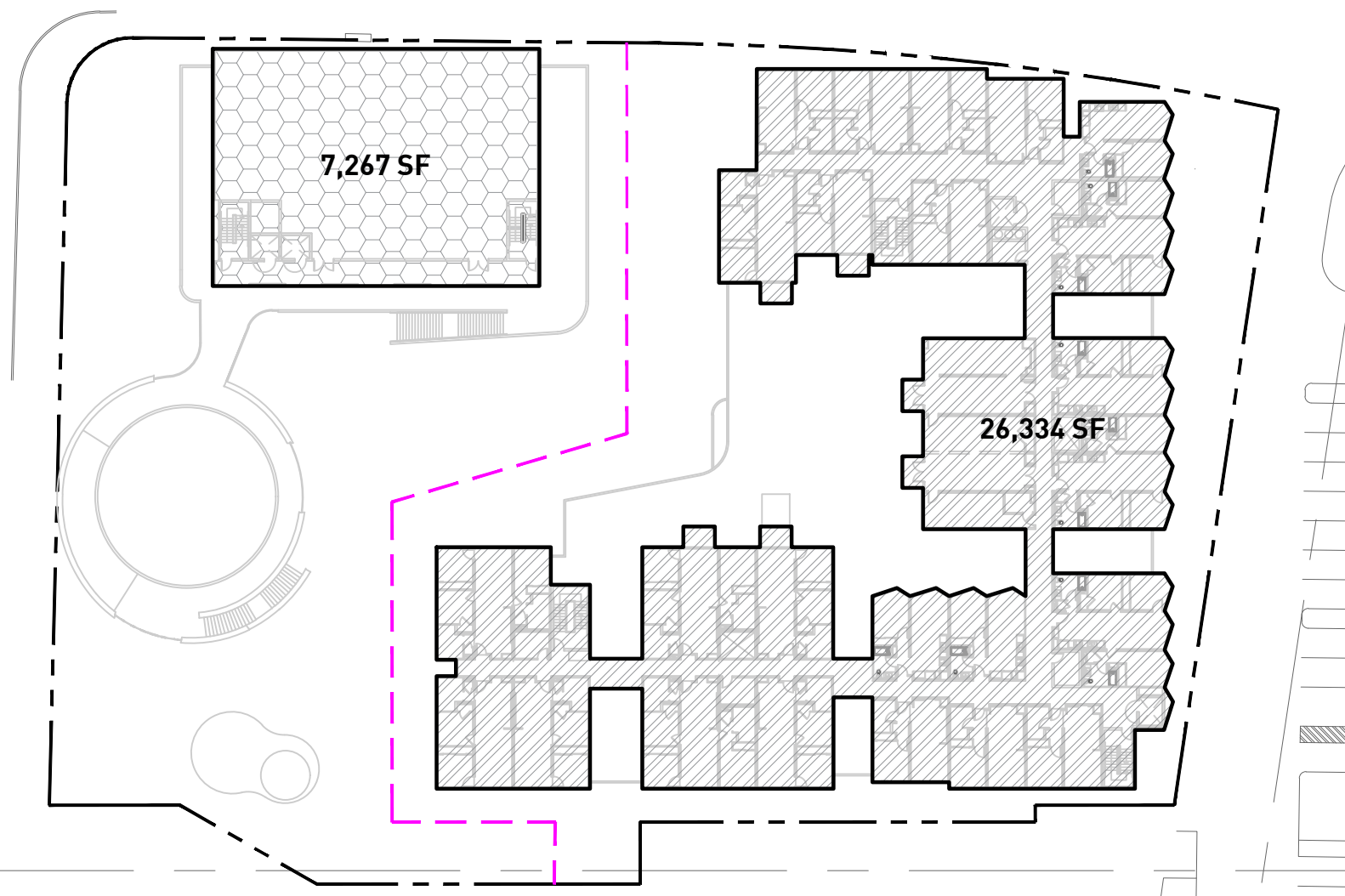
BUILDING CODE AREA ANALYSIS - LEVEL 1 | 3



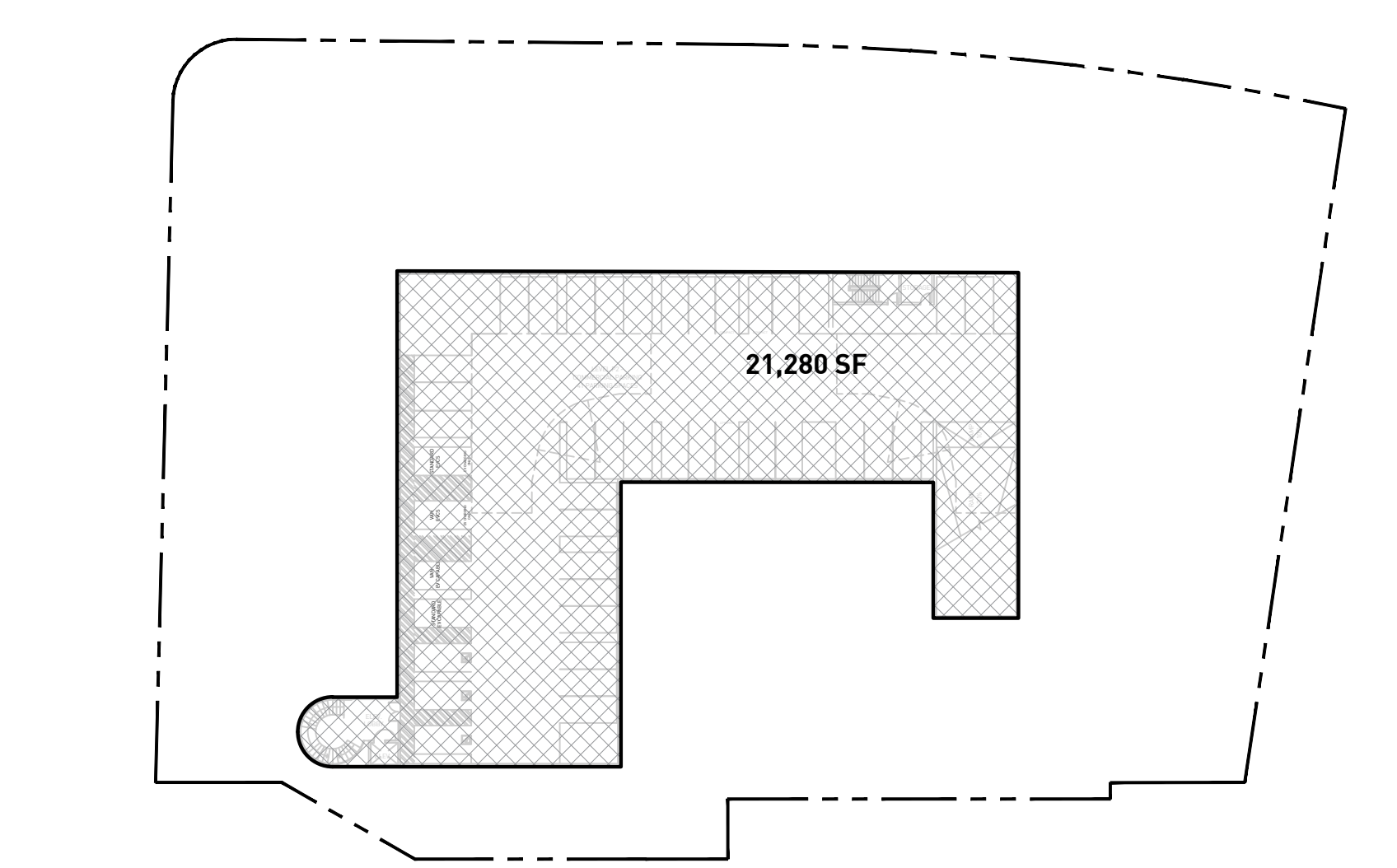
BUILDING CODE AREA ANALYSIS - LEVEL 4 | 6



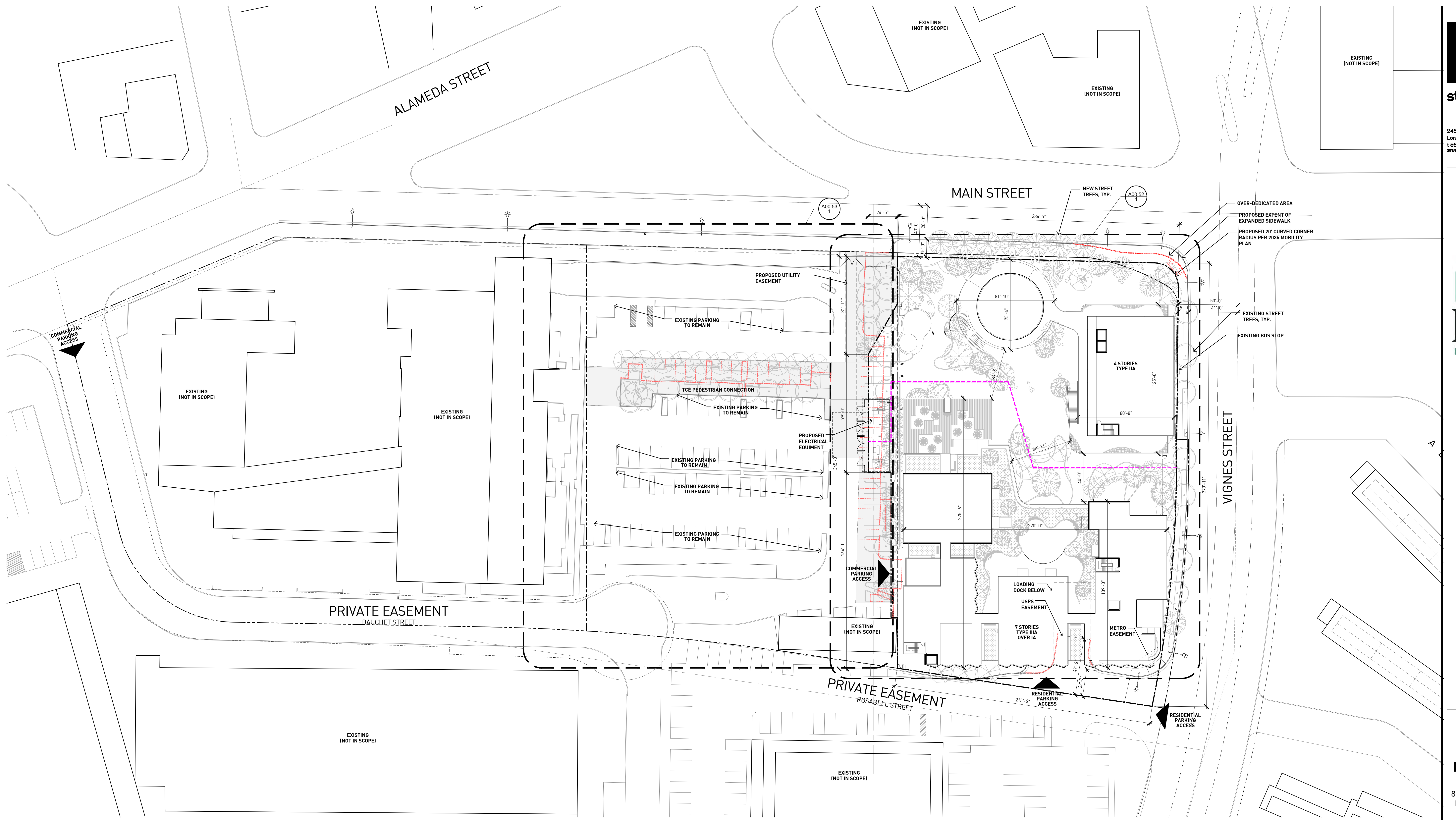
BUILDING CODE AREA ANALYSIS - LEVEL P1 | 2



BUILDING CODE AREA ANALYSIS - LEVEL 3 | 5



BUILDING CODE AREA ANALYSIS - LEVEL P2 | 1



OVERALL SITE PLAN | 1
1/32" = 1'-0"

TCE MAIN, LOS ANGELES

800 N. MAIN STREET,
LOS ANGELES, CA,
90012

#	DATE	ISSUE
1	01/31/2024	PZA SUBMITTAL
2	03/15/2024	PZA RESUBMITTAL
3	03/29/2024	ENTITLEMENT SUBM.
4	04/19/2024	ENTITLEMENT SUBM.

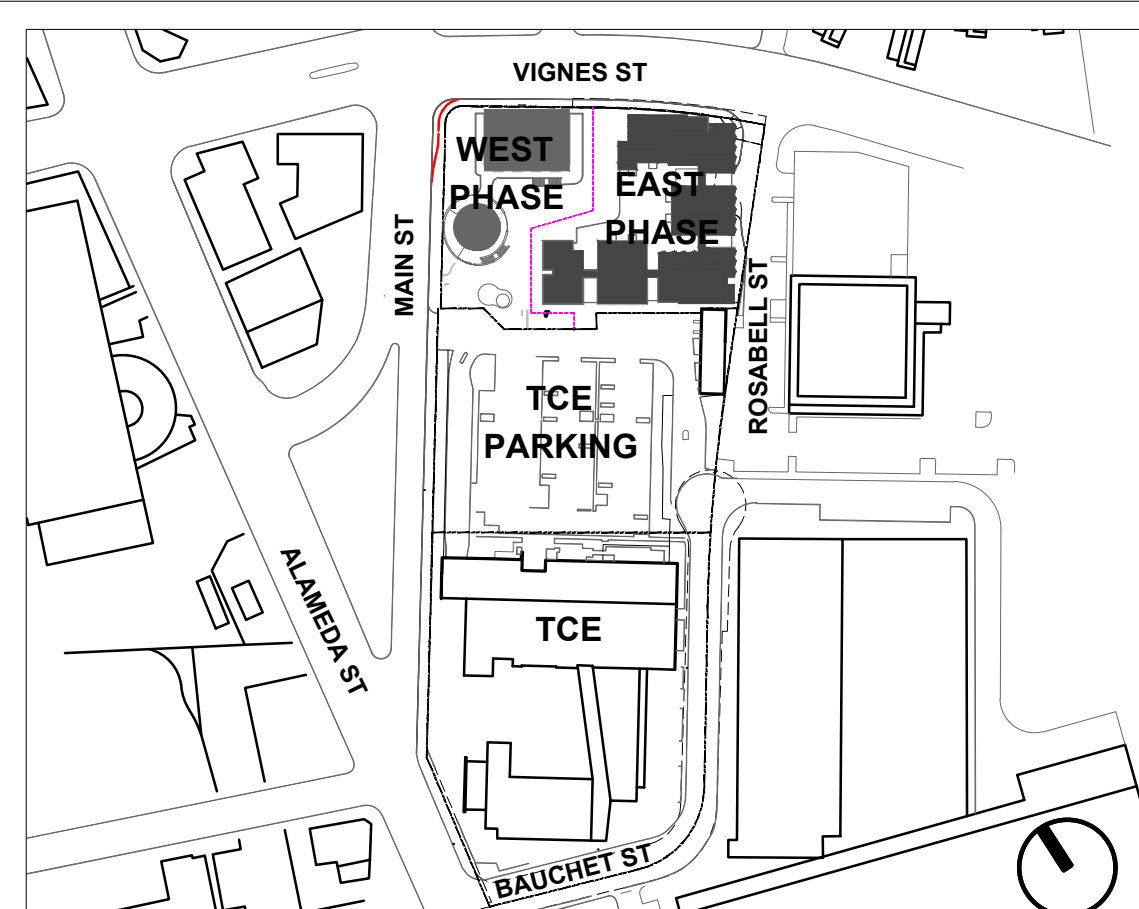
JOB NO. 23-099

OVERALL SITE PLAN

A00.51

NOT ISSUED FOR CONSTRUCTION

PLOT PLAN

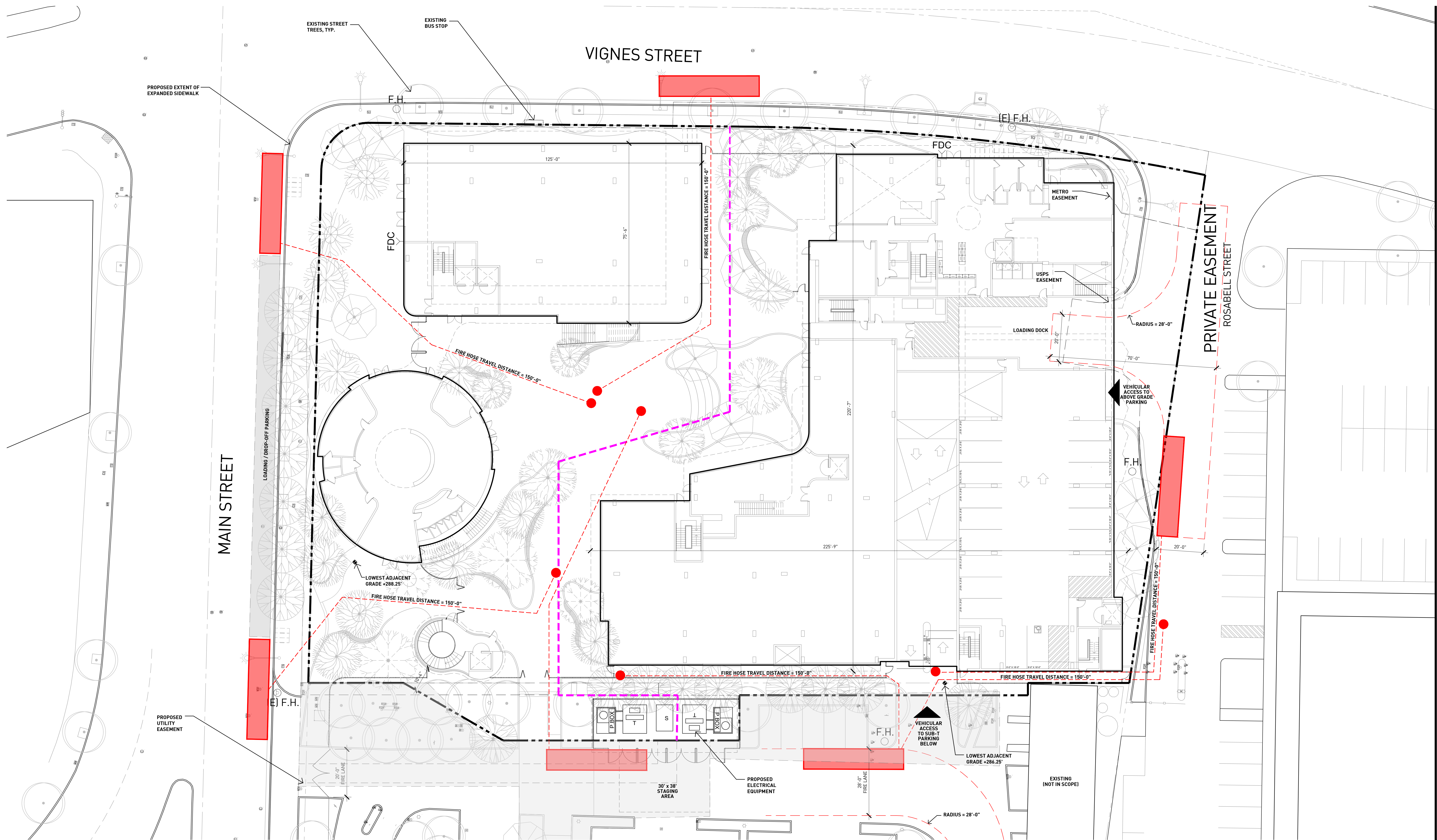


EXTERIOR LIGHTING NOTES

- 1) ALL SITE AND BUILDING MOUNTED LIGHTING SHALL BE DESIGNED SUCH THAT IT PRODUCES A MAXIMUM INITIAL LUMINANCE VALUE NO GREATER THAN 0.20 HORIZONTAL AND VERTICAL FOOT CANDLES AT THE SITE BOUNDARY, AND NO GREATER THAN 0.01 HORIZONTAL FOOT CANDLES 15 FEET BEYOND THE SITE. NO MORE THAN 5.0 PERCENT OF THE TOTAL INITIAL DESIGNED LUMENS SHALL BE EMITTED AT AN ANGLE OF 90 DEGREES OR HIGHER FROM THE NADIR (STRAIGHT DOWN).
- 2) ALL LOW PRESSURE SODIUM, HIGH PRESSURE SODIUM, METAL HALIDE, FLUORESCENT, QUARTZ, INCANDESCENT GREATER THAN 80 WATTS, MERCURY VAPOR, AND HALOGEN FIXTURES SHALL BE FULLY SHIELDED IN SUCH A MANNER AS TO NOT EXCEED THE LIMITATIONS IN SUBDIVISION 1, ABOVE.

GRAPHICS LEGEND

- EXISTING PROPERTY LINE
- - - PROPOSED PROPERTY LINE
- · - · - PROPOSED PHASING LINE
- DEMOLITION
- - - EASEMENT
- ▲ VEHICLE ACCESS
- AREA OF WORK ON TCE PARKING

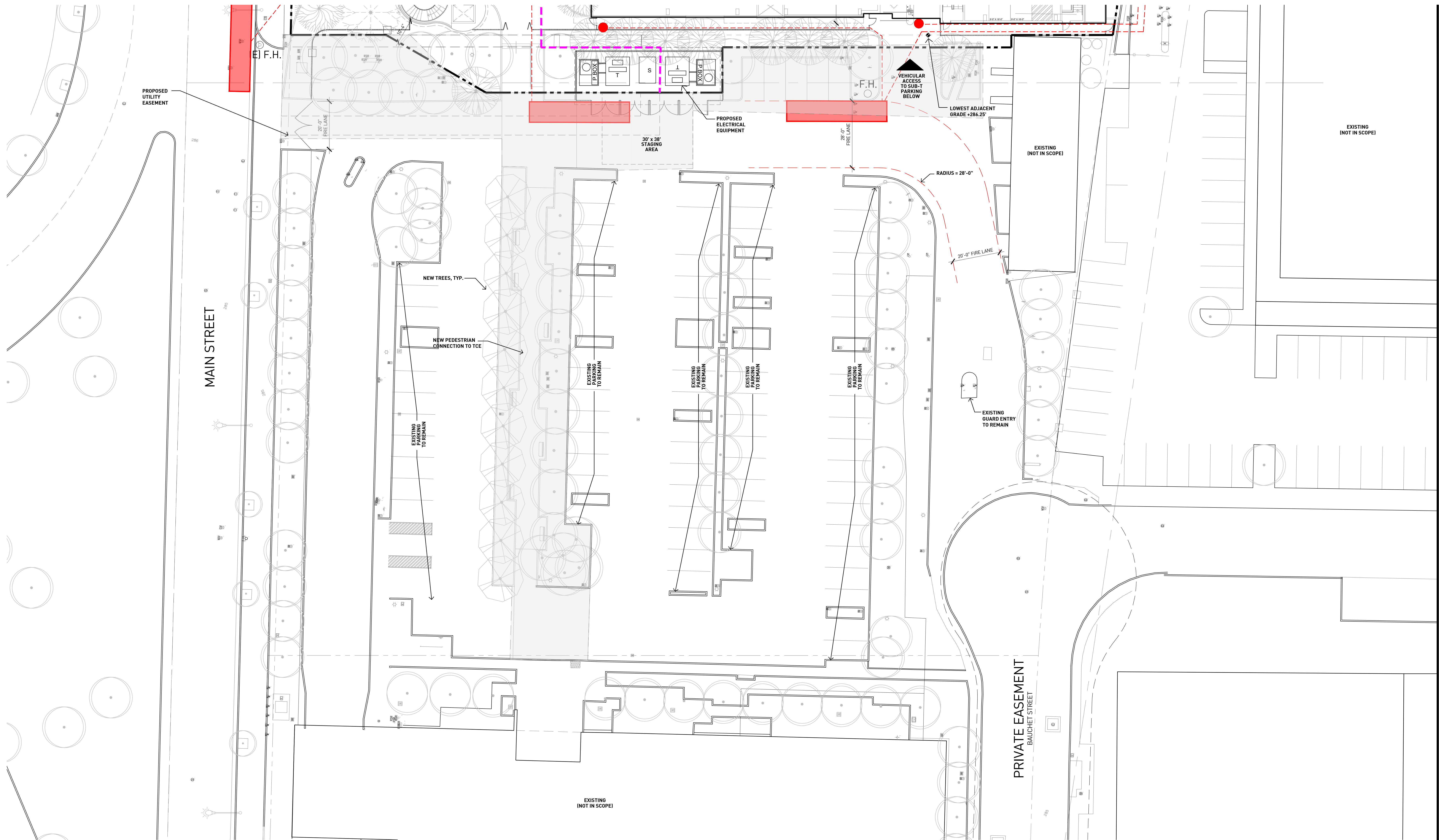


EXTERIOR LIGHTING NOTES

- 1) ALL SITE AND BUILDING MOUNTED LIGHTING SHALL BE DESIGNED SUCH THAT IT PRODUCES A MAXIMUM INITIAL LUMINANCE VALUE NO GREATER THAN 0.20 HORIZONTAL AND VERTICAL FOOT CANDLES AT THE SITE BOUNDARY, AND NO GREATER THAN 0.01 HORIZONTAL FOOT CANDLES 15 FEET BEYOND THE SITE. NO MORE THAN 5.0 PERCENT OF THE TOTAL INITIAL DESIGNED LUMENS SHALL BE EMITTED AT AN ANGLE OF 90 DEGREES OR HIGHER FROM THE NAIR (STRAIGHT DOWN).
- 2) ALL LOW PRESSURE SODIUM, HIGH PRESSURE SODIUM, METAL HALIDE, FLUORESCENT, QUARTZ, INCANDESCENT GREATER THAN 80 WATTS, MERCURY VAPOR, AND HALOGEN FIXTURES SHALL BE FULLY SHIELDED IN SUCH A MANNER AS TO NOT EXCEED THE LIMITATIONS IN SUBDIVISION 1, ABOVE.

GRAPHICS LEGEND

- EXISTING PROPERTY LINE
- - - PROPOSED PROPERTY LINE
- - - PROPOSED PHASING LINE
- - - EASEMENT
- - - HOSE PULL
- FIRE VEHICLE
- F.H. FIRE HYDRANT
- FDC FIRE DEPARTMENT CONNECTION
- ▲ VEHICLE ACCESS
- AREA OF WORK ON TCE PARKING



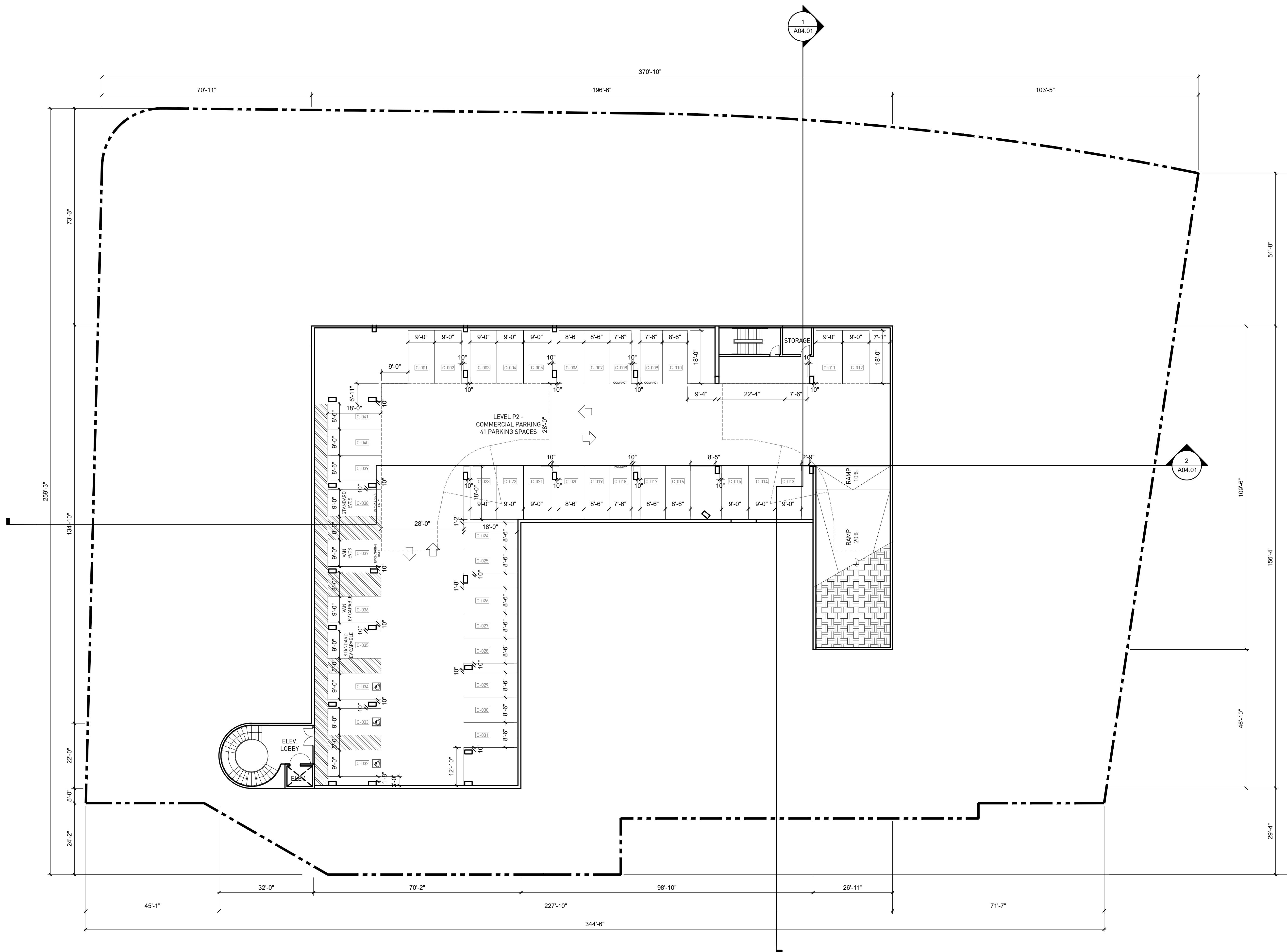
ENLARGED SITE PLAN - TCE CONNECTION | 1
1/16" = 1'-0"

EXTERIOR LIGHTING NOTES

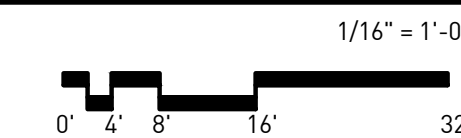
- 1) ALL SITE AND BUILDING MOUNTED LIGHTING SHALL BE DESIGNED SUCH THAT IT PRODUCES A MAXIMUM INITIAL LUMINANCE VALUE NO GREATER THAN 0.20 HORIZONTAL AND VERTICAL FOOT CANDLES AT THE SITE BOUNDARY, AND NO GREATER THAN 0.01 HORIZONTAL FOOT CANDLES 15 FEET BEYOND THE SITE. NO MORE THAN 5.0 PERCENT OF THE TOTAL INITIAL DESIGNED LUMENS SHALL BE EMITTED AT AN ANGLE OF 90 DEGREES OR HIGHER FROM THE NADIR (STRAIGHT DOWN).
- 2) ALL LOW PRESSURE SODIUM, HIGH PRESSURE SODIUM, METAL HALIDE, FLUORESCENT, QUARTZ, INCANDESCENT GREATER THAN 80 WATTS, MERCURY VAPOR, AND HALOGEN FIXTURES SHALL BE FULLY SHIELDED IN SUCH A MANNER AS TO NOT EXCEED THE LIMITATIONS IN SUBDIVISION 1, ABOVE.

GRAPHICS LEGEND

- EXISTING PROPERTY LINE
- - - PROPOSED PROPERTY LINE
- PROPOSED PHASING LINE
- - - EASEMENT
- - - HOSE PULL
- █ FIRE VEHICLE
- F.H. FIRE HYDRANT
- F.D.C. FIRE DEPARTMENT CONNECTION
- ▲ VEHICLE ACCESS
- █ AREA OF WORK ON TCE PARKING



FLOOR PLAN - LEVEL P2 | 1



245 East 3rd Street
 Long Beach, California 90802
 t 562.901.1500
 STUDIO-11.COM



3590 ELM AVENUE
 LONG BEACH, CA
 90807

**TCE MAIN,
 LOS ANGELES**

800 N. MAIN STREET,
 LOS ANGELES, CA,
 90012

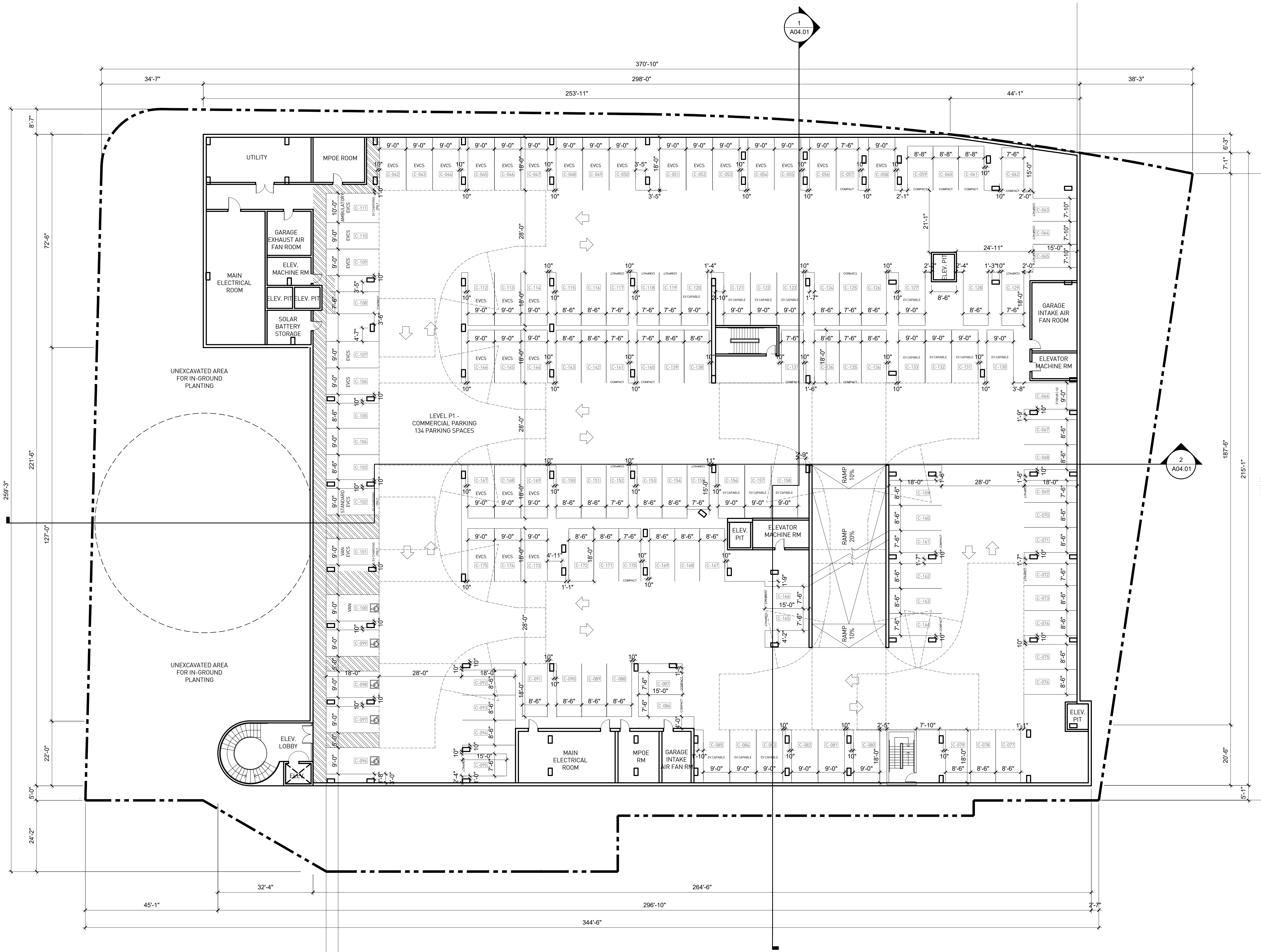
#	DATE	ISSUE
PZA SUBMITTAL	01/31/2024	
PZA RESUBMITTAL	03/15/2024	
ENTITLEMENT SUBM.	03/29/2024	
ENTITLEMENT SUBM.	04/19/2024	

JOB NO. 23-099

**FLOOR PLAN -
 LEVEL P2**

A01.00a

NOT ISSUED FOR CONSTRUCTION



FLOOR PLAN - LEVEL P1 | 1



**TCE MAIN,
 LOS ANGELES**

800 N. MAIN STREET,
 LOS ANGELES, CA,
 90012

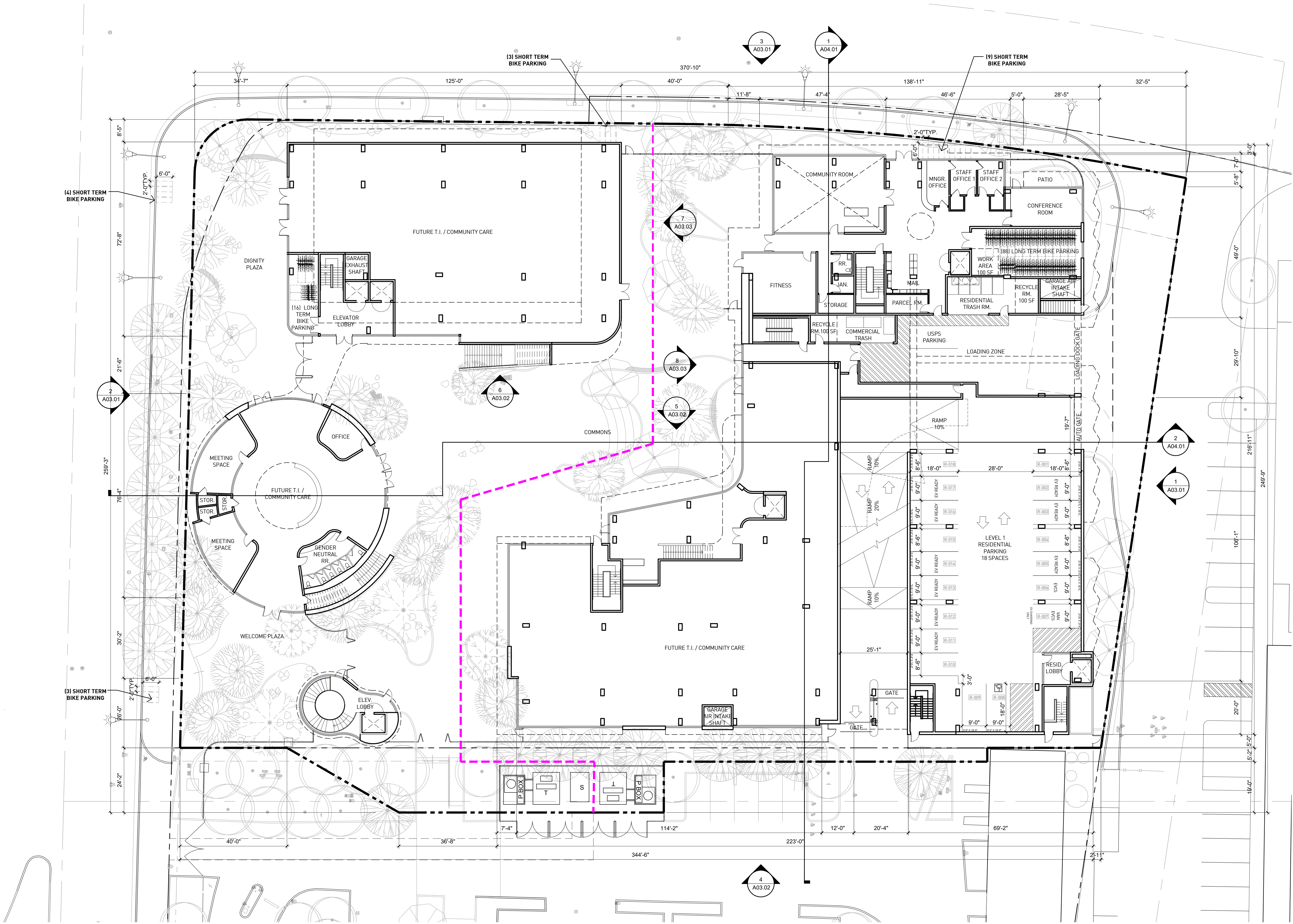
#	DATE	ISSUE
1	PZA SUBMITTAL	01/31/2024
2	PZA RESUBMITTAL	03/15/2024
3	ENTITLEMENT SUBM.	03/29/2024
4	ENTITLEMENT SUBM.	04/19/2024

JOB NO. 23-099

**FLOOR PLAN -
 LEVEL P1**

A01.00b

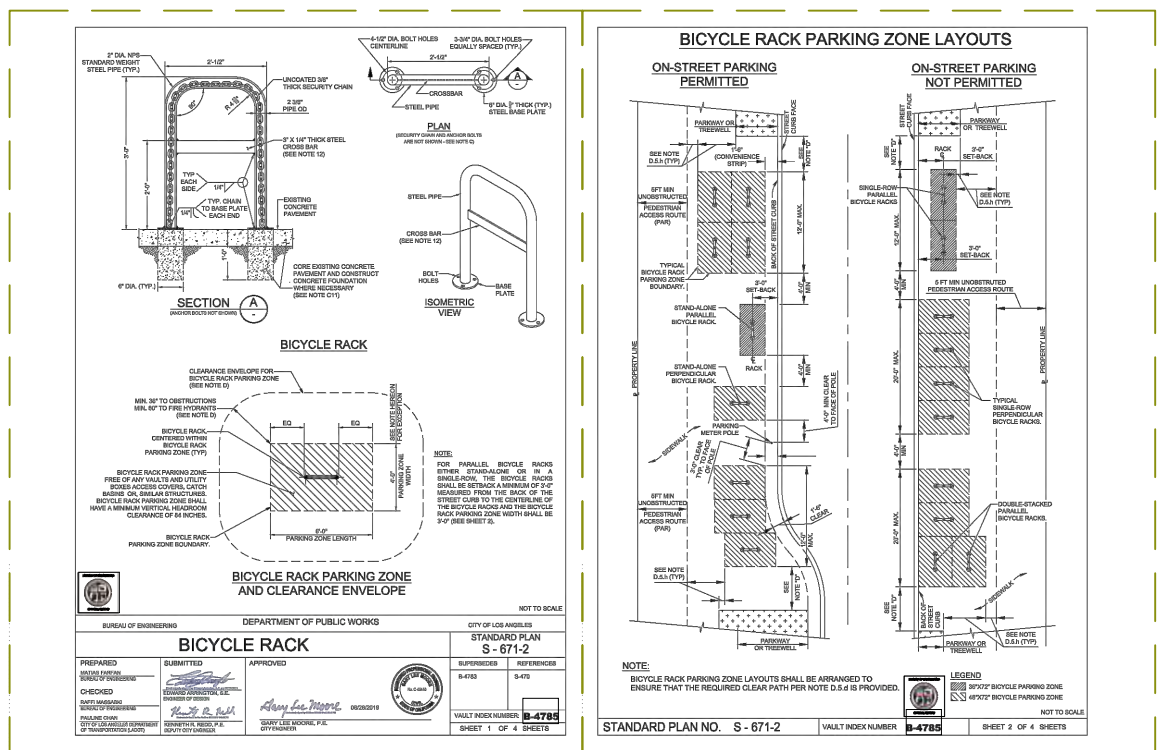
NOT ISSUED FOR CONSTRUCTION



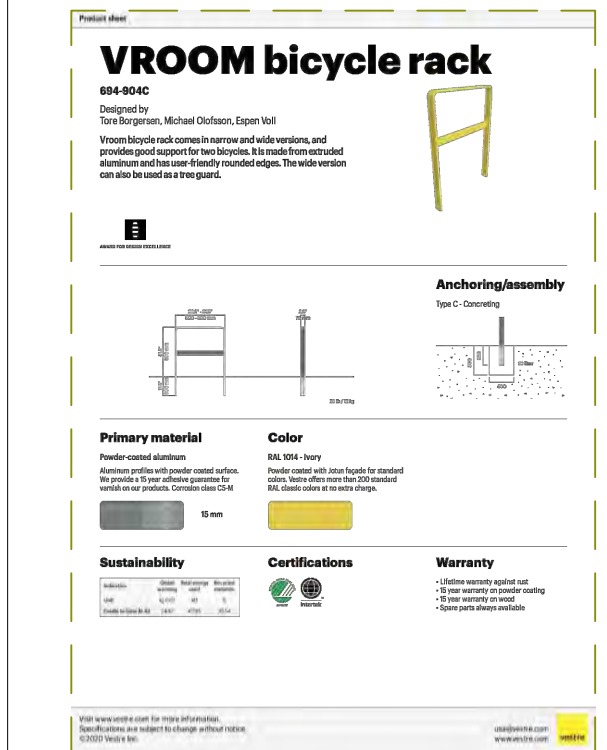
FLOOR PLAN - LEVEL 1 | 1



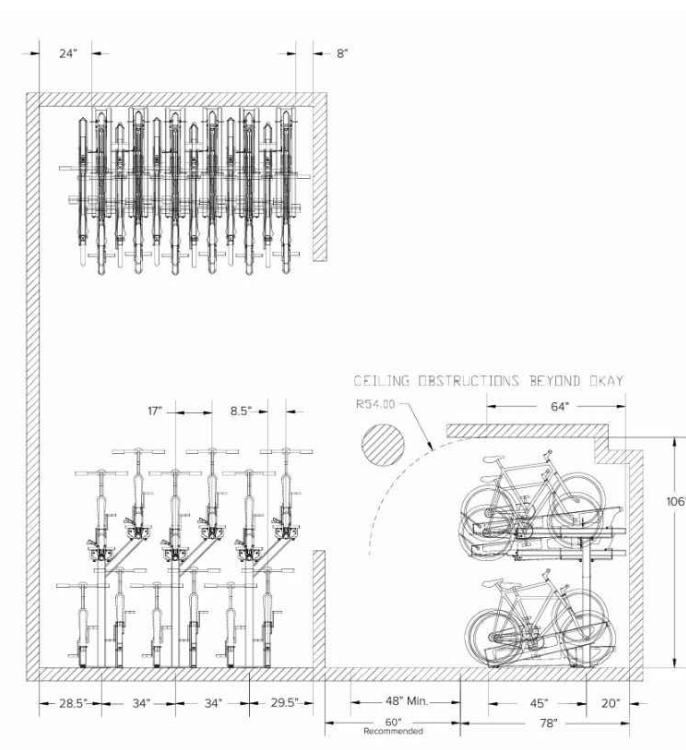
SHORT TERM BIKE RACK DETAIL - R.O.W.

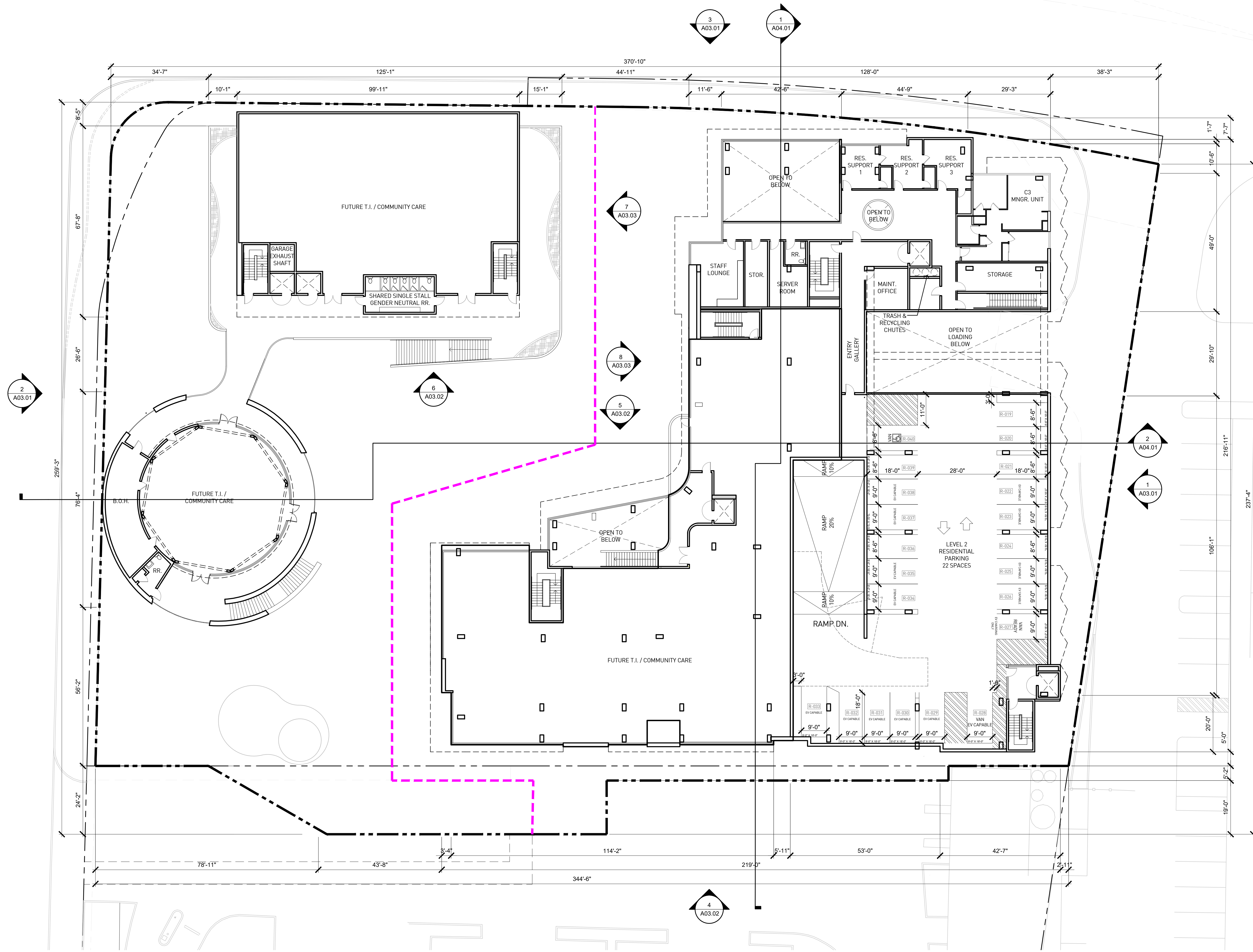


SHORT TERM BIKE RACK DETAIL

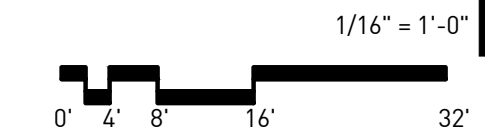


LONG TERM BIKE RACK DETAIL - MECHANICAL LIFT-ASSIST TOP TRAYS





FLOOR PLAN - LEVEL 2 | 1



**TCE MAIN,
LOS ANGELES**

800 N. MAIN STREET,
LOS ANGELES, CA,
90012

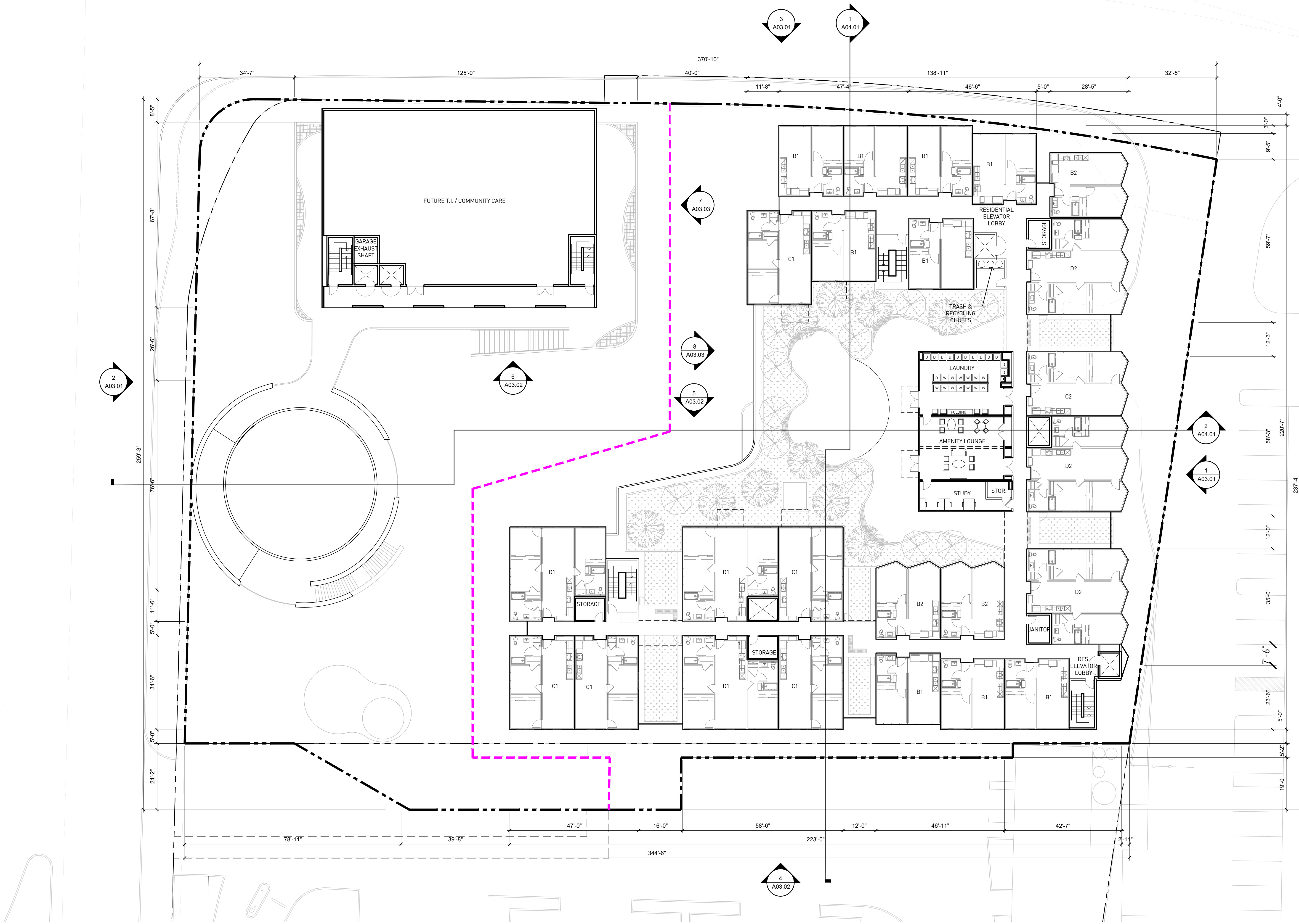
#	DATE	ISSUE
1	01/31/2024	PZA SUBMITTAL
2	03/15/2024	PZA RESUBMITTAL
3	03/29/2024	ENTITLEMENT SUBM.
4	04/19/2024	ENTITLEMENT SUBM.

JOB NO. 23-099

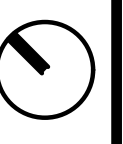
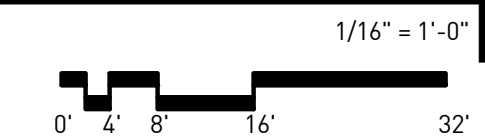
**FLOOR PLAN
LEVEL 2**

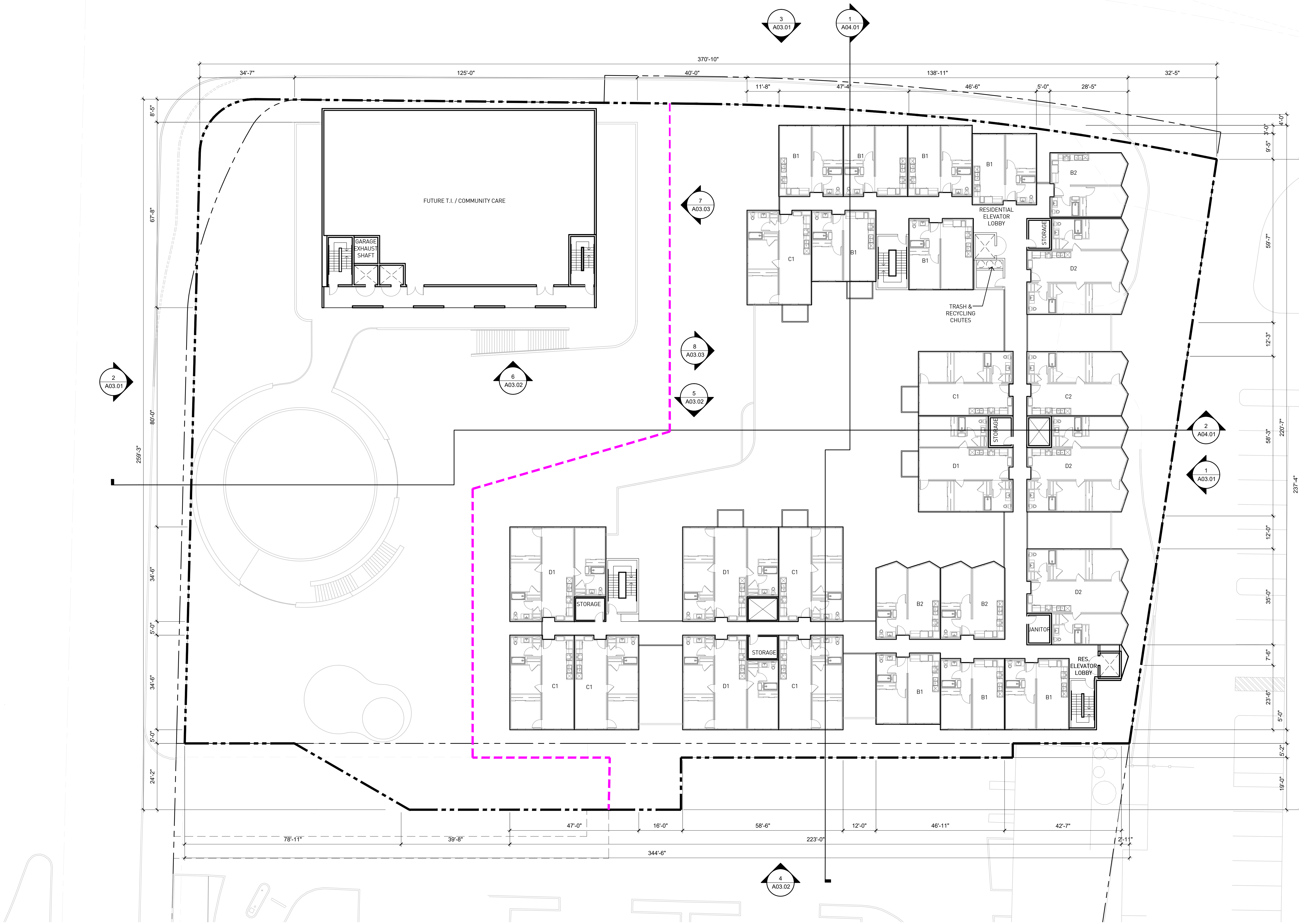
A01.02

NOT ISSUED FOR CONSTRUCTION

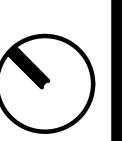
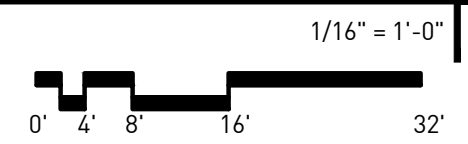


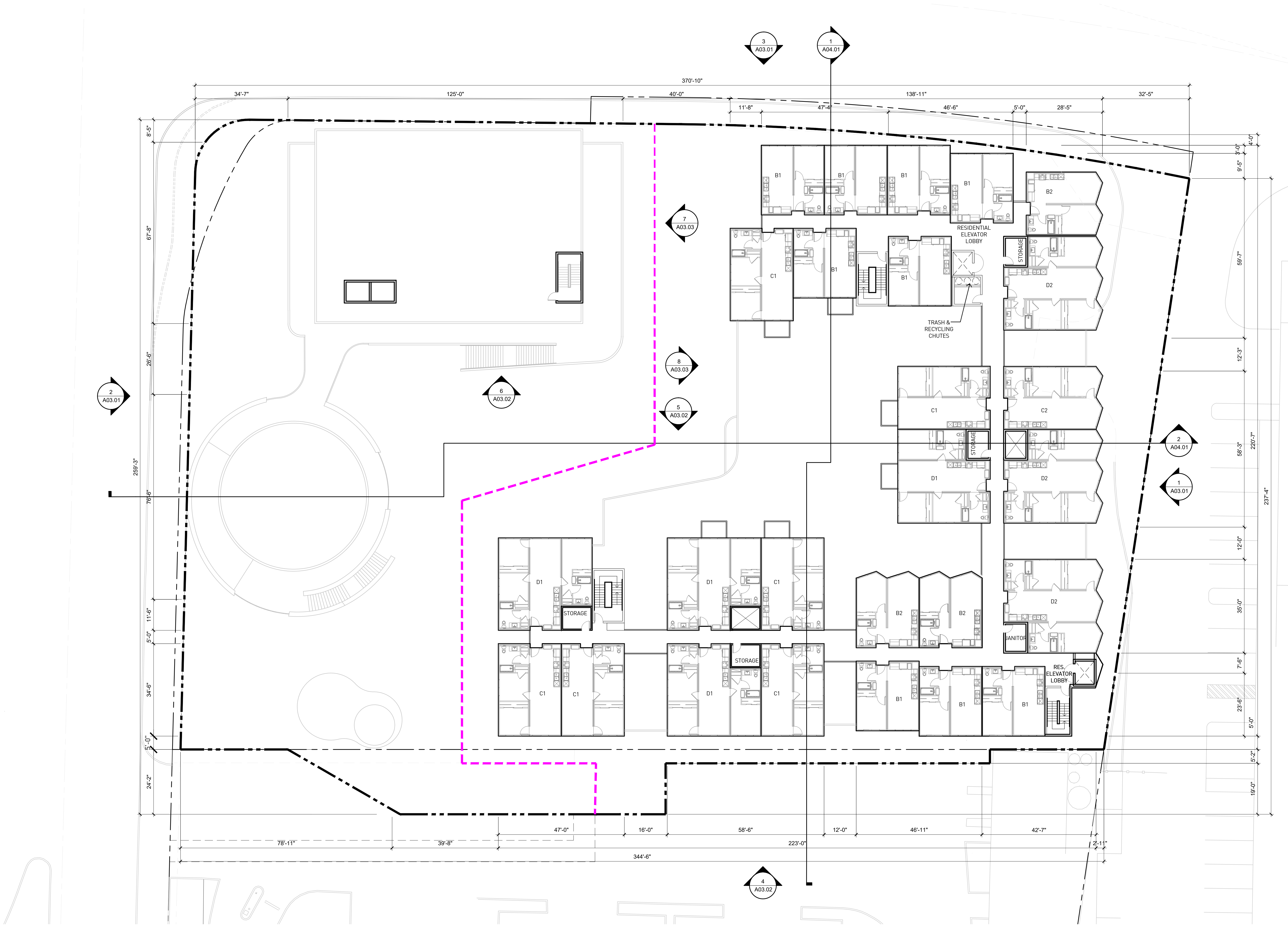
FLOOR PLAN - LEVEL 3 | 1



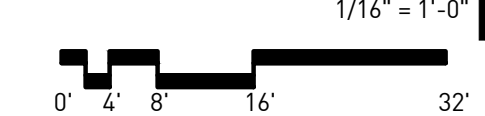


FLOOR PLAN - LEVEL 4 | 1





FLOOR PLAN - LEVEL 5 | 1



245 East 3rd Street
 Long Beach, California 90802
 t 662.901.1500
 studio-11.com



3590 ELM AVENUE
 LONG BEACH, CA
 90807

**TCE MAIN,
 LOS ANGELES**

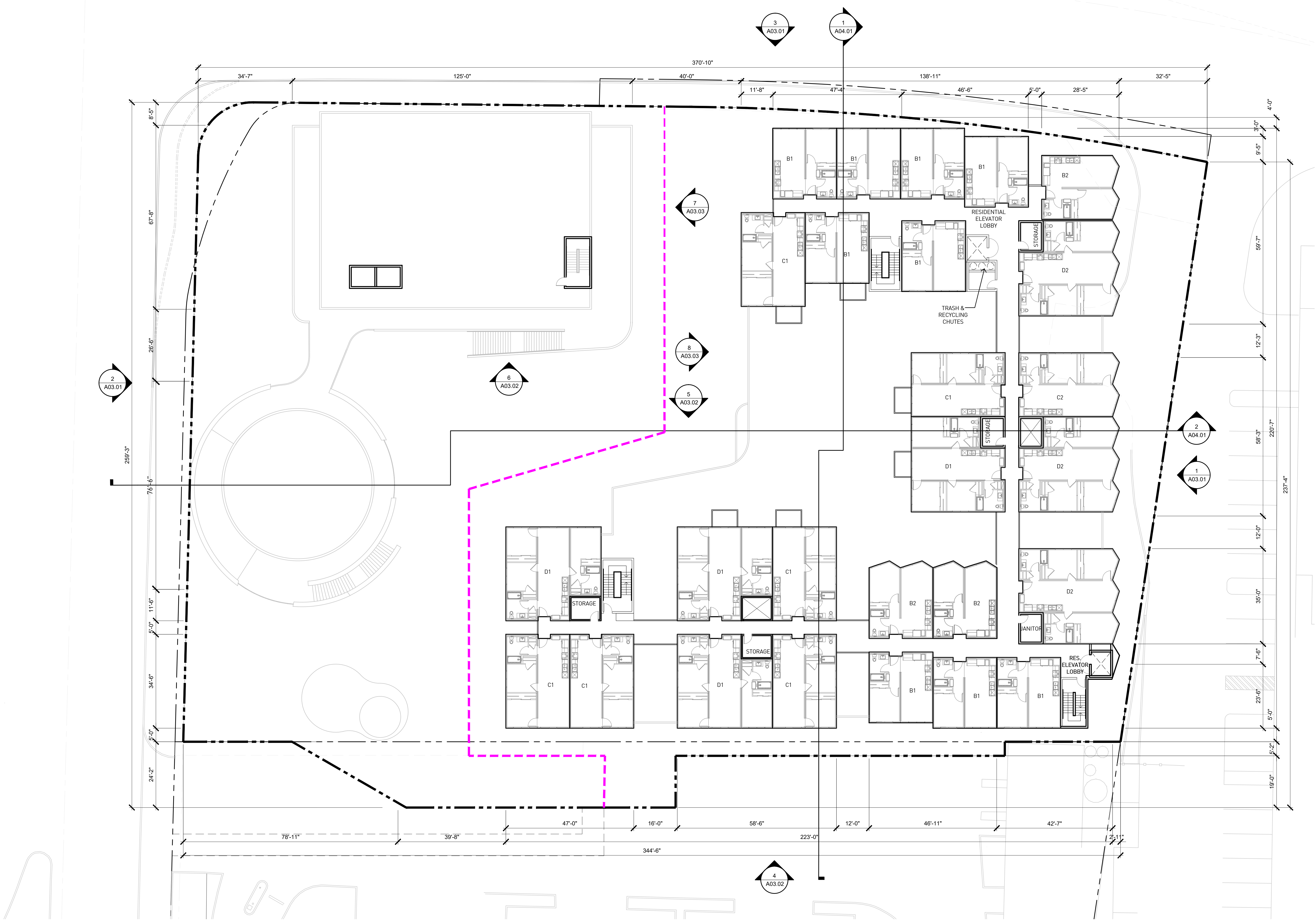
800 N. MAIN STREET,
 LOS ANGELES, CA,
 90012

#	DATE	ISSUE
1	01/31/2024	PZA SUBMITTAL
2	03/15/2024	PZA RESUBMITTAL
3	03/29/2024	ENTITLEMENT SUBM.
4	04/19/2024	ENTITLEMENT SUBM.

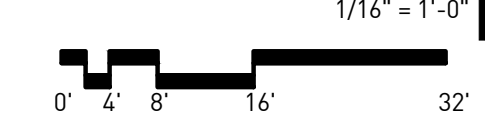
JOB NO. 23-099

**FLOOR PLAN
 LEVEL 5**

A01.05
 NOT ISSUED FOR CONSTRUCTION



FLOOR PLAN - LEVEL 6 | 1



245 East 3rd Street
 Long Beach, California 90802
 t 662.901.1500
 studio-11.com



3590 ELM AVENUE
 LONG BEACH, CA
 90807

**TCE MAIN,
 LOS ANGELES**

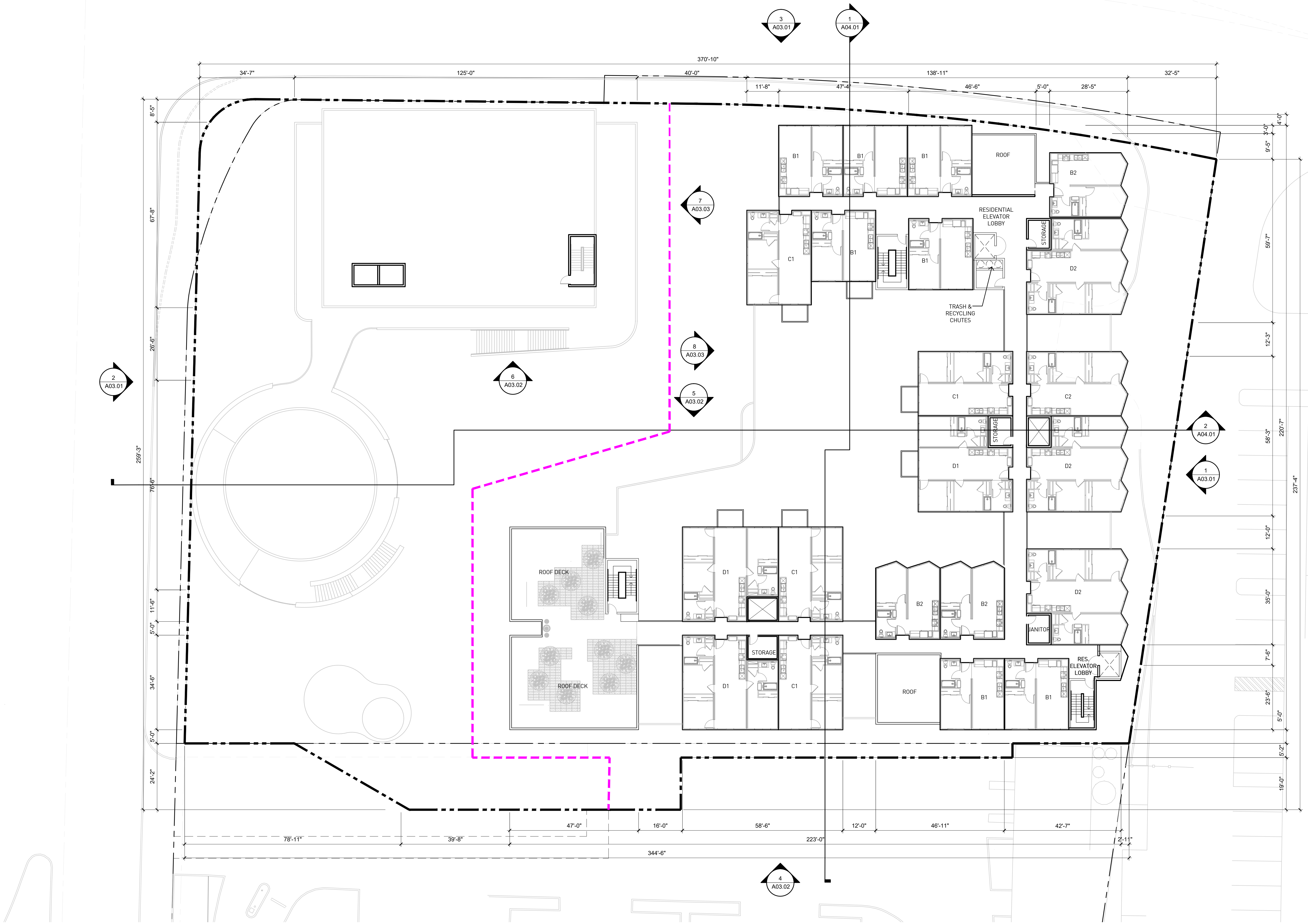
800 N. MAIN STREET,
 LOS ANGELES, CA,
 90012

#	DATE	ISSUE
1	01/31/2024	PZA SUBMITTAL
2	03/15/2024	PZA RESUBMITTAL
3	03/29/2024	ENTITLEMENT SUBM.
4	04/19/2024	ENTITLEMENT SUBM.

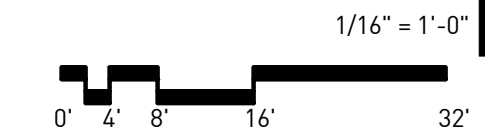
JOB NO. 23-099

**FLOOR PLAN
 LEVEL 6**

A01.06
 NOT ISSUED FOR CONSTRUCTION



FLOOR PLAN - LEVEL 7 | 1



**TCE MAIN,
LOS ANGELES**

800 N. MAIN STREET,
LOS ANGELES, CA,
90012

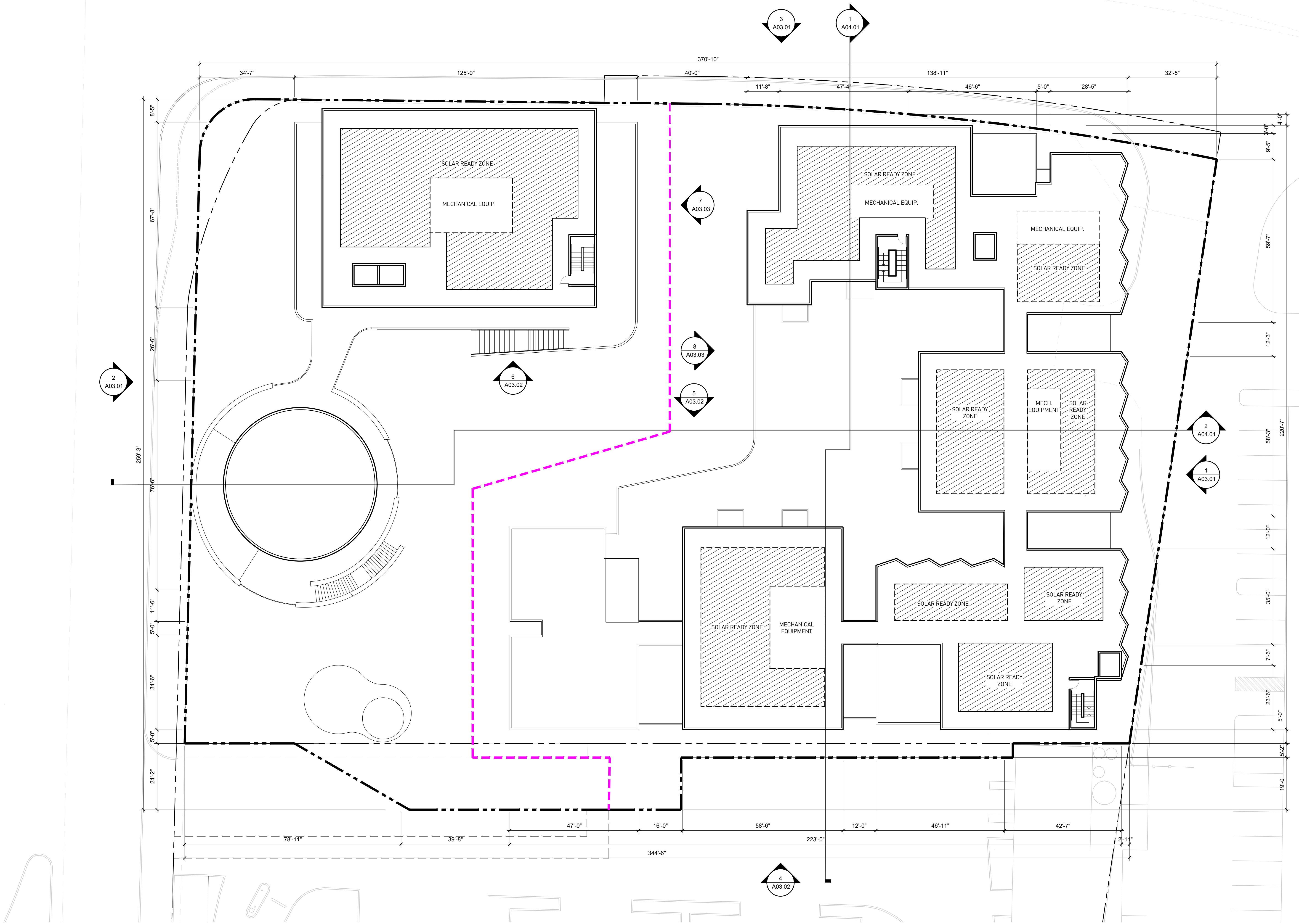
#	DATE	ISSUE
1	01/31/2024	PZA SUBMITTAL
2	03/15/2024	PZA RESUBMITTAL
3	03/29/2024	ENTITLEMENT SUBM.
4	04/19/2024	ENTITLEMENT SUBM.

JOB NO. 23-099

**FLOOR PLAN
LEVEL 7**

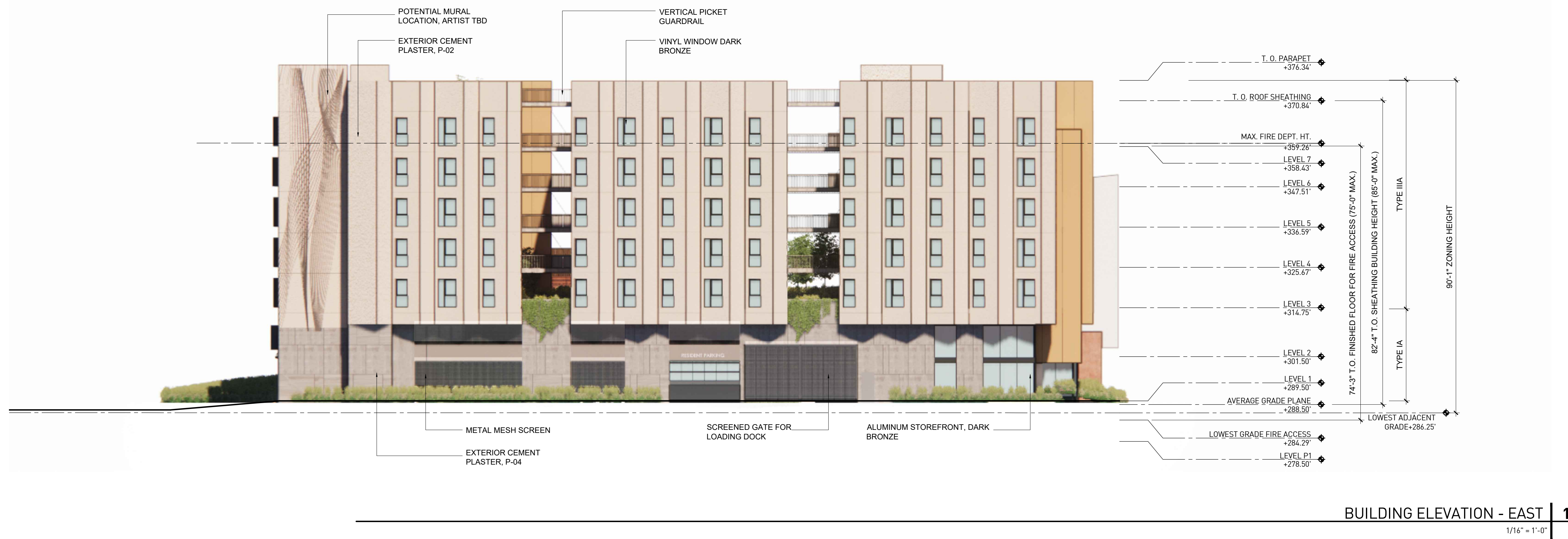
A01.07

NOT ISSUED FOR CONSTRUCTION



ROOF PLAN | 1
1/16" = 1'-0"

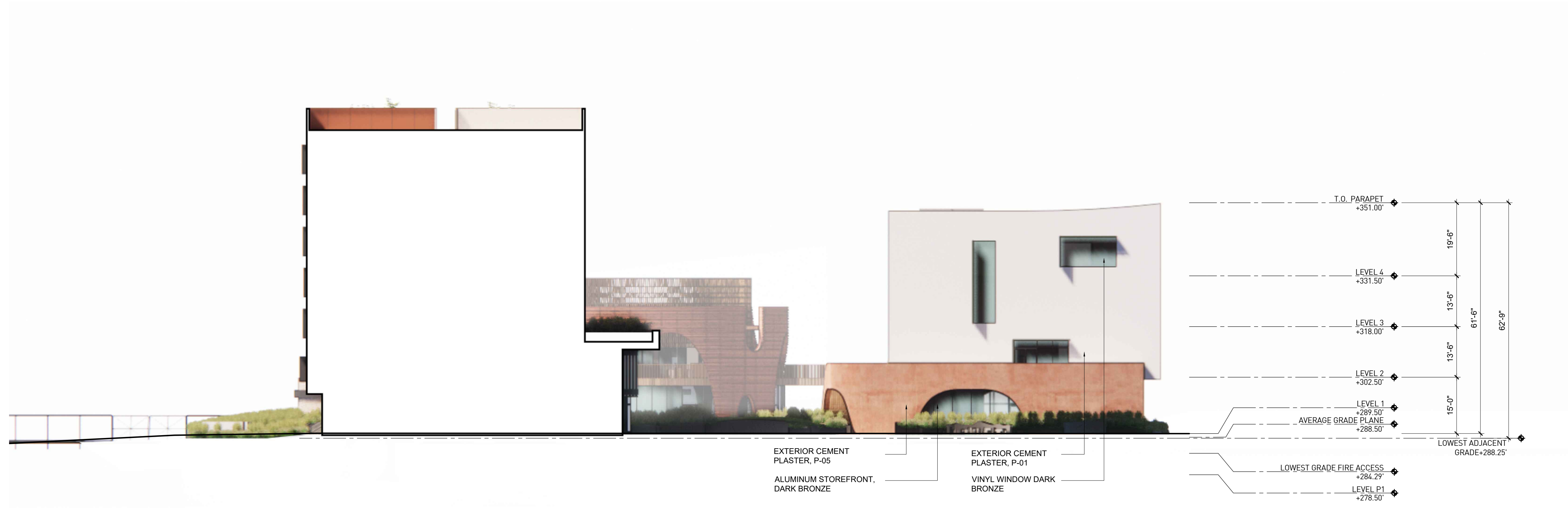
#	DATE	ISSUE
1	01/31/2024	PZA SUBMITTAL
2	03/15/2024	PZA RESUBMITTAL
3	03/29/2024	ENTITLEMENT SUBM.
4	04/19/2024	ENTITLEMENT SUBM.



Note: Refer to sheet A07.01 for exterior materials, textures, and colors.



Note: Refer to sheet A07.01 for exterior materials, textures, and colors.



INTERIOR ELEVATION - EAST | 7

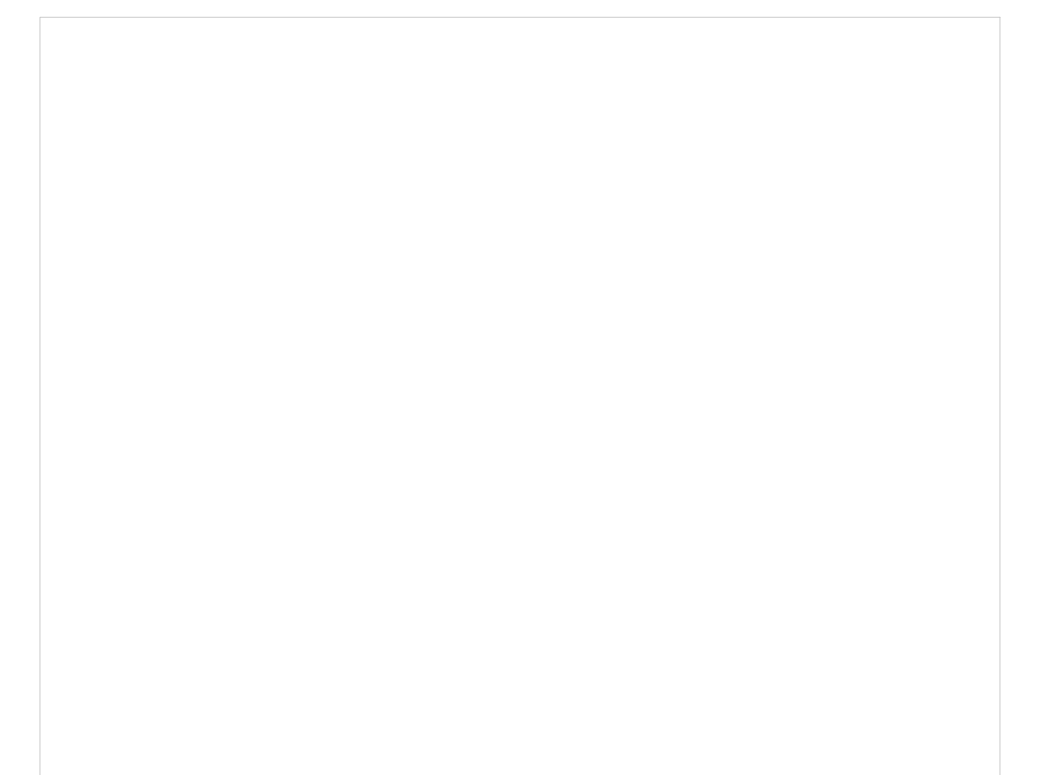
1/16" = 1'-0"

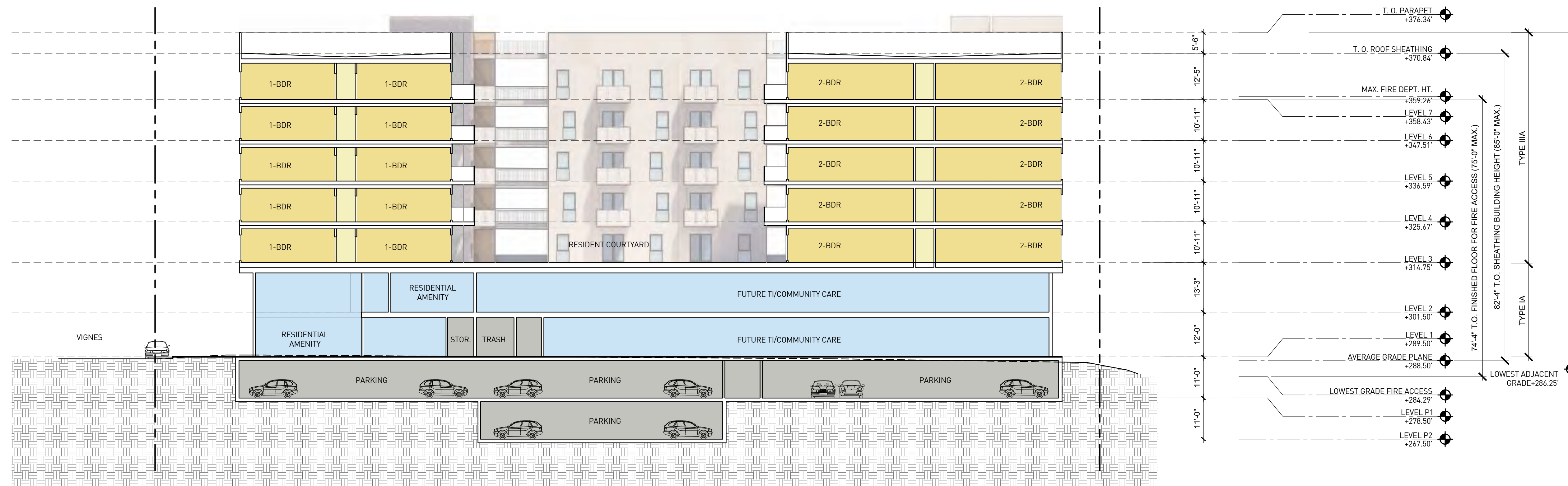


INTERIOR ELEVATION - WEST | 8

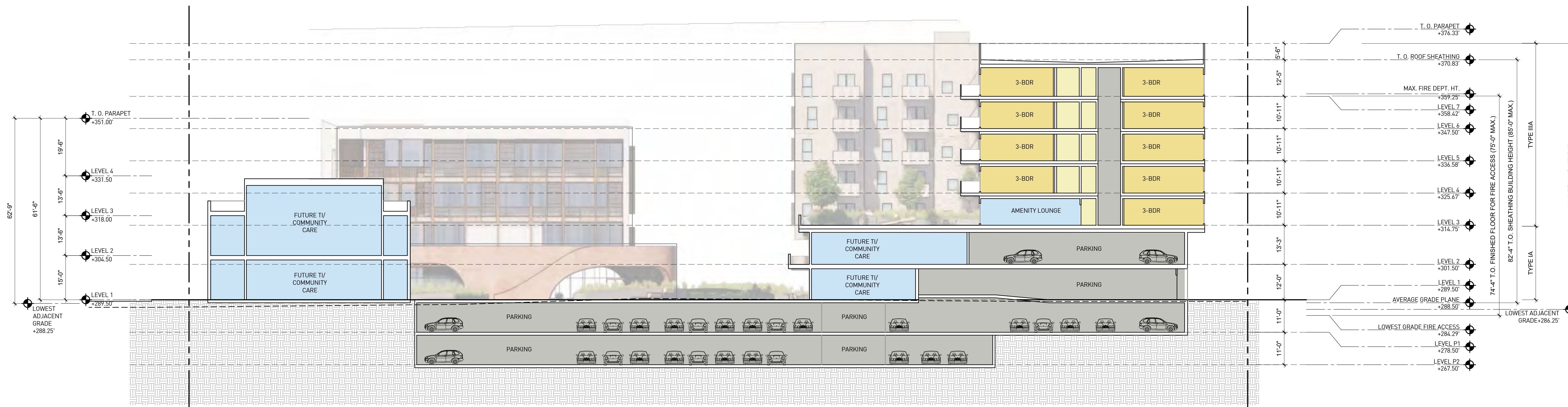
1/16" = 1'-0"

Note: Refer to sheet A07.01 for exterior materials, textures, and colors.





NORTH-SOUTH BUILDING SECTION | 1
1/16" = 1'-0"



EAST-WEST BUILDING SECTION B-B | 2
1/16" = 1'-0"

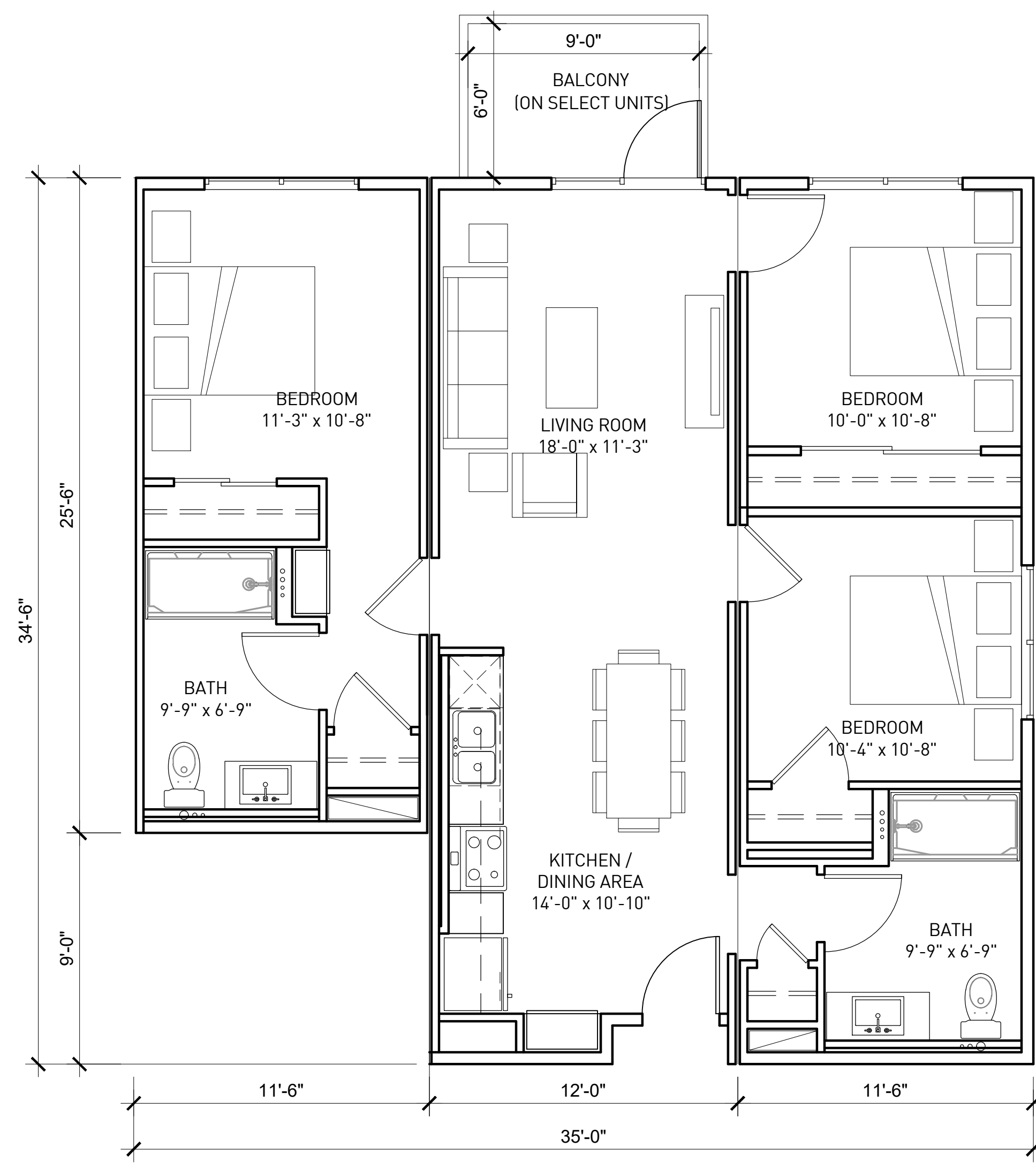
TCE MAIN,
LOS ANGELES

800 N. MAIN STREET,
LOS ANGELES, CA,
90012

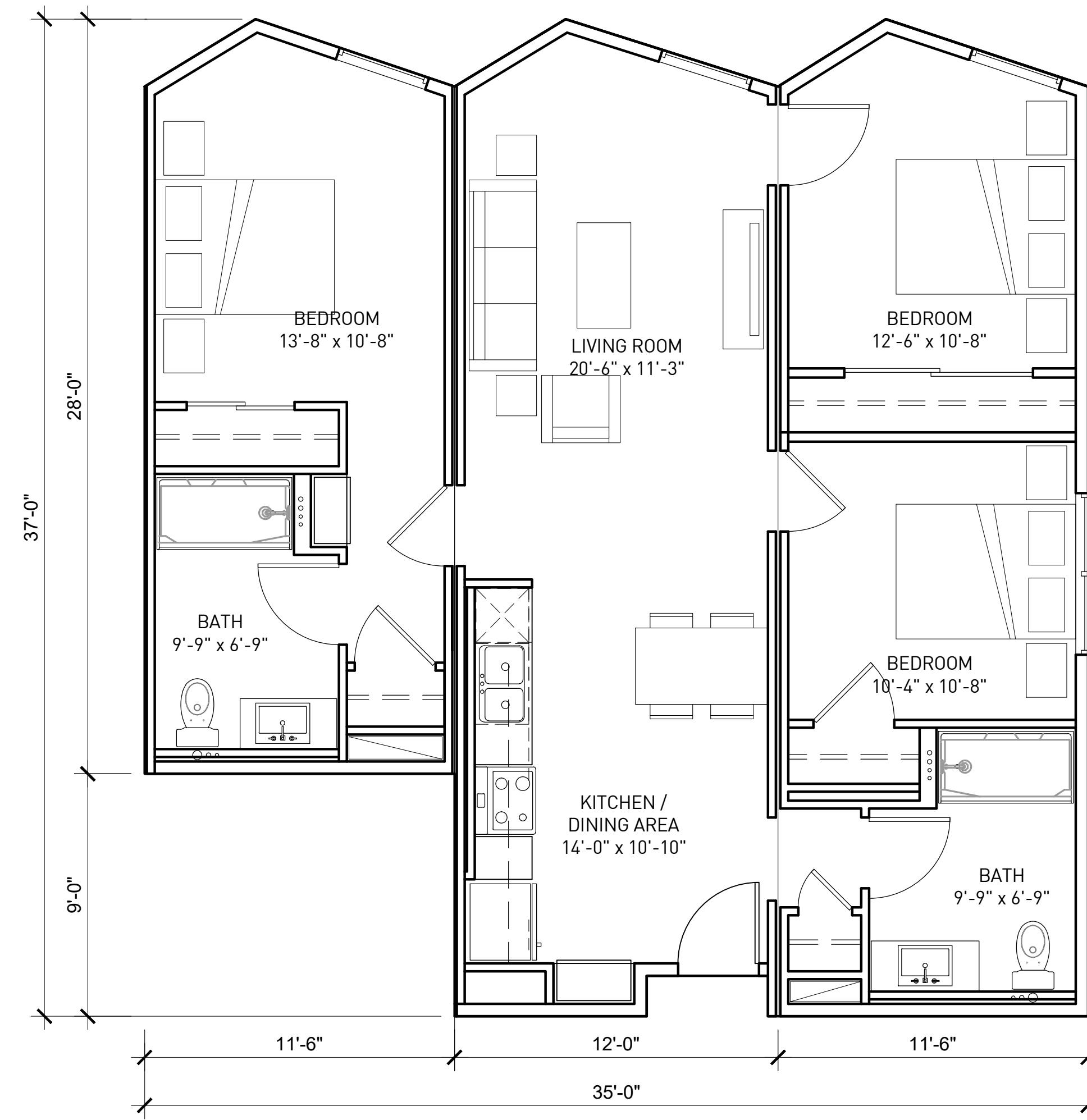
#	DATE	ISSUE
1	PZA SUBMITTAL	01/31/2024
2	PZA RESUBMITTAL	03/15/2024
3	ENTITLEMENT SUBM.	03/29/2024
4	ENTITLEMENT SUBM.	04/19/2024

JOB NO. 23-099

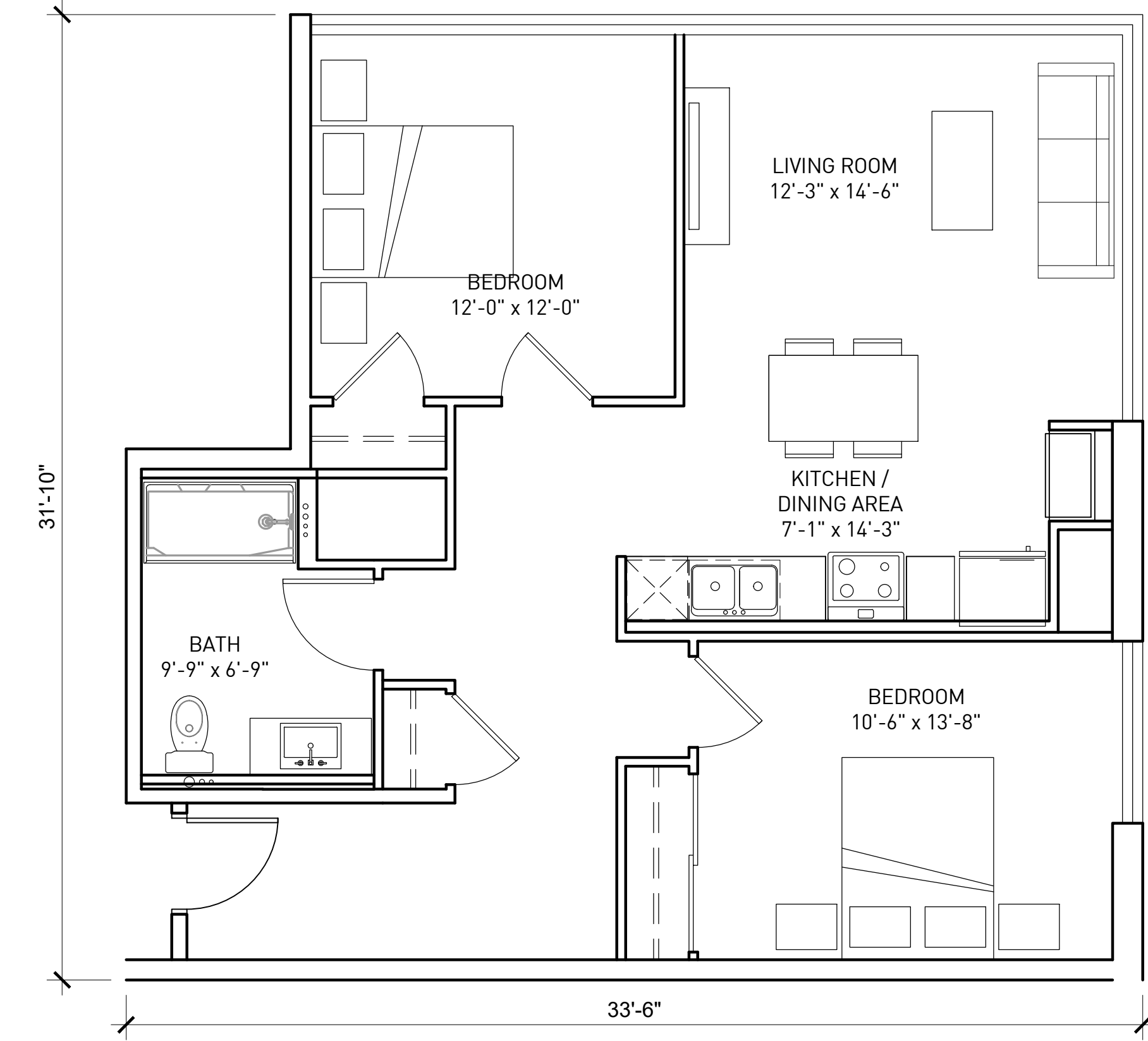
BUILDING SECTIONS



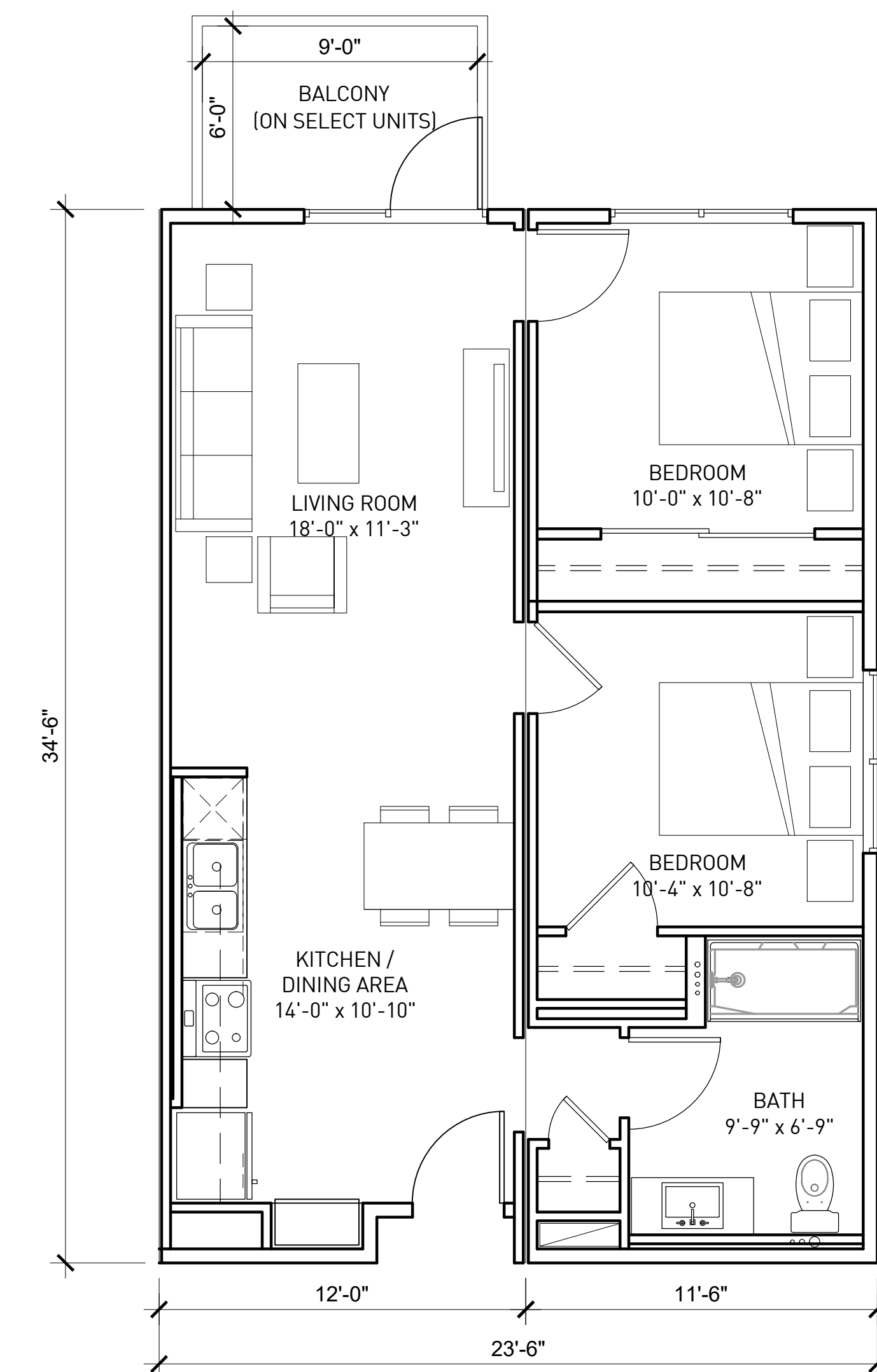
UNIT D1
3 BEDROOM + 2 BATHS
1097 SQ. FT.



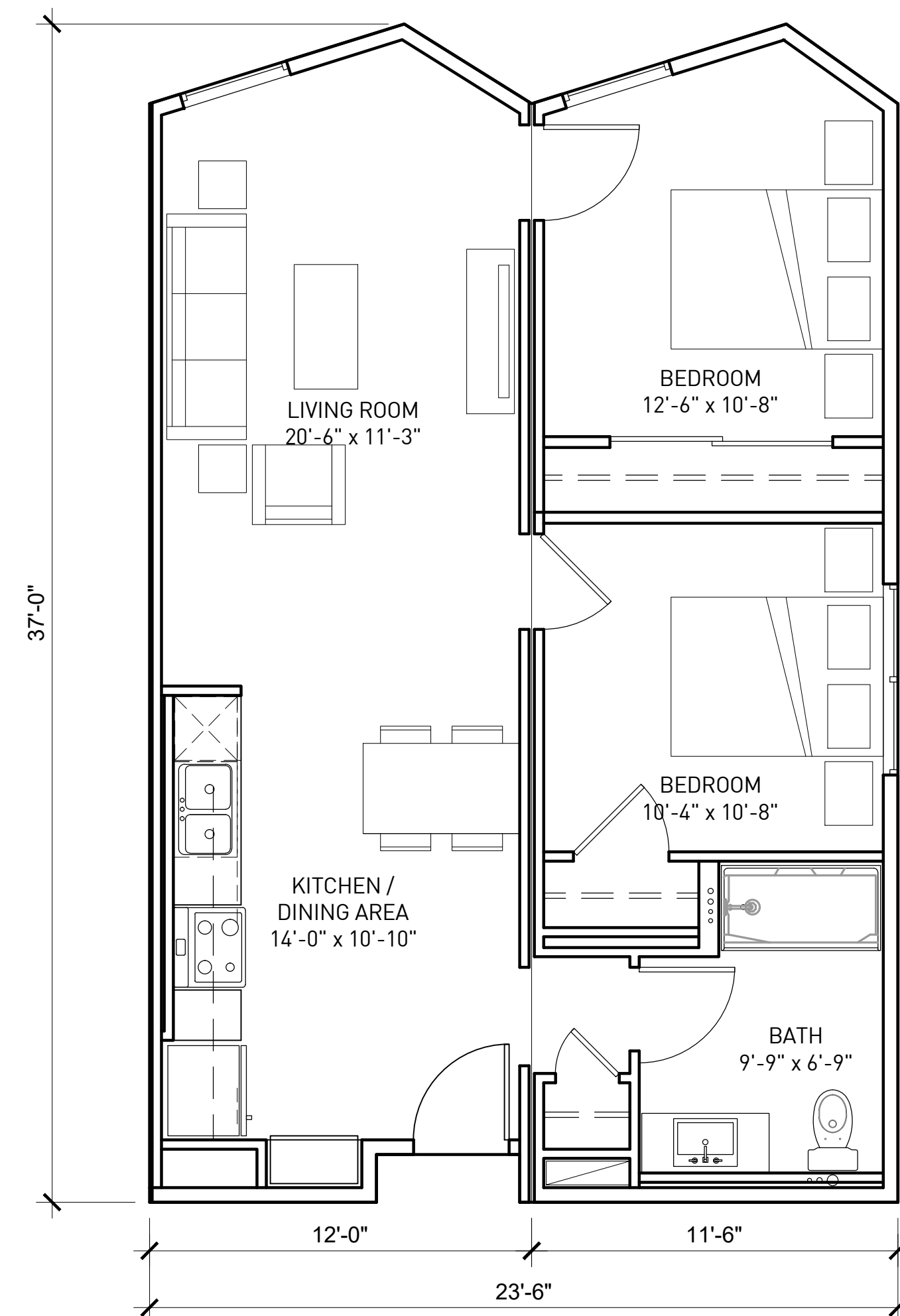
UNIT D2
3 BEDROOM + 2 BATHS
1141 SQ. FT.



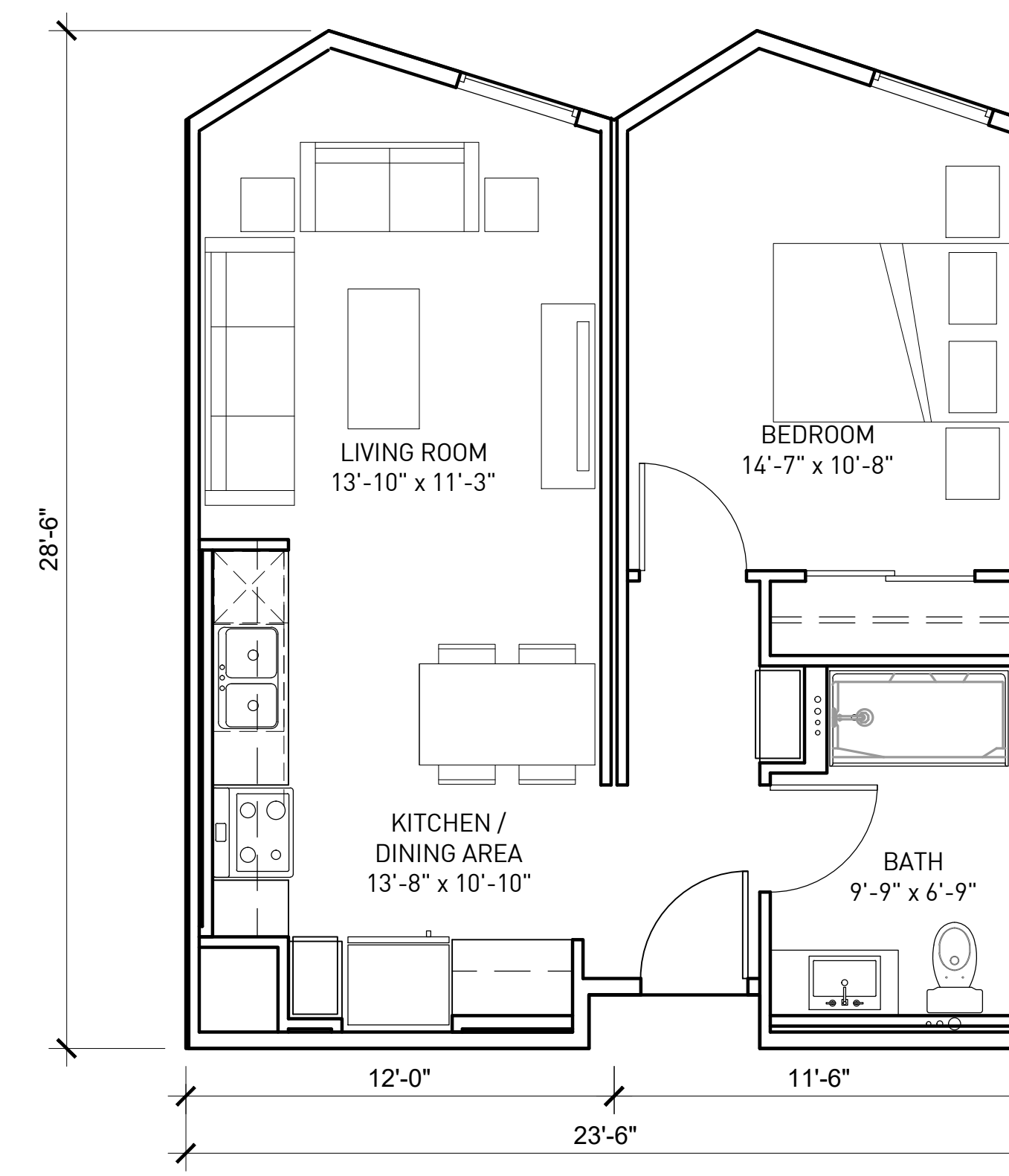
UNIT C3
2 BEDROOM + 1 BATH
962 SQ. FT.



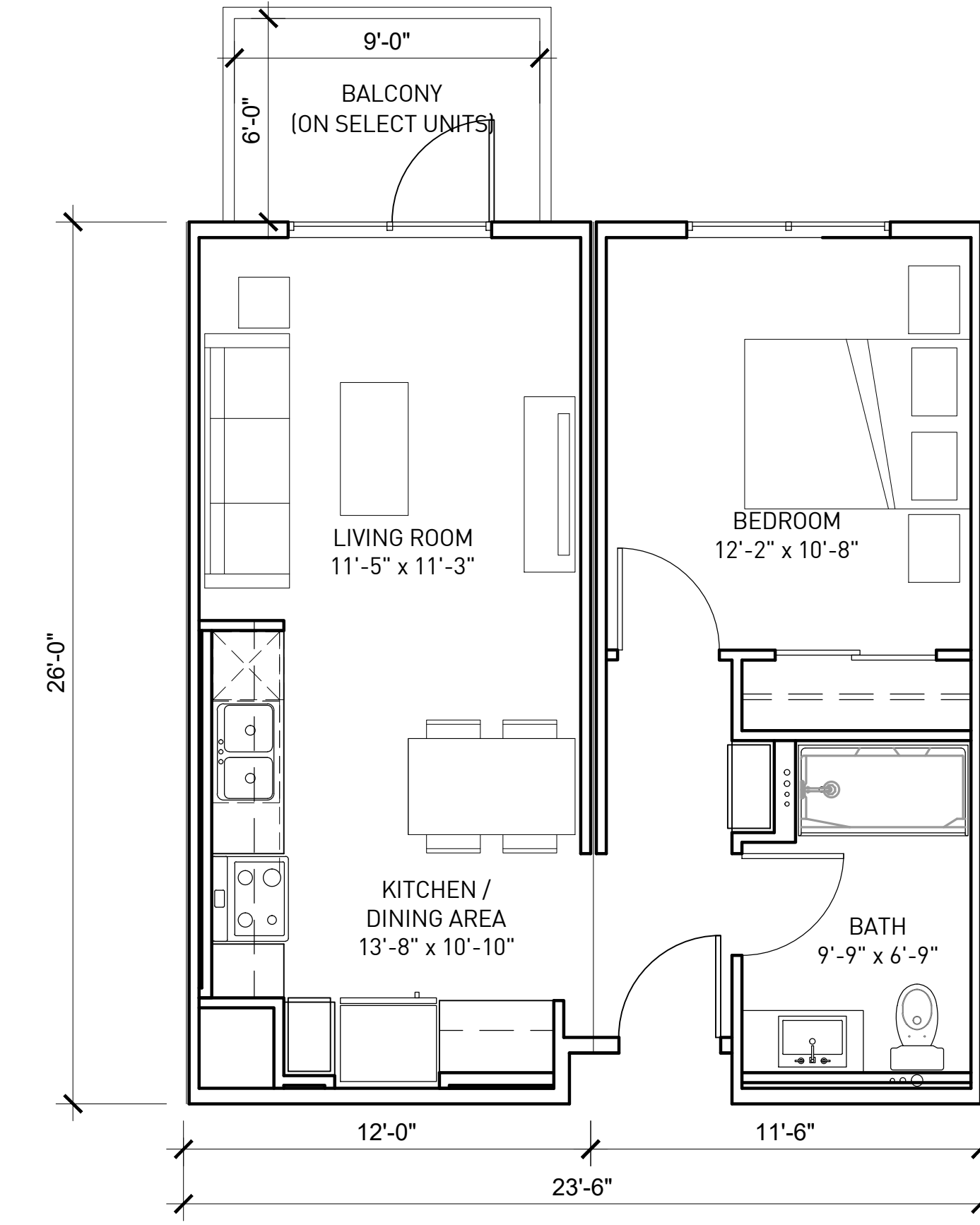
UNIT C1
2 BEDROOM + 1 BATH
804 SQ. FT.



UNIT C2
2 BEDROOM + 1 BATH
833 SQ. FT.



UNIT B2
1 BEDROOM + 1 BATH
633 SQ. FT.



UNIT B1
1 BEDROOM + 1 BATH
604 SQ. FT.

**TCE MAIN,
LOS ANGELES**

800 N. MAIN STREET,
LOS ANGELES, CA
90012

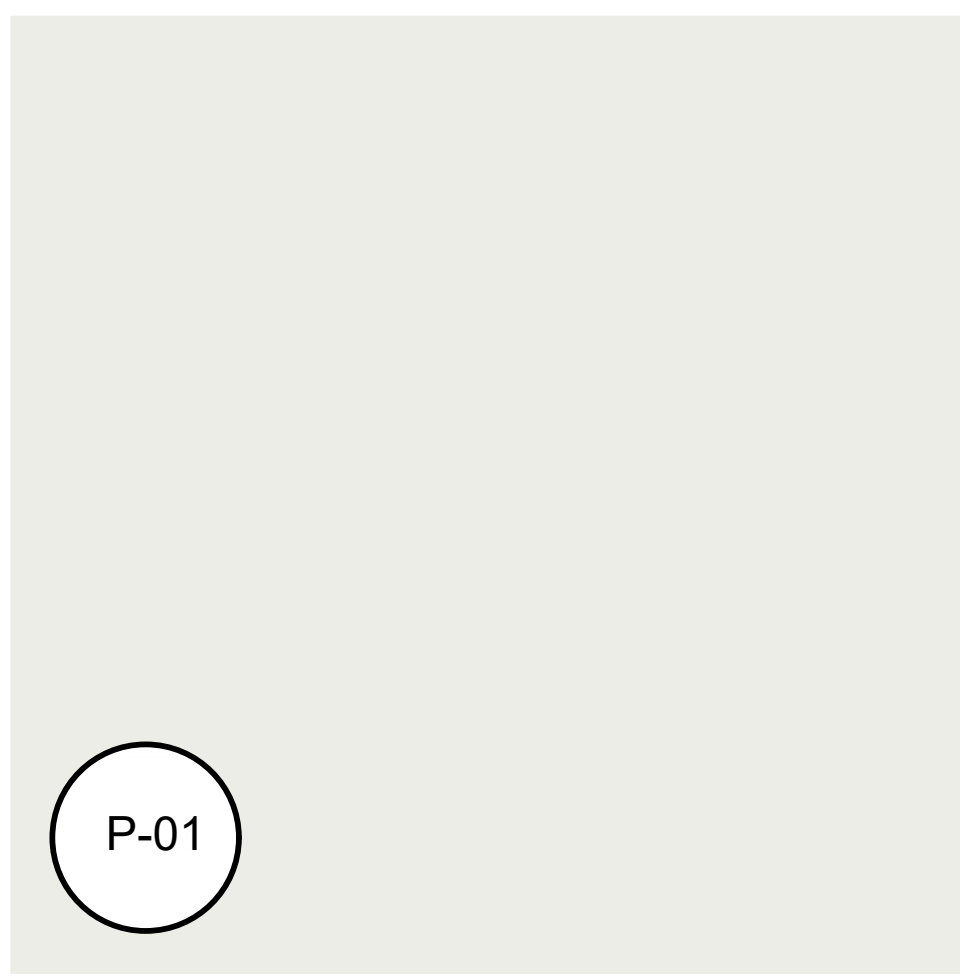
#	DATE	ISSUE
1	PZA SUBMITTAL	01/31/2024
2	PZA RESUBMITTAL	03/15/2024
3	ENTITLEMENT SUBM.	03/29/2024
4	ENTITLEMENT SUBM.	04/19/2024

JOB NO. 23-099

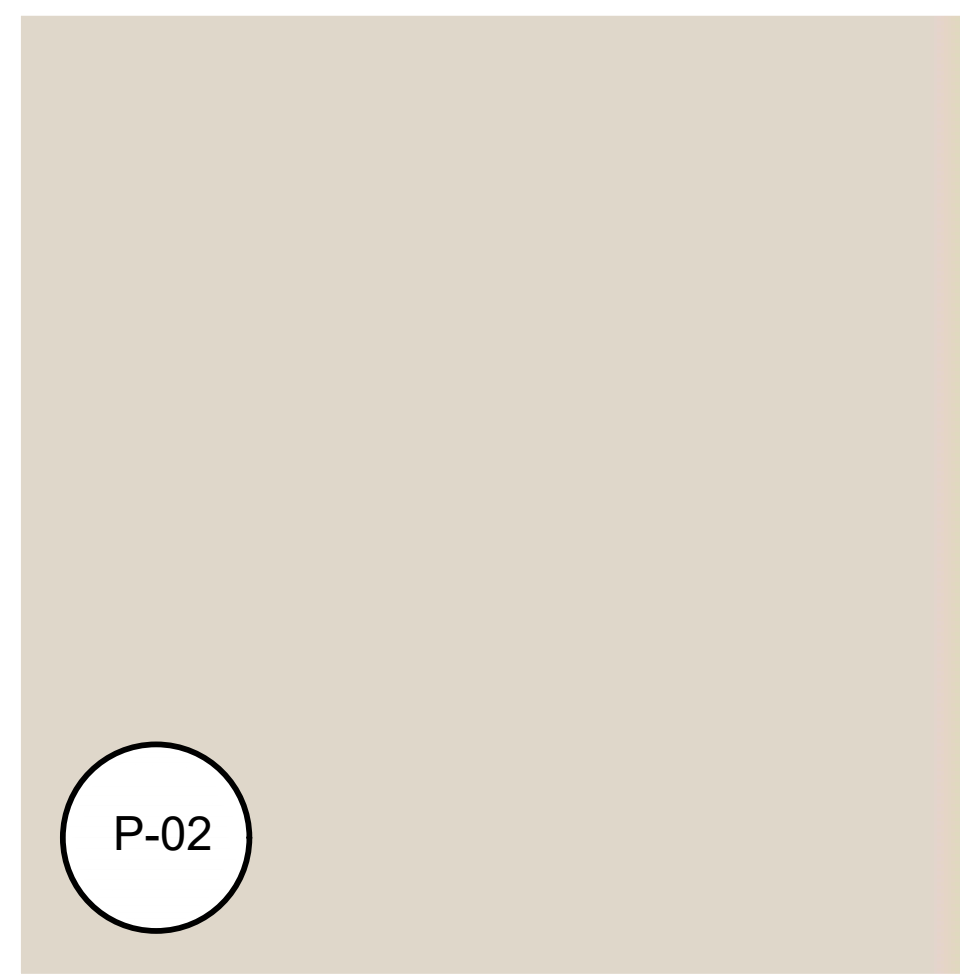
**TYPICAL
ENLARGED UNIT
PLANS**

A6.01

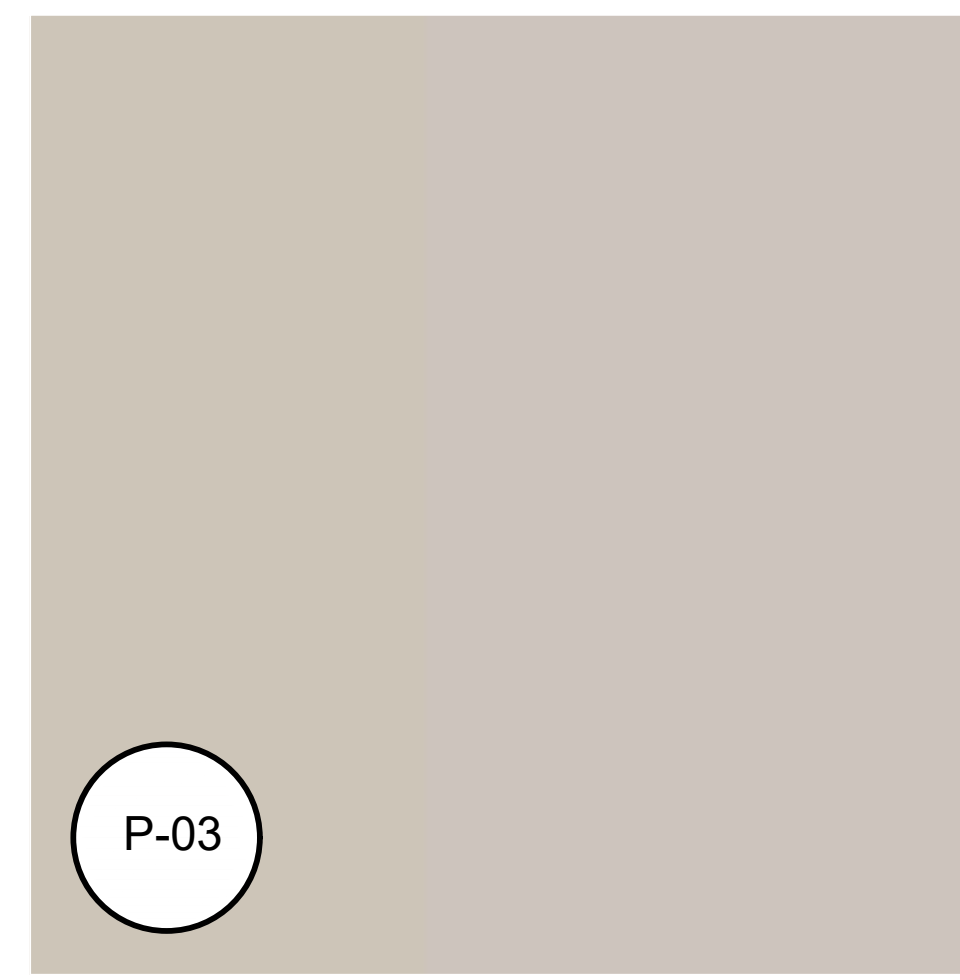
NOT ISSUED FOR CONSTRUCTION



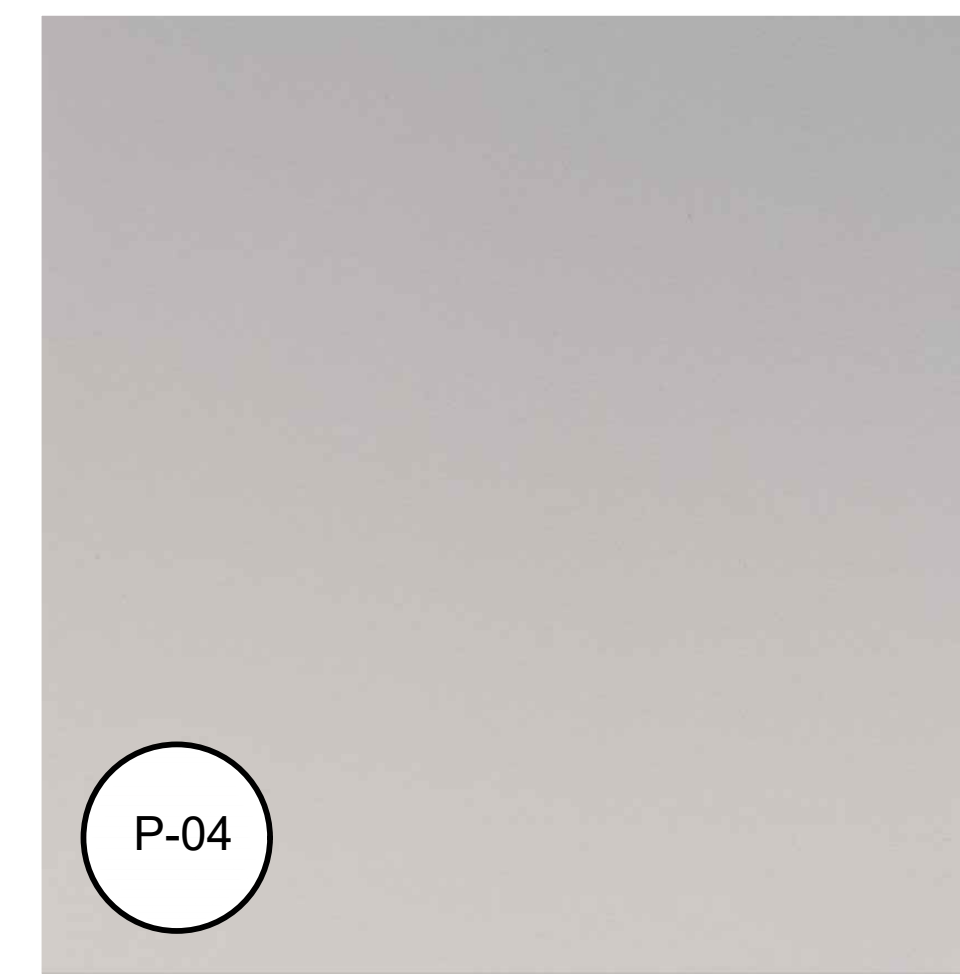
P-01



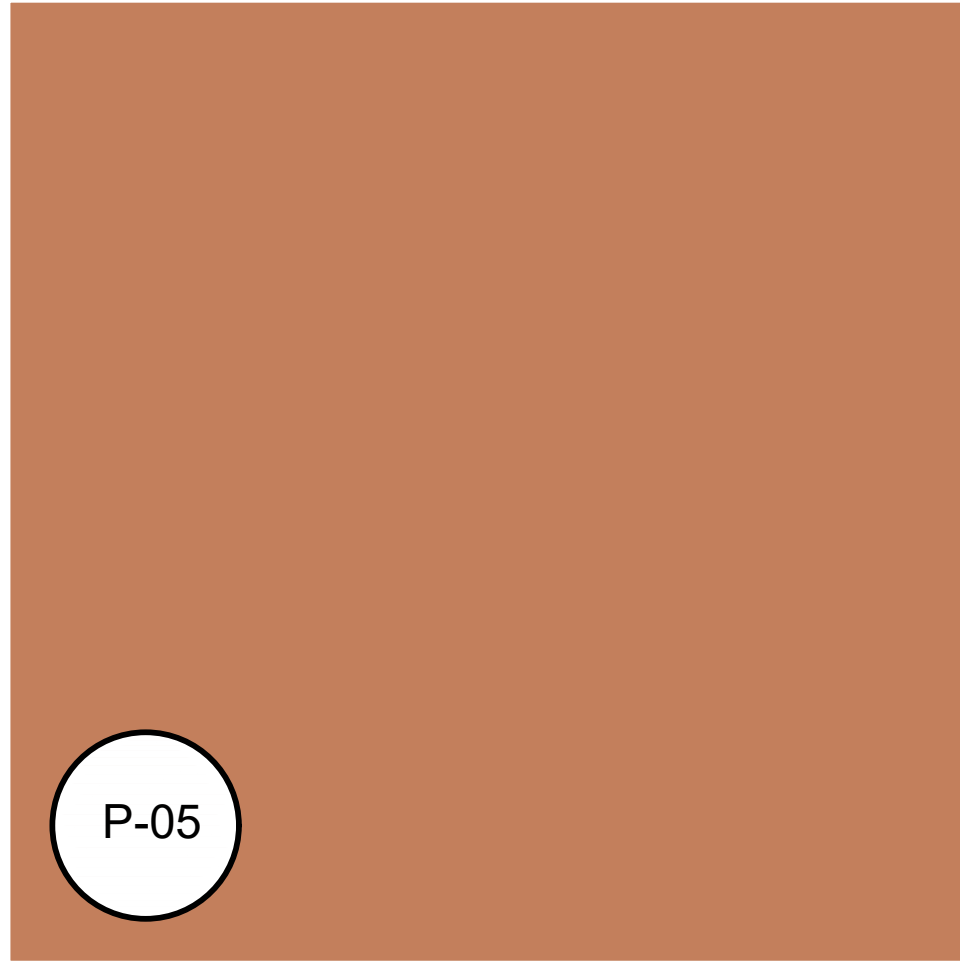
P-02



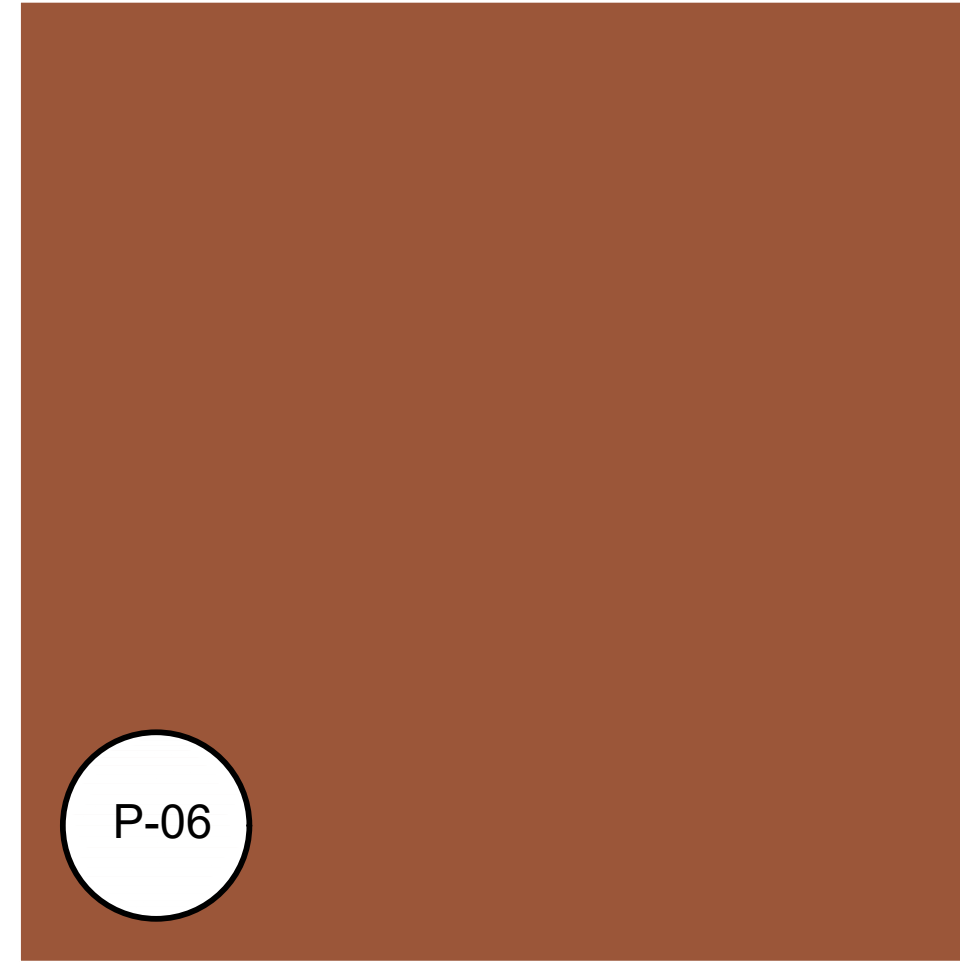
P-03



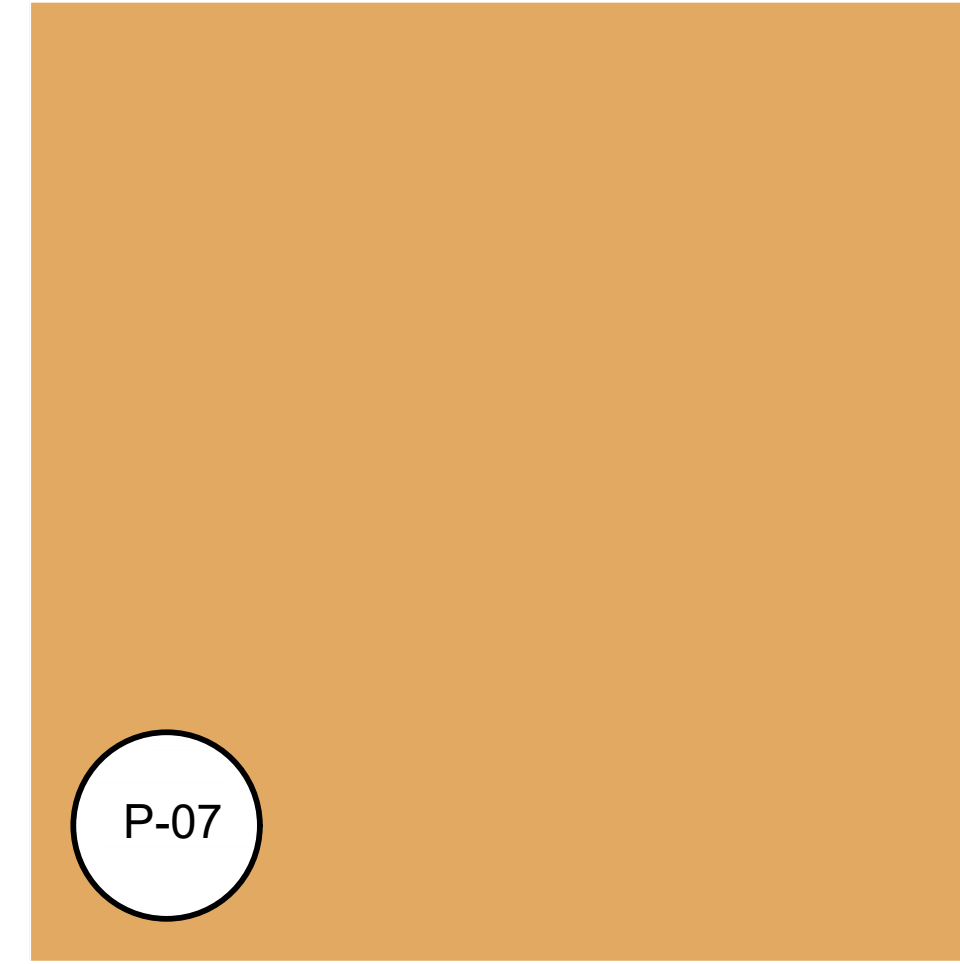
P-04



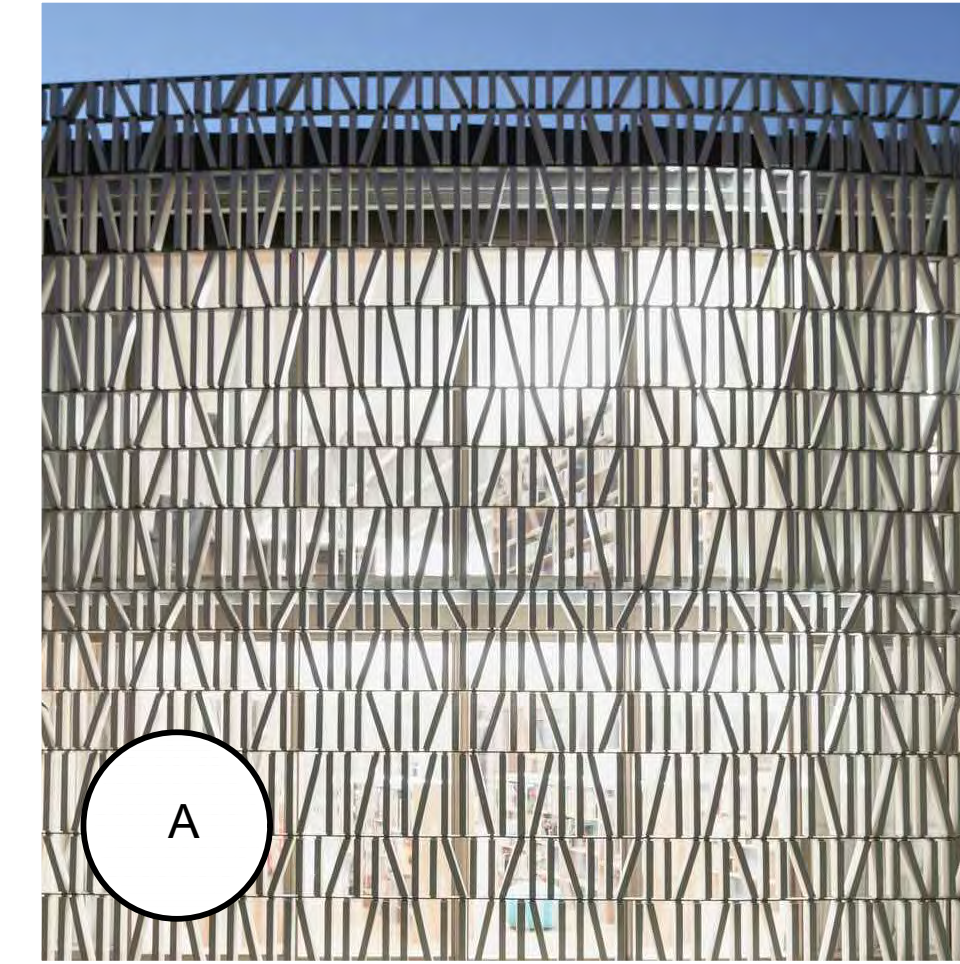
P-05



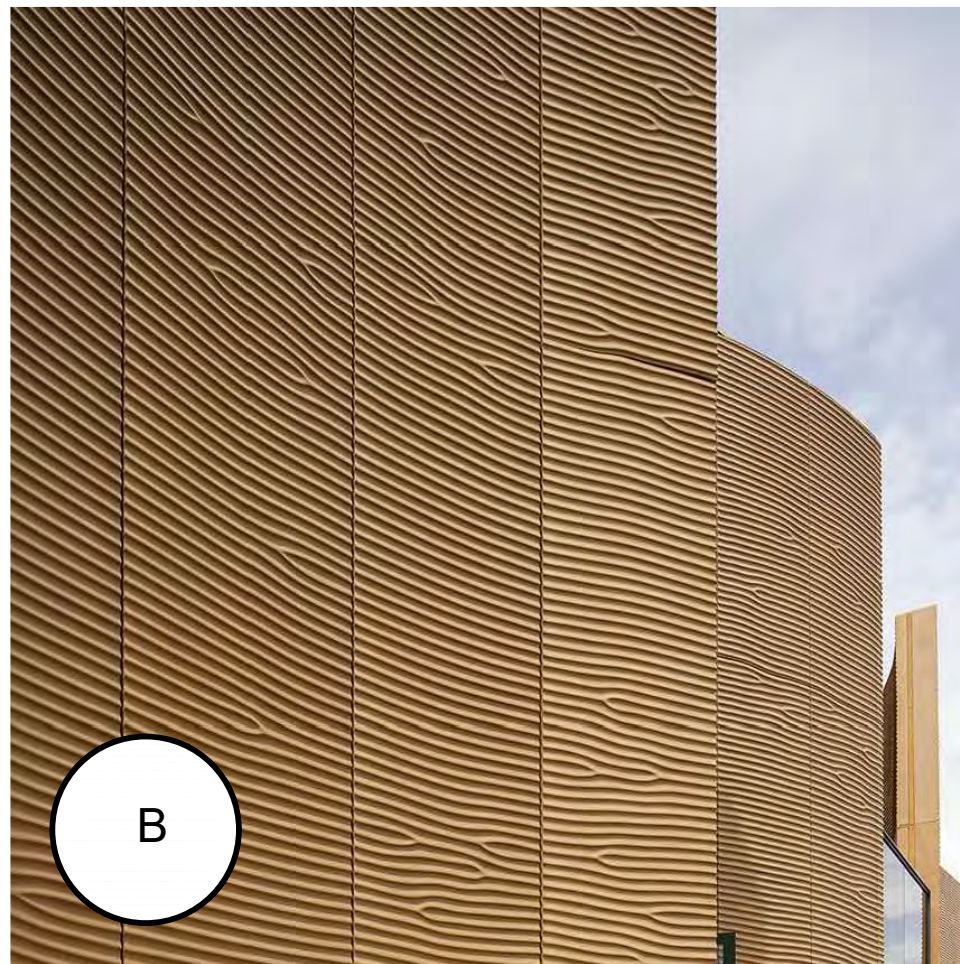
P-06



P-07



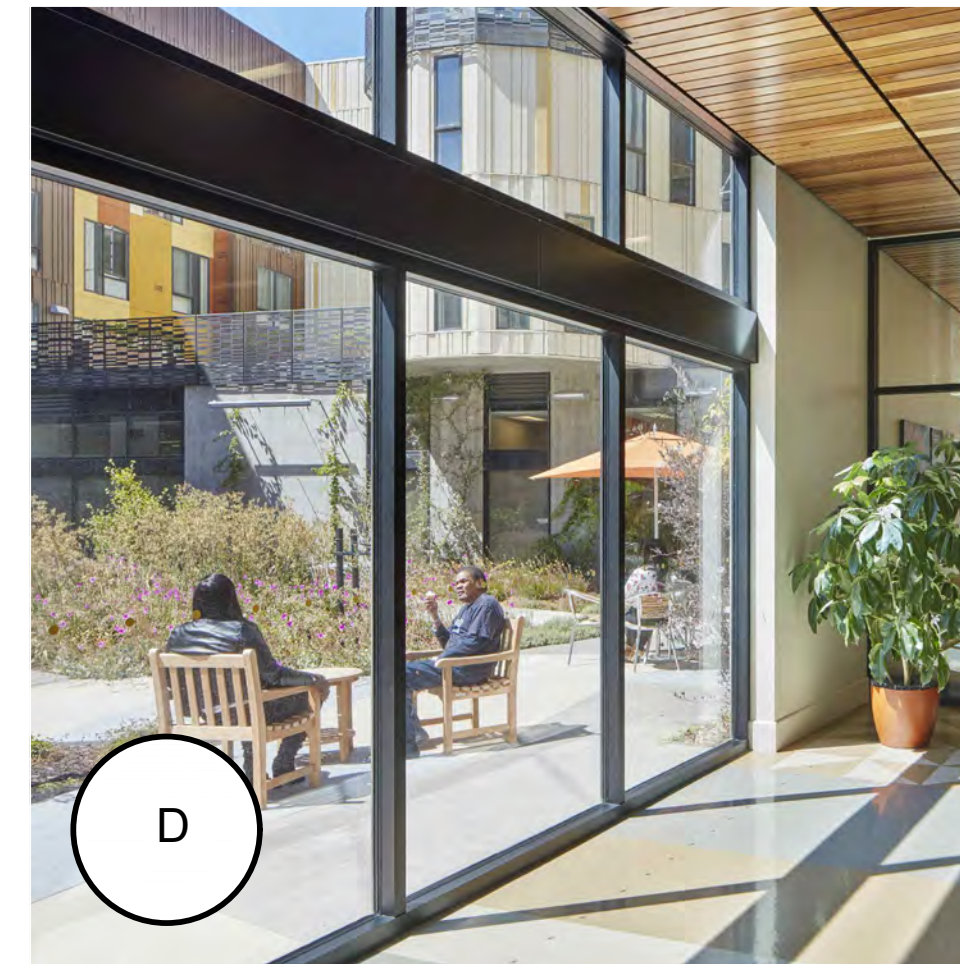
A



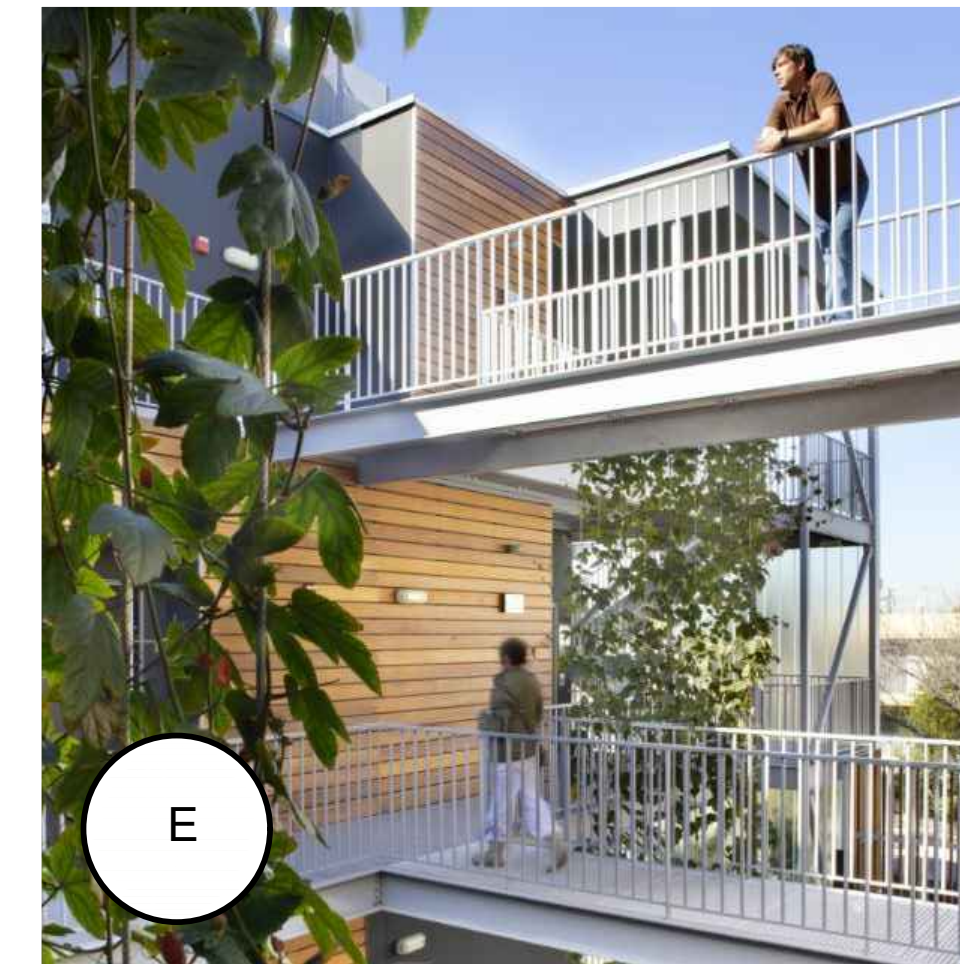
B



C



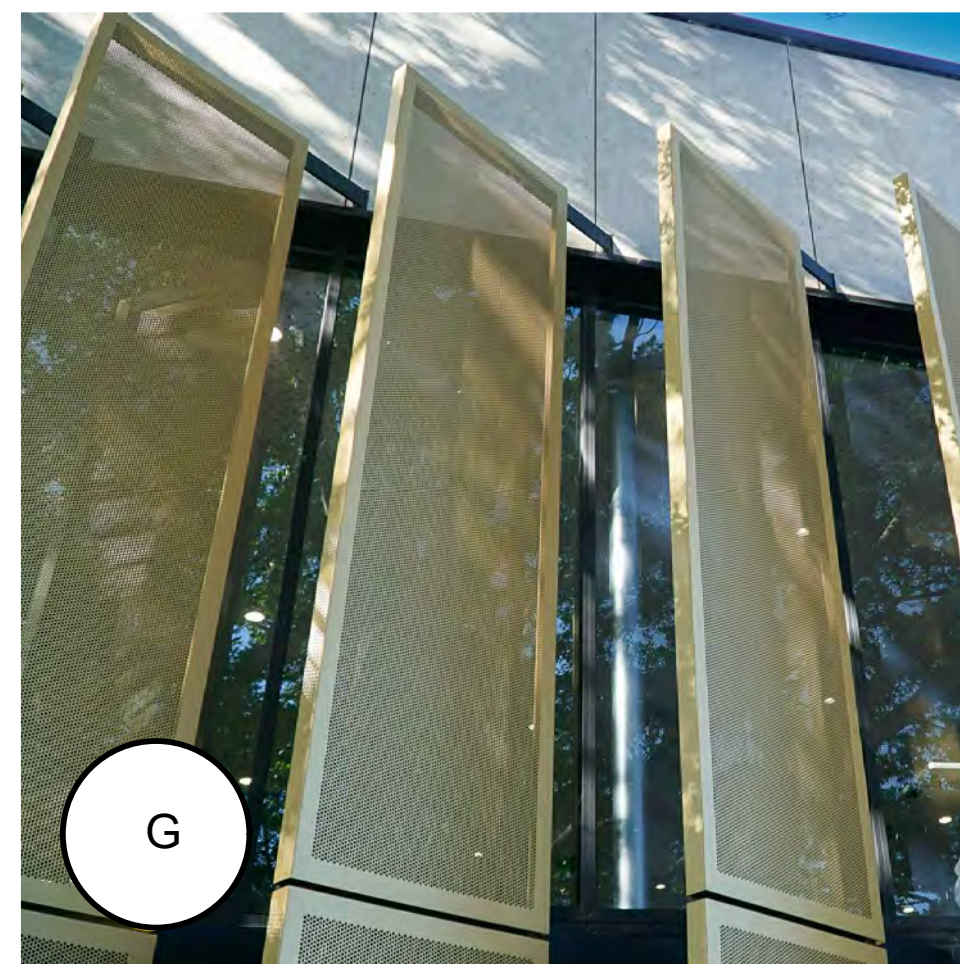
D



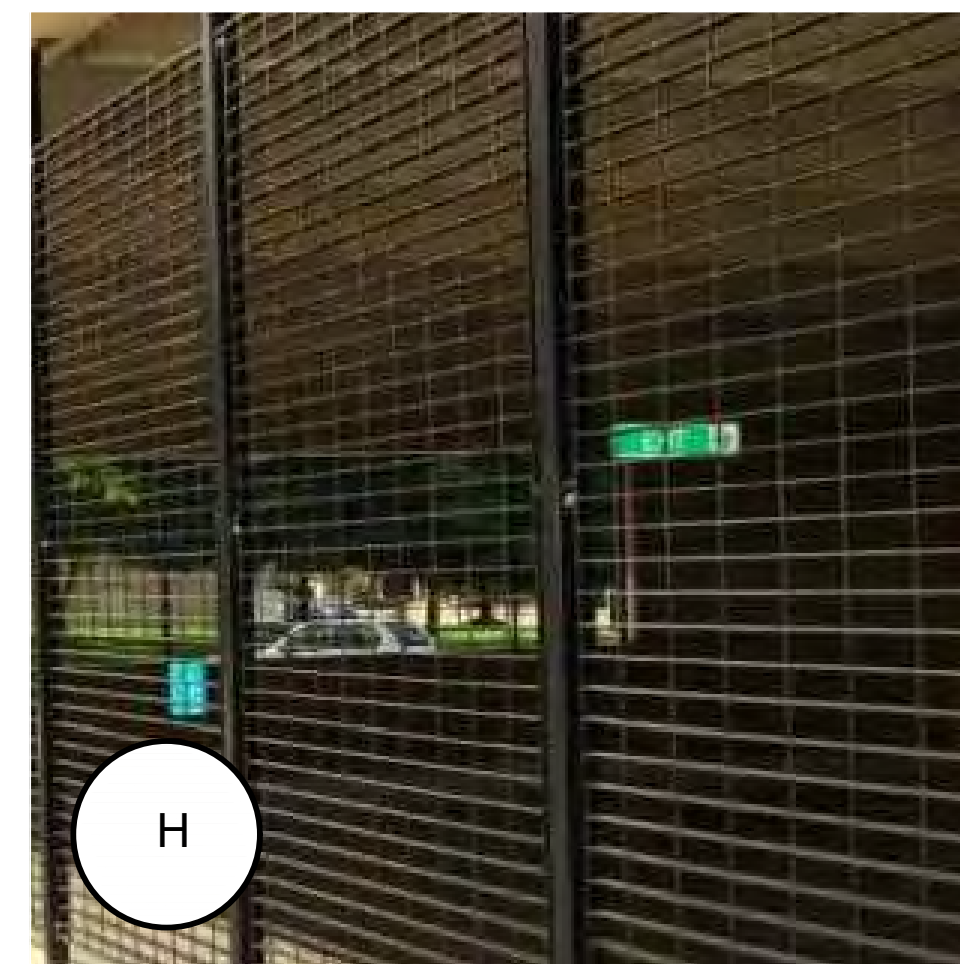
E



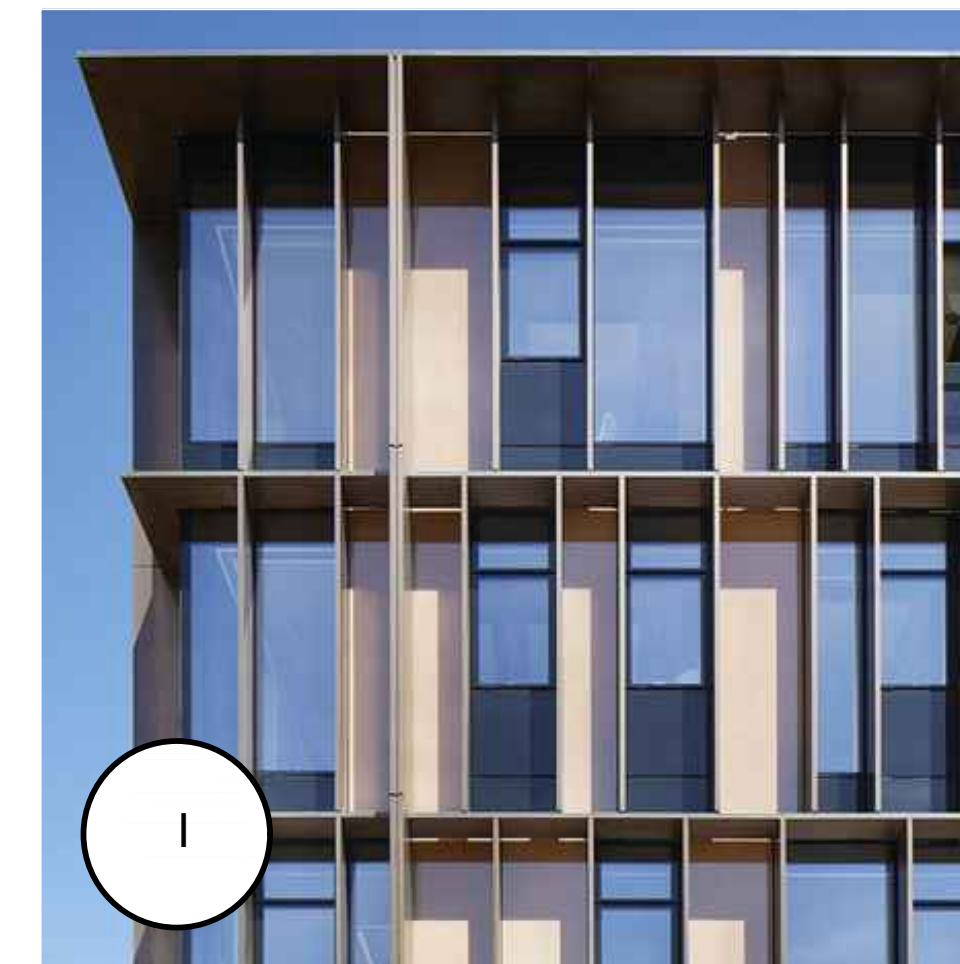
F



G



H



I

MATERIALS

P-01 WHITE PAINT COLOR

P-02 OFF-WHITE 1 PAINT COLOR

P-03 OFF-WHITE 2 PAINT COLOR

P-04 GRAY PAINT COLOR

P-05 RED CLAY PAINT COLOR

P-06 RUST PAINT COLOR

P-07 GOLD PAINT COLOR

A PERFORATED SCREEN

B PREFABRICATED PANELS

C VINYL WINDOWS, DARK BRONZE FINISH

D STOREFRONT, DARK BRONZE FINISH

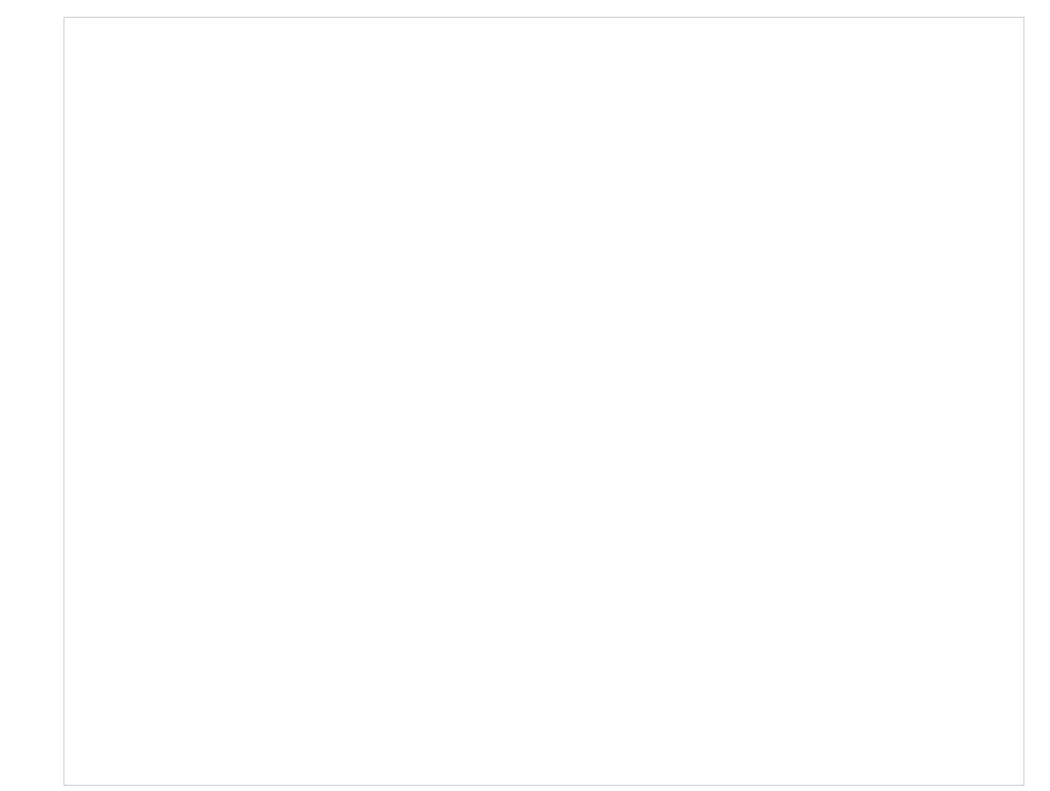
E VERTICAL PICKET GUARDRAIL

F SOLID GUARDRAIL

G GREEN PERFORATED METAL LOUVERS

H METAL MESH SCREEN

I COMPOSITE PANELS





VIEW AT INTERSECTION OF VIGNES AND MAIN | 2



VIEW OF ENTRANCE FROM MAIN | 1

**TCE MAIN,
 LOS ANGELES**

800 N. MAIN STREET,
 LOS ANGELES, CA,
 90012

#	DATE	ISSUE
1	01/31/2024	PZA SUBMITTAL
2	03/15/2024	PZA RESUBMITTAL
3	03/29/2024	ENTITLEMENT SUBM.
4	04/19/2024	ENTITLEMENT SUBM.

JOB NO. 23-099

**CONCEPTUAL
 RENDERINGS**

A08.01

NOT ISSUED FOR CONSTRUCTION



VIEW OF GROUND LEVEL OPEN SPACE LOOKING WEST | 2



VIEW OF GROUND LEVEL OPEN SPACE LOOKING EAST | 1

**TCE MAIN,
LOS ANGELES**

800 N. MAIN STREET,
LOS ANGELES, CA,
90012

#	DATE	ISSUE
1	01/31/2024	PZA SUBMITTAL
2	03/15/2024	PZA RESUBMITTAL
3	03/29/2024	ENTITLEMENT SUBM.
4	04/19/2024	ENTITLEMENT SUBM.

JOB NO. 23-099

**CONCEPTUAL
RENDERINGS**

A08.02

NOT ISSUED FOR CONSTRUCTION



VIEW LOOKING NORTHEAST FROM MAIN | 2



VIEW LOOKING SOUTH FROM VIGNES | 1

**TCE MAIN,
 LOS ANGELES**

800 N. MAIN STREET,
 LOS ANGELES, CA,
 90012

#	DATE	ISSUE
1	01/31/2024	PZA SUBMITTAL
2	03/15/2024	PZA RESUBMITTAL
3	03/29/2024	ENTITLEMENT SUBM.
4	04/19/2024	ENTITLEMENT SUBM.

JOB NO. 23-099

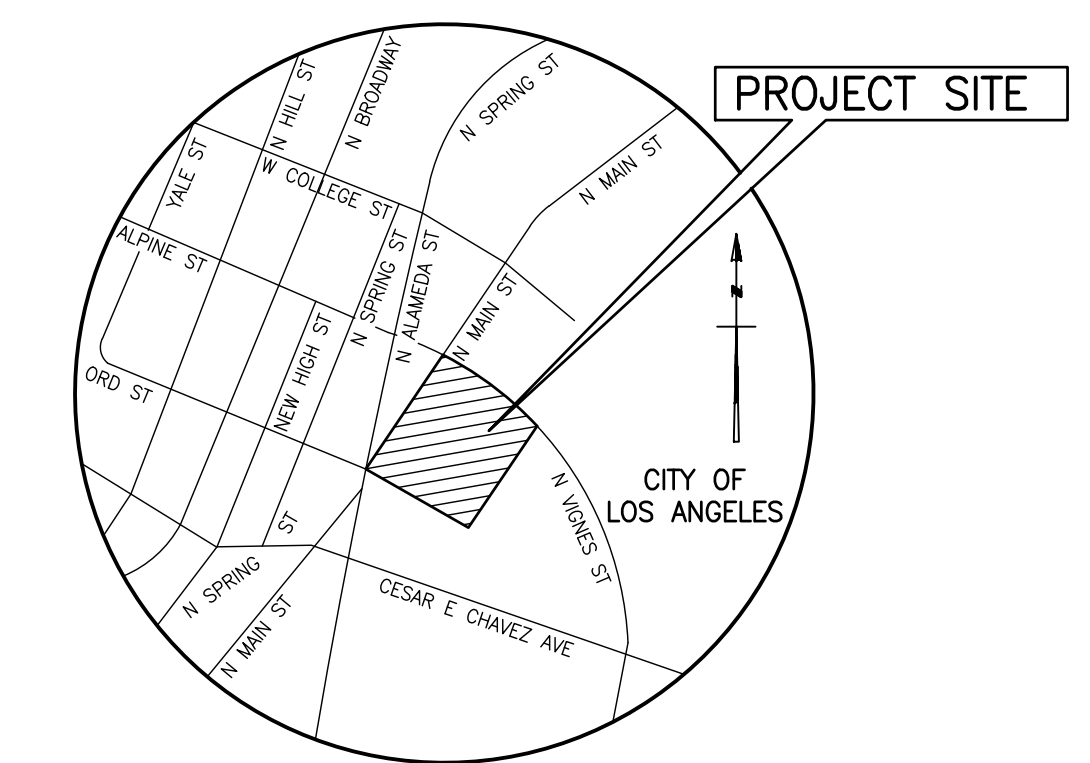
**CONCEPTUAL
 RENDERINGS**

A08.03

NOT ISSUED FOR CONSTRUCTION

DESIGN SURVEY

SNF: ESTABLISHED BY PROD. FROM THE SOUTHWEST AND FOUND TIE PER 132-213-501 FOR DISTANCE; HELD AS ϵ INTERSECTION



VICINITY MAP (NOT TO SCALE)

COMMENTS

- DATES OF SURVEY JULY 11-26, 2023; NOVEMBER 14-21, 2023.
- SITE ADDRESSES 800 NORTH MAIN STREET, LOS ANGELES, CA 90012
1087 NORTH VIGNES STREET, LOS ANGELES, CA 90012
- APN NO 5409-015-022, 5409-015-024, 5409-015-025, AND 5409-015-026.
- BOUNDARY LINES WERE ESTABLISHED FROM THE RECOVERED CITY, COUNTY AND/OR PRIVATE ENGINEER MONUMENTS WHOSE CHARACTER AND SOURCE ARE SO NOTED ON THE SURVEY.
- BASIS OF BEARINGS THE BEARING OF N71°09'27"W ALONG THE CENTERLINE OF CESAR E. CHAVEZ (FORMERLY MACY STREET) AS SHOWN ON THE MAP OF RECORD OF SURVEY, AS RECORDED IN BOOK 122, PAGE 53, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.
- BENCHMARK BM #12-04270
WIRE SPK IN N CURB CESAR E CHAVEZ AVE; 5.5 FT E OF BC CURB RET E OF ALAMEDA ST; W END CB.
ELEV. = 280.874, NAVD 1988, YEAR OF ADJUSTMENT 2000
- LAND AREA 295,923 SQ. FT. OR 6.793 ACRES, MORE OR LESS.
- UTILITIES ALL VISIBLE ABOVE-GROUND UTILITY FEATURES SHOWN ON THIS MAP WERE OBTAINED BY CONVENTIONAL MEANS. NO REPRESENTATION IS MADE AS TO THE COMPLETENESS OF SAID UTILITY INFORMATION AND ANY USER OF THIS INFORMATION SHOULD CONTACT THE UTILITY OR GOVERNMENT AGENCY DIRECTLY.
- FLOOD INSURANCE RATE MAP ZONE "X" AREAS DETERMINED TO BE WITHIN THE AREA OF MINIMAL FLOOD HAZARD PER FLOOD INSURANCE RATE MAP (FIRM) MAP PANEL MAP NO. 06037C1636G MAP EFFECTIVE DATE DECEMBER 21, 2018.
- PUBLIC ACCESS PUBLIC ACCESS TO SITE FROM NORTH MAIN STREET, BAUCHET STREET.
- ZONING INFORMATION ZONING: ADP-RIO
GENERAL PLAN: REGIONAL CENTER COMMERCIAL
(ZONING INFORMATION PER ZIMAS DATED 07/18/2023)
- # INDICATES PRELIMINARY TITLE REPORT EXCEPTION NUMBER PLOTTED HEREON (ORDER NO. 09175996-917-CG8-KRE).
- # INDICATES PRELIMINARY TITLE REPORT EXCEPTION NUMBER PLOTTED HEREON (ORDER NO. 09176390-917-CG8-KRE).

LEGEND

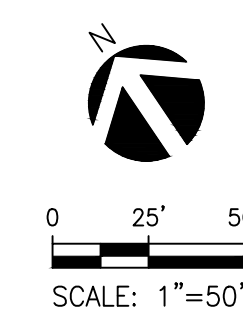
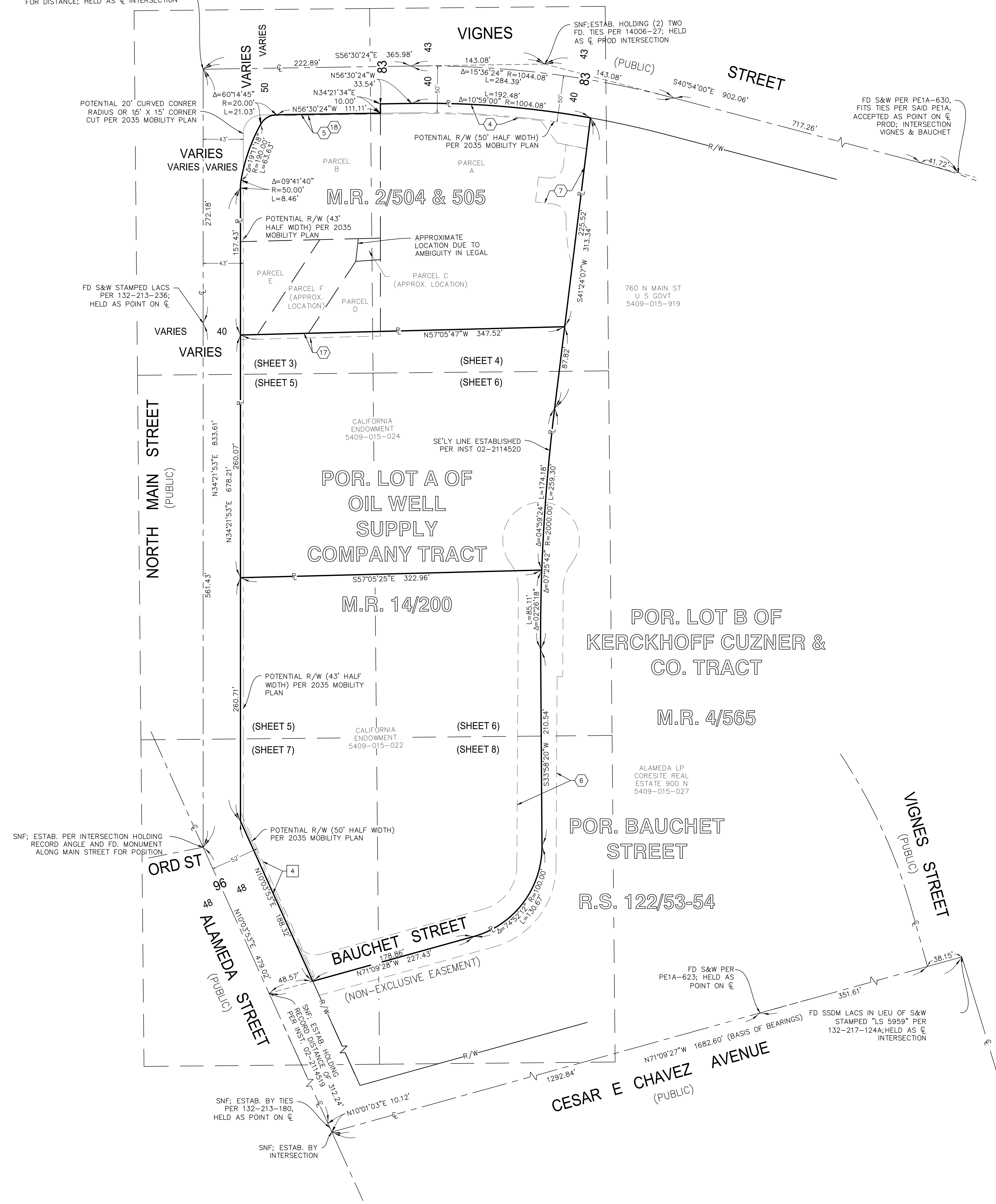
- ⊙ AREA DRAIN (CIRCLE)
- ▣ AREA DRAIN (SQUARE)
- ☆ SINGLE-ARM AREA LIGHT
- ⊕ DOUBLE-ARM AREA LIGHT
- ⊕ BOLLARD
- ⊕ CABLE TV PULLBOX
- ⊕ CURB DRAIN
- ⊕ IRRIGATION CONTROL BOX
- ⊕ IRRIGATION CONTROL VALVE
- ⊕ ELECTRIC CABINET
- ⊕ ELECTRIC MANHOLE
- ⊕ ELECTRIC PULLBOX
- ⊕ FIRE DEPARTMENT CONNECTION
- ⊕ FIRE HYDRANT
- ⊕ GAS VALVE
- ⊕ RISER
- ⊕ SEWER CLEAN OUT
- ⊕ SIGN
- ⊕ STORM DRAIN MANHOLE
- ⊕ STREET LIGHT
- ⊕ STREET LIGHT PULLBOX
- ⊕ TELEPHONE MANHOLE
- ⊕ TRAFFIC PULLBOX
- ⊕ TRAFFIC SIGNAL
- ⊕ TREE
- ⊕ UNIDENTIFIED CABINET
- ⊕ UNIDENTIFIED CLEAN OUT
- ⊕ UNIDENTIFIED MANHOLE
- ⊕ UNIDENTIFIED PULLBOX
- ⊕ UTILITY POLE
- ⊕ VENT
- ⊕ WATER METER
- ⊕ WATER VALVE

ABBREVIATIONS

- APN ASSESSORS PARCEL NUMBER
- BLD BUILDING
- BW BACK OF WALK
- BX BOTTOM OF TRANSITION
- CB CATCH BASIN
- ⊕ CENTERLINE
- ⊕ CHAIN LINK FENCE
- CONC. CONCRETE
- DWY DRIVEWAY
- EG EDGE OF GUTTER
- EOC EDGE OF CONCRETE
- ELEV ELEVATED
- ELV ELECTRICAL VAULT
- FDC FIRE DEPARTMENT CONNECTION
- FF FINISHED FLOOR
- FL FLOWLINE
- FSA FINISHED SURFACE ASPHALT
- FSC FINISHED SURFACE CONCRETE
- GB GRADE BREAK
- HP HIGH POINT
- INV INVERT
- LA LANDSCAPE AREA
- M.B. MAP BOOK
- MULTI MULTIPLE
- N NORTH
- NE NORTHEAST
- NG NATURAL GROUND
- ⊕ PROPERTY LINE
- RCP REINFORCED CONCRETE PIPE
- R/W RIGHT-OF-WAY
- S SOUTH
- SW SOUTHWEST
- SSMH SANITARY SEWER MANHOLE
- SWK SIDEWALK
- TC TOP OF CURB
- TG TOP OF GRATE
- TW TOP OF WALL
- TX TOP OF TRANSITION
- TYP. TYPICAL
- UVT UNKNOWN VAULT
- WF WROUGHT IRON FENCE
- WPB WATER PULLBOX
- WLT WATER VAULT

LINETYPES

- ▬ BUILDING LINE
- ⊕ CENTERLINE
- ⊕ CHAINLINK FENCE
- ⊕ CONC LINE
- ⊕ CURB FACE WITH BACK OF CURB (0.5' 0/5)
- ⊕ EASEMENT LINE
- ⊕ FLOWLINE
- ⊕ GRADEBREAK
- ⊕ PARCEL LINE
- ⊕ PROPERTY LINE
- ⊕ RIGHT OF WAY LINE
- ⊕ WALL
- ⊕ WROUGHT IRON FENCE



NO.	DATE	REVISIONS
6		
5		
4		
3		
2		
1		

PROJECT #	2300470
DATE PREPARED	12/07/2023
DRAWN BY	CH
CHECKED BY	CL

PREPARED UNDER THE DIRECTION OF:

 CHRISTOPHER JONES, PLS 8193
 chris.jones@kpff.com

HOPE VILLAGE
 PREPARED FOR:
 LINC HOUSING
 3800 ELM AVENUE
 LONG BEACH, CA 90807

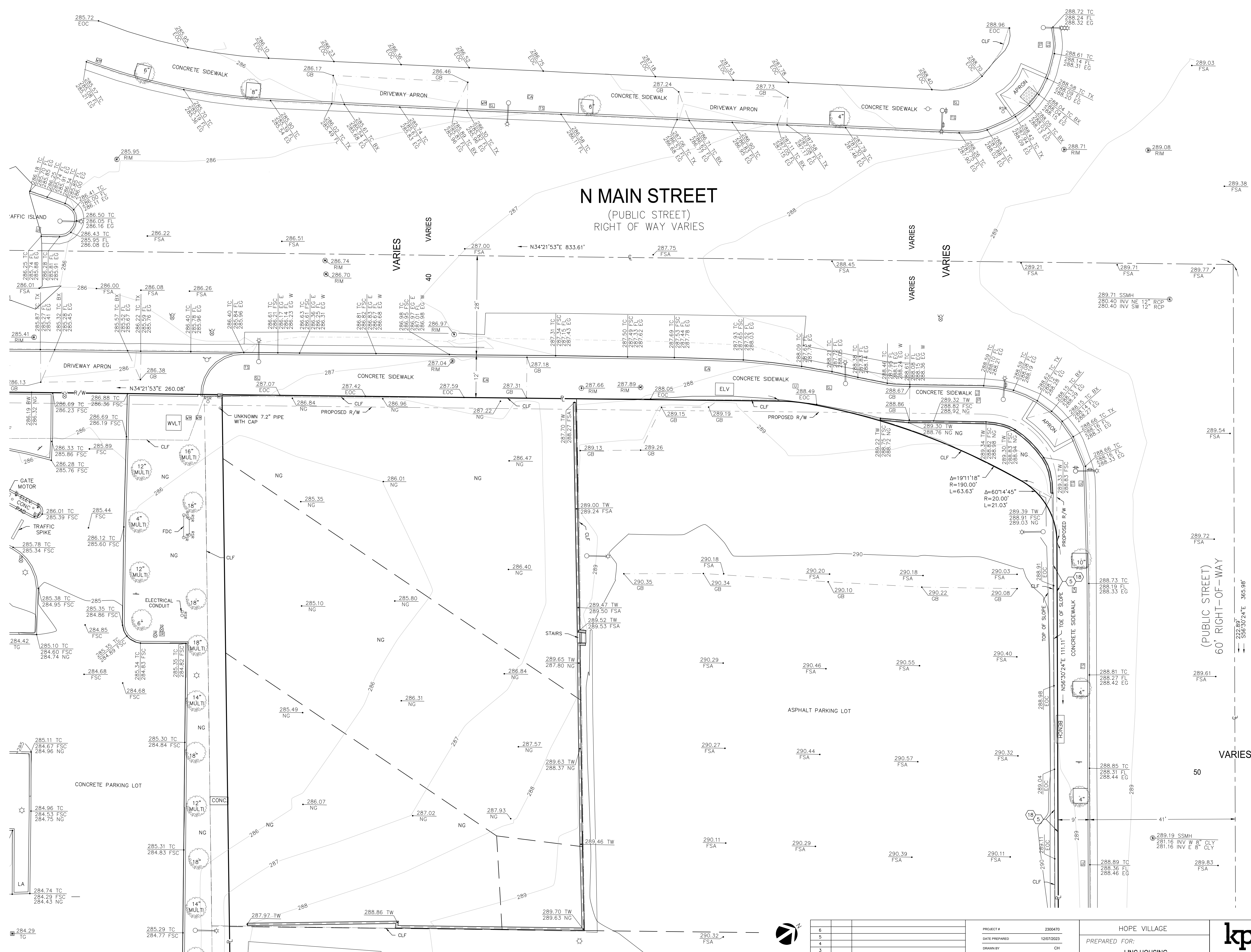
700 FLOWER ST., Suite 2100
 Los Angeles, CA 90017
 P: 213.418.0291
 F: 213.266.5204
 www.kpff.com

DESIGN SURVEY

- LEGEND**
- ⊙ AREA DRAIN (CIRCLE)
 - ⊠ AREA DRAIN (SQUARE)
 - ☼ SINGLE-ARM AREA LIGHT
 - ☼☼ DOUBLE-ARM AREA LIGHT
 - ⊕ BOLLARD
 - ⊠ CABLE TV PULLBOX
 - ⊠ CURB DRAIN
 - ⊠ IRRIGATION CONTROL BOX
 - ⊠ IRRIGATION CONTROL VALVE
 - ⊠ ELECTRIC CABINET
 - ⊠ ELECTRIC MANHOLE
 - ⊠ ELECTRIC PULLBOX
 - ⊠ FIRE DEPARTMENT CONNECTION
 - ⊠ FIRE HYDRANT
 - ⊠ FLAG POLE
 - ⊠ GAS VALVE
 - ⊠ RISER
 - ⊠ SEWER CLEAN OUT
 - ⊠ SIGN
 - ⊠ STORM DRAIN MANHOLE
 - ⊠ STREET LIGHT
 - ⊠ STREET LIGHT PULLBOX
 - ⊠ TELEPHONE MANHOLE
 - ⊠ TRAFFIC PULLBOX
 - ⊠ TRAFFIC SIGNAL
 - ⊠ TREE
 - ⊠ UNIDENTIFIED CABINET
 - ⊠ UNIDENTIFIED CLEAN OUT
 - ⊠ UNIDENTIFIED MANHOLE
 - ⊠ UNIDENTIFIED PULLBOX
 - ⊠ UTILITY POLE
 - ⊠ VENT
 - ⊠ WATER METER
 - ⊠ WATER VALVE

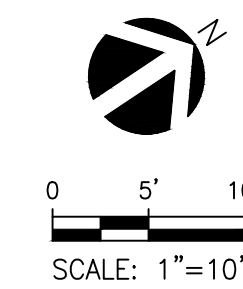
- ABBREVIATIONS**
- APN ASSESSORS PARCEL NUMBER
 - BLD BUILDING
 - BW BACK OF WALK
 - BX BOTTOM OF TRANSITION
 - CB CATCH BASIN
 - ⊠ CENTERLINE
 - CLF CHAIN LINK FENCE
 - CONC CONCRETE
 - DWY DRIVEWAY
 - EG EDGE OF GUTTER
 - EOC EDGE OF CONCRETE
 - ELEV ELEVATED
 - ELV ELECTRICAL VAULT
 - FDC FIRE DEPARTMENT CONNECTION
 - FF FINISHED FLOOR
 - FL FLOWLINE
 - FSA FINISHED SURFACE ASPHALT
 - FSC FINISHED SURFACE CONCRETE
 - GB GRADE BREAK
 - HP HIGH POINT
 - INV INVERT
 - LA LANDSCAPE AREA
 - M.B. MAP BOOK
 - MULTI MULTIPLE
 - N NORTH
 - NE NORTHEAST
 - NG NATURAL GROUND
 - ⊠ PROPERTY LINE
 - RCP REINFORCED CONCRETE PIPE
 - R/W RIGHT-OF-WAY
 - S SOUTH
 - SW SOUTHWEST
 - SSMH SANITARY SEWER MANHOLE
 - SWK SIDEWALK
 - TC TOP OF CURB
 - TG TOP OF GRATE
 - TW TOP OF WALL
 - TX TOP OF TRANSITION
 - TYP TYPICAL
 - UVT UNKNOWN VAULT
 - WFI WROUGHT IRON FENCE
 - WPB WATER PULLBOX
 - WVLT WATER VAULT

- LINETYPES**
- ▬ BUILDING LINE
 - ⊠ CENTERLINE
 - ▬ CHAINLINK FENCE
 - ▬ CONC LINE
 - ▬ CURB FACE WITH BACK OF CURB (0.5' 0/5)
 - ▬ EASEMENT LINE
 - ▬ FLOWLINE
 - ▬ GRADEBREAK
 - ▬ PARCEL LINE
 - ▬ PROPERTY LINE
 - ▬ RIGHT OF WAY LINE
 - ▬ WALL
 - ⊠ WROUGHT IRON FENCE



SEE SHEET 5 FOR CONTINUATION

SEE SHEET 4 FOR CONTINUATION



NO.	DATE	REVISIONS
6		
5		
4		
3		
2		
1		

PROJECT #	2300470
DATE PREPARED	12/07/2023
DRAWN BY	CH
CHECKED BY	CL

HOPE VILLAGE
 PREPARED FOR:
LINC HOUSING
 3800 ELM AVENUE
 LONG BEACH, CA 90807



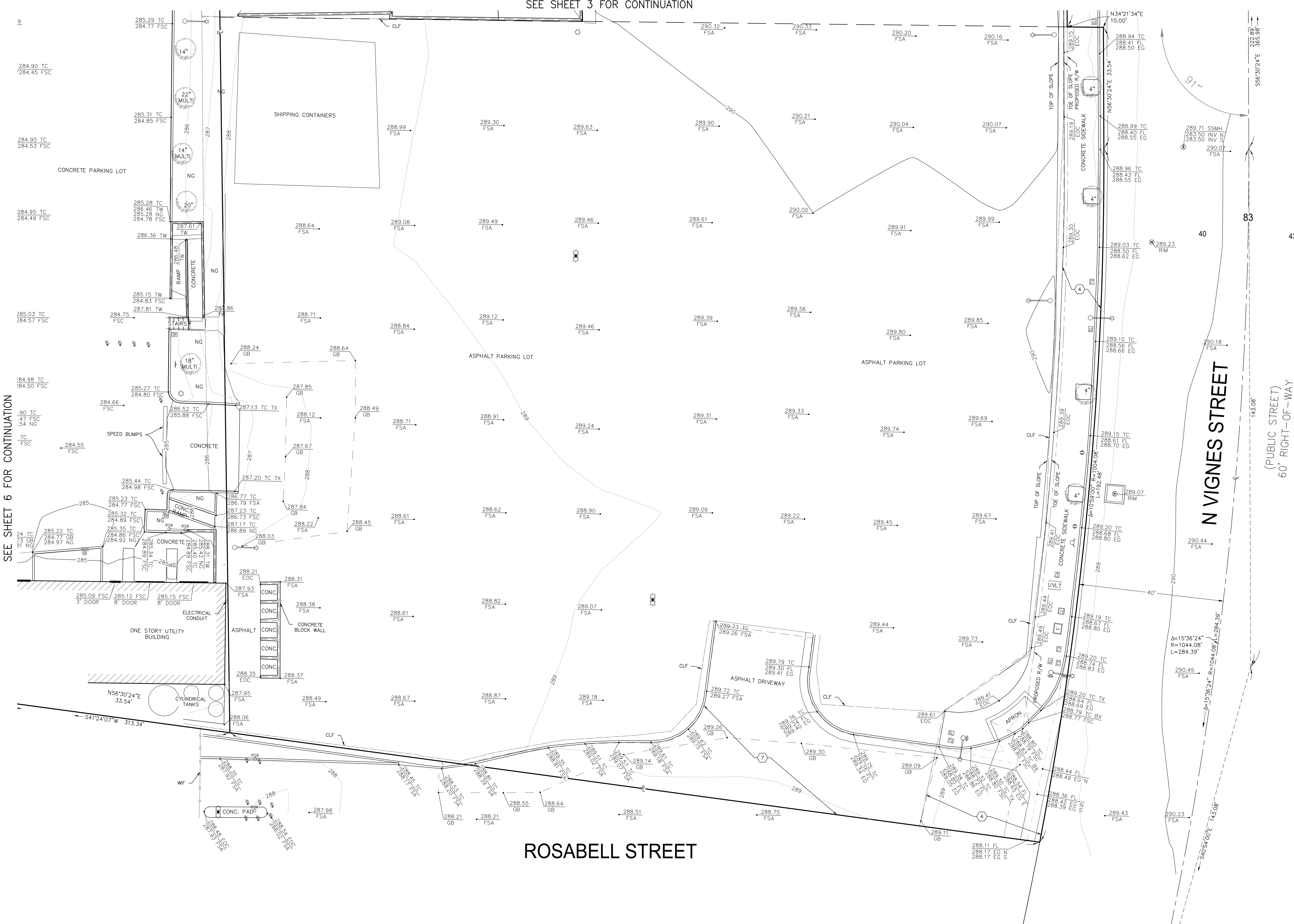
DESIGN SURVEY

SEE SHEET 3 FOR CONTINUATION

- LEGEND**
- AREA DRAIN (CIRCLE)
 - AREA DRAIN (SQUARE)
 - ☆ SINGLE-ARM AREA LIGHT
 - ⊛ DOUBLE-ARM AREA LIGHT
 - ⊙ BOLLARD
 - ⊠ CABLE TV PULLBOX
 - ⊡ CURB DRAIN
 - ⊞ IRRIGATION CONTROL BOX
 - ⊞ IRRIGATION CONTROL VALVE
 - ⊞ ELECTRIC CABINET
 - ⊞ ELECTRIC MANHOLE
 - ⊞ ELECTRIC PULLBOX
 - ⊞ FIRE DEPARTMENT CONNECTION
 - ⊞ FIRE HYDRANT
 - ⊞ FLAG POLE
 - ⊞ GAS VALVE
 - ⊞ RISER
 - ⊞ SEWER CLEAN OUT
 - ⊞ SIGN
 - ⊞ STORM DRAIN MANHOLE
 - ⊞ STREET LIGHT
 - ⊞ STREET LIGHT PULLBOX
 - ⊞ TELEPHONE MANHOLE
 - ⊞ TRAFFIC PULLBOX
 - ⊞ TRAFFIC SIGNAL
 - TREE
 - ⊞ UNIDENTIFIED CABINET
 - ⊞ UNIDENTIFIED CLEAN OUT
 - ⊞ UNIDENTIFIED MANHOLE
 - ⊞ UNIDENTIFIED PULLBOX
 - UTILITY POLE
 - ⊞ VENT
 - ⊞ WATER METER
 - ⊞ WATER VALVE

- ABBREVIATIONS**
- APN ASSESSORS PARCEL NUMBER
 - BLD BUILDING
 - BW BACK OF WALK
 - BX BOTTOM OF TRANSITION
 - CB CATCH BASIN
 - CL CENTERLINE
 - CLF CHAIN LINK FENCE
 - CONC CONCRETE
 - DWY DRIVEWAY
 - EG EDGE OF GUTTER
 - EOC EDGE OF CONCRETE
 - ELEV ELEVATED
 - ELV ELECTRICAL VAULT
 - FDC FIRE DEPARTMENT CONNECTION
 - FF FINISHED FLOOR
 - FL FLOWLINE
 - FSA FINISHED SURFACE ASPHALT
 - FSC FINISHED SURFACE CONCRETE
 - GB GRADE BREAK
 - HP HIGH POINT
 - INV INVERT
 - LA LANDSCAPE AREA
 - M.B. MAP BOOK
 - MULTI MULTIPLE
 - N NORTH
 - NE NORTHEAST
 - NG NATURAL GROUND
 - PL PROPERTY LINE
 - RCP REINFORCED CONCRETE PIPE
 - R/W RIGHT-OF-WAY
 - S SOUTH
 - SW SOUTHWEST
 - SSMH SANITARY SEWER MANHOLE
 - SWK SIDEWALK
 - TC TOP OF CURB
 - TG TOP OF GRATE
 - TW TOP OF WALL
 - TX TOP OF TRANSITION
 - TYP. TYPICAL
 - UVT UNKNOWN VAULT
 - WIF WROUGHT IRON FENCE
 - WPB WATER PULLBOX
 - WVLT WATER VAULT

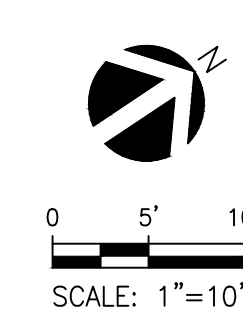
- LINETYPES**
- ▬ BUILDING LINE
 - CENTERLINE
 - ▬ CHAINLINK FENCE
 - ▬ CONC. LINE
 - ▬ CURB FACE WITH BACK OF CURB (0.5' 0/5)
 - ▬ EASEMENT LINE
 - ▬ FLOWLINE
 - ▬ GRADEBREAK
 - ▬ PARCEL LINE
 - ▬ PROPERTY LINE
 - ▬ RIGHT OF WAY LINE
 - ▬ WALL
 - WROUGHT IRON FENCE



ROSABELL STREET

N VIGNES STREET

(PUBLIC STREET)
60' RIGHT-OF-WAY



NO.	DATE	REVISIONS
6		
5		
4		
3		
2		
1		

PROJECT #	2800470
DATE PREPARED	12/07/2023
DRAWN BY	CH
CHECKED BY	CL

HOPE VILLAGE
PREPARED FOR:
LINC HOUSING
3800 ELM AVENUE
LONG BEACH, CA 90807

kpff
700 FLOWER ST., Suite 2100
Los Angeles, CA 90017
P: 213.418.0291
F: 213.266.5204
www.kpff.com

DESIGN SURVEY

LEGEND

- ⊙ AREA DRAIN (CIRCLE)
- ⊠ AREA DRAIN (SQUARE)
- ☼ SINGLE-ARM AREA LIGHT
- ☼☼ DOUBLE-ARM AREA LIGHT
- ⊕ BOLLARD
- ⊠ CABLE TV PULLBOX
- ⊠ CURB DRAIN
- ⊠ IRRIGATION CONTROL BOX
- ⊠ IRRIGATION CONTROL VALVE
- ⊠ ELECTRIC CABINET
- ⊠ ELECTRIC MANHOLE
- ⊠ ELECTRIC PULLBOX
- ⊠ FIRE DEPARTMENT CONNECTION
- ⊠ FIRE HYDRANT
- ⊠ FLAG POLE
- ⊠ GAS VALVE
- ⊠ RISER
- ⊠ SEWER CLEAN OUT
- ⊠ SIGN
- ⊠ STORM DRAIN MANHOLE
- ⊠ STREET LIGHT
- ⊠ STREET LIGHT PULLBOX
- ⊠ TELEPHONE MANHOLE
- ⊠ TRAFFIC PULLBOX
- ⊠ TRAFFIC SIGNAL
- ⊠ TREE
- ⊠ UNIDENTIFIED CABINET
- ⊠ UNIDENTIFIED CLEAN OUT
- ⊠ UNIDENTIFIED MANHOLE
- ⊠ UNIDENTIFIED PULLBOX
- ⊠ UTILITY POLE
- ⊠ VENT
- ⊠ WATER METER
- ⊠ WATER VALVE

ABBREVIATIONS

- APN ASSESSORS PARCEL NUMBER
- BLD BUILDING
- BW BACK OF WALK
- BX BOTTOM OF TRANSITION
- CB CATCH BASIN
- CL CENTERLINE
- CLF CHAIN LINK FENCE
- CONC CONCRETE
- DWY DRIVEWAY
- EG EDGE OF GUTTER
- EOC EDGE OF CONCRETE
- ELEV ELEVATED
- ELV ELECTRICAL VAULT
- FDC FIRE DEPARTMENT CONNECTION
- FF FINISHED FLOOR
- FL FLOWLINE
- FSA FINISHED SURFACE ASPHALT
- FSC FINISHED SURFACE CONCRETE
- GB GRADE BREAK
- HP HIGH POINT
- INV INVERT
- LA LANDSCAPE AREA
- M.B. MAP BOOK
- MULTI MULTIPLE
- N NORTH
- NE NORTHEAST
- NG NATURAL GROUND
- PL PROPERTY LINE
- RCP REINFORCED CONCRETE PIPE
- R/W RIGHT-OF-WAY
- S SOUTH
- SW SOUTHWEST
- SSMH SANITARY SEWER MANHOLE
- SWK SIDEWALK
- TC TOP OF CURB
- TG TOP OF GRATE
- TW TOP OF WALL
- TX TOP OF TRANSITION
- TYP. TYPICAL
- UVT UNKNOWN VAULT
- WIF WROUGHT IRON FENCE
- WPB WATER PULLBOX
- WVLT WATER VAULT

LINETYPES

- ▬ BUILDING LINE
- CENTERLINE
- ▬ CHAINLINK FENCE
- ▬ CONC. LINE
- ▬ CURB FACE WITH BACK OF CURB (0.5' 0/5)
- ▬ EASEMENT LINE
- ▬ FLOWLINE
- ▬ GRADEBREAK
- ▬ PARCEL LINE
- ▬ PROPERTY LINE
- ▬ RIGHT OF WAY LINE
- ▬ WALL
- ▬ WROUGHT IRON FENCE

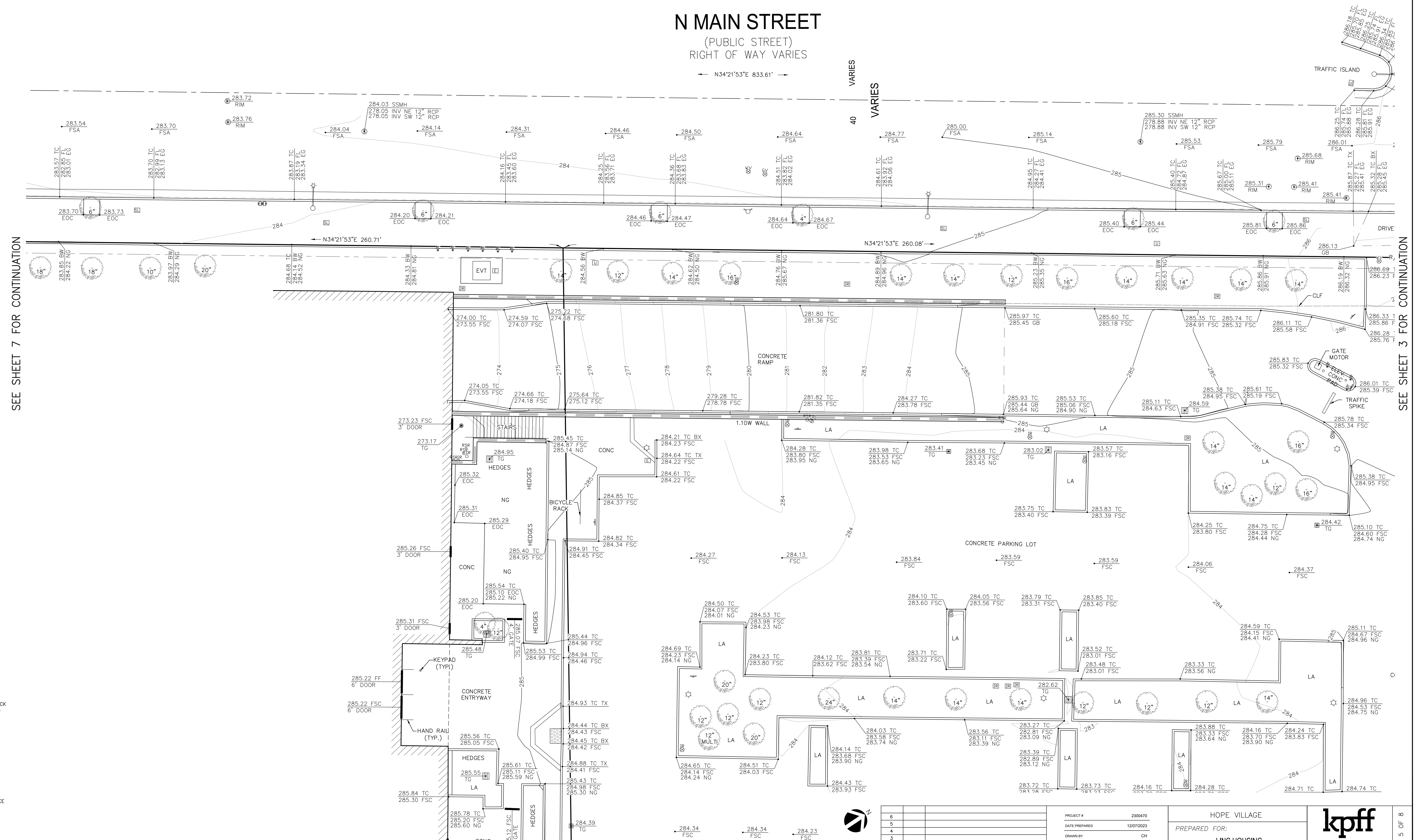
N MAIN STREET

(PUBLIC STREET)
RIGHT OF WAY VARIES

N34°21'53"E 833.61'

VARIES
40'
VARIES

SEE SHEET 7 FOR CONTINUATION



SEE SHEET 6 FOR CONTINUATION

SEE SHEET 3 FOR CONTINUATION

NO.	DATE	REVISIONS
6		
5		
4		
3		
2		
1		

PROJECT #	2300470
DATE PREPARED	12/07/2023
DRAWN BY	CH
CHECKED BY	CL
HOPE VILLAGE	
PREPARED FOR:	
LINC HOUSING	
3900 ELM AVENUE LONG BEACH, CA 90807	

kpff

700 FLOWER ST., Suite 2100
Long Beach, CA 90807
P: 213.418.0291
F: 213.266.5204
www.kpff.com

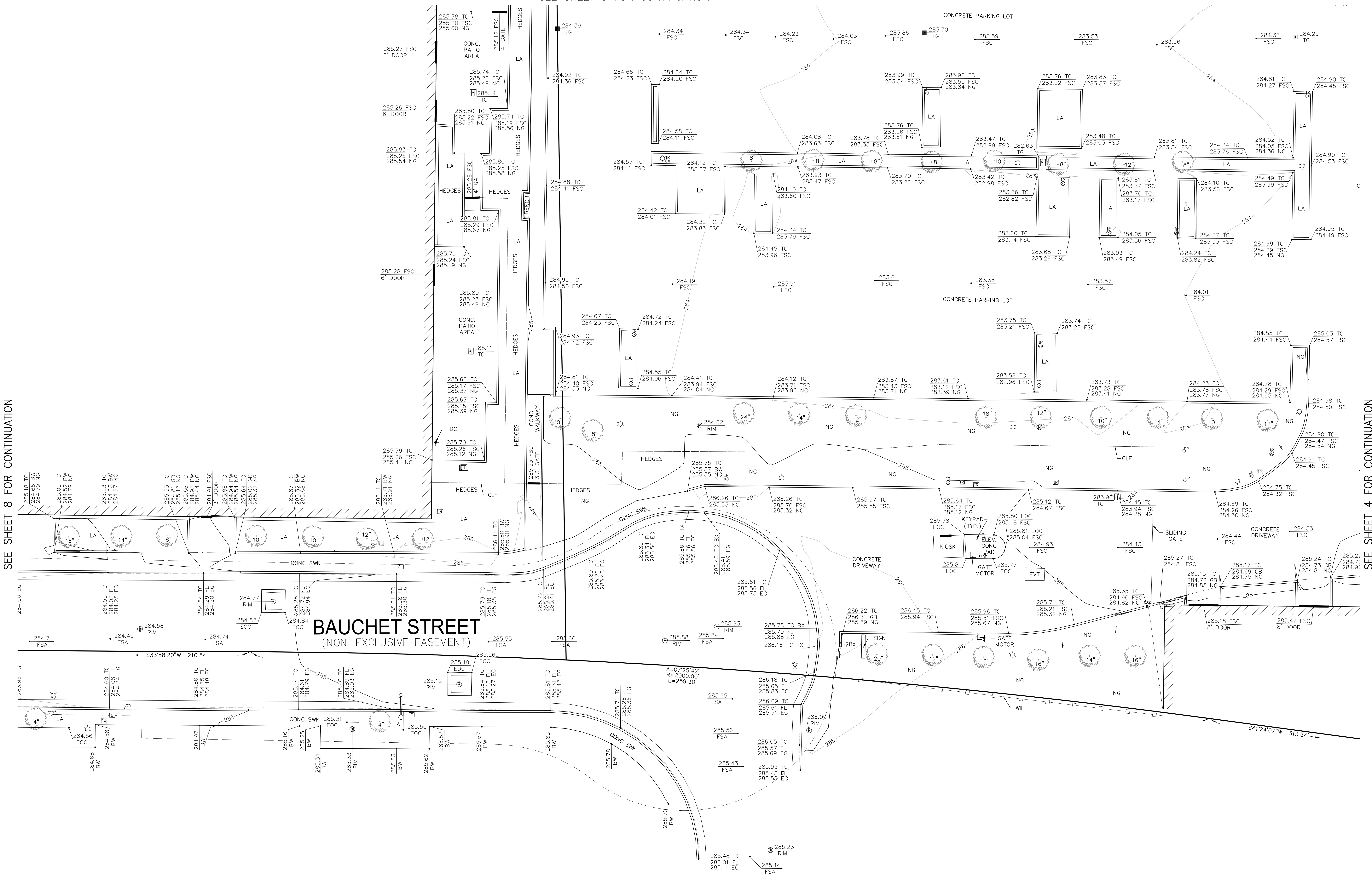
DESIGN SURVEY

SEE SHEET 5 FOR CONTINUATION

- LEGEND**
- ⊙ AREA DRAIN (CIRCLE)
 - ⊠ AREA DRAIN (SQUARE)
 - ☼ SINGLE-ARM AREA LIGHT
 - ☼☼ DOUBLE-ARM AREA LIGHT
 - ⊕ BOLLARD
 - ⊠ CABLE TV PULLBOX
 - ⊕ CURB DRAIN
 - ⊠ IRRIGATION CONTROL BOX
 - ⊠ IRRIGATION CONTROL VALVE
 - ⊠ ELECTRIC CABINET
 - ⊠ ELECTRIC MANHOLE
 - ⊠ ELECTRIC PULLBOX
 - ⊠ FIRE DEPARTMENT CONNECTION
 - ⊕ FIRE HYDRANT
 - ⊕ FLAG POLE
 - ⊕ GAS VALVE
 - ⊕ RISER
 - ⊕ SEWER CLEAN OUT
 - ⊕ SIGN
 - ⊕ STORM DRAIN MANHOLE
 - ⊕ STREET LIGHT
 - ⊠ STREET LIGHT PULLBOX
 - ⊕ TELEPHONE MANHOLE
 - ⊠ TRAFFIC PULLBOX
 - ⊕ TRAFFIC SIGNAL
 - ⊕ TREE
 - ⊠ UNIDENTIFIED CABINET
 - ⊕ UNIDENTIFIED CLEAN OUT
 - ⊕ UNIDENTIFIED MANHOLE
 - ⊠ UNIDENTIFIED PULLBOX
 - ⊕ UTILITY POLE
 - ⊕ VENT
 - ⊕ WATER METER
 - ⊕ WATER VALVE

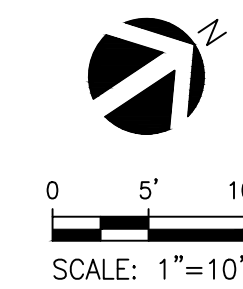
- ABBREVIATIONS**
- APN ASSESSORS PARCEL NUMBER
 - BLD BUILDING
 - BW BACK OF WALK
 - BTM BOTTOM OF TRANSITION
 - CB CATCH BASIN
 - CL CENTERLINE
 - CLF CHAIN LINK FENCE
 - CONC CONCRETE
 - DWY DRIVEWAY
 - EG EDGE OF GUTTER
 - EOC EDGE OF CONCRETE
 - ELEV ELEVATED
 - ELV ELECTRICAL VAULT
 - FDC FIRE DEPARTMENT CONNECTION
 - FF FINISHED FLOOR
 - FL FLOWLINE
 - FSA FINISHED SURFACE ASPHALT
 - FSC FINISHED SURFACE CONCRETE
 - GB GRADE BREAK
 - HP HIGH POINT
 - INV INVERT
 - LA LANDSCAPE AREA
 - M.B. MAP BOOK
 - MULTI MULTIPLE
 - N NORTH
 - NE NORTHEAST
 - NG NATURAL GROUND
 - PL PROPERTY LINE
 - RCP REINFORCED CONCRETE PIPE
 - R/W RIGHT-OF-WAY
 - S SOUTH
 - SW SOUTHWEST
 - SSMH SANITARY SEWER MANHOLE
 - SWK SIDEWALK
 - TC TOP OF CURB
 - TG TOP OF GRATE
 - TW TOP OF WALL
 - TX TOP OF TRANSITION
 - TYP. TYPICAL
 - UVT UNKNOWN VAULT
 - WFI WROUGHT IRON FENCE
 - WPB WATER PULLBOX
 - WVLT WATER VAULT

- LINETYPES**
- ▬ BUILDING LINE
 - — — CENTERLINE
 - ▬ CHAINLINK FENCE
 - ▬ CONC. LINE
 - ▬ CURB FACE WITH BACK OF CURB (0.5' 0/5)
 - ▬ EASEMENT LINE
 - ▬ FLOWLINE
 - ▬ GRADEBREAK
 - ▬ PARCEL LINE
 - ▬ PROPERTY LINE
 - ▬ RIGHT OF WAY LINE
 - ▬ WALL
 - ○ ○ WROUGHT IRON FENCE



SEE SHEET 8 FOR CONTINUATION

SEE SHEET 4 FOR CONTINUATION



NO.	DATE	REVISIONS
6		
5		
4		
3		
2		
1		

PROJECT #	2800470
DATE PREPARED	12/07/2023
DRAWN BY	CH
CHECKED BY	CL

HOPE VILLAGE
 PREPARED FOR:
LINC HOUSING
 3809 ELM AVENUE
 LONG BEACH, CA 90807

kpff
 700 FLOWER ST., Suite 2100
 Los Angeles, CA 90017
 P: 213.418.0291
 F: 213.266.5204
 www.kpff.com

DESIGN SURVEY

LEGEND

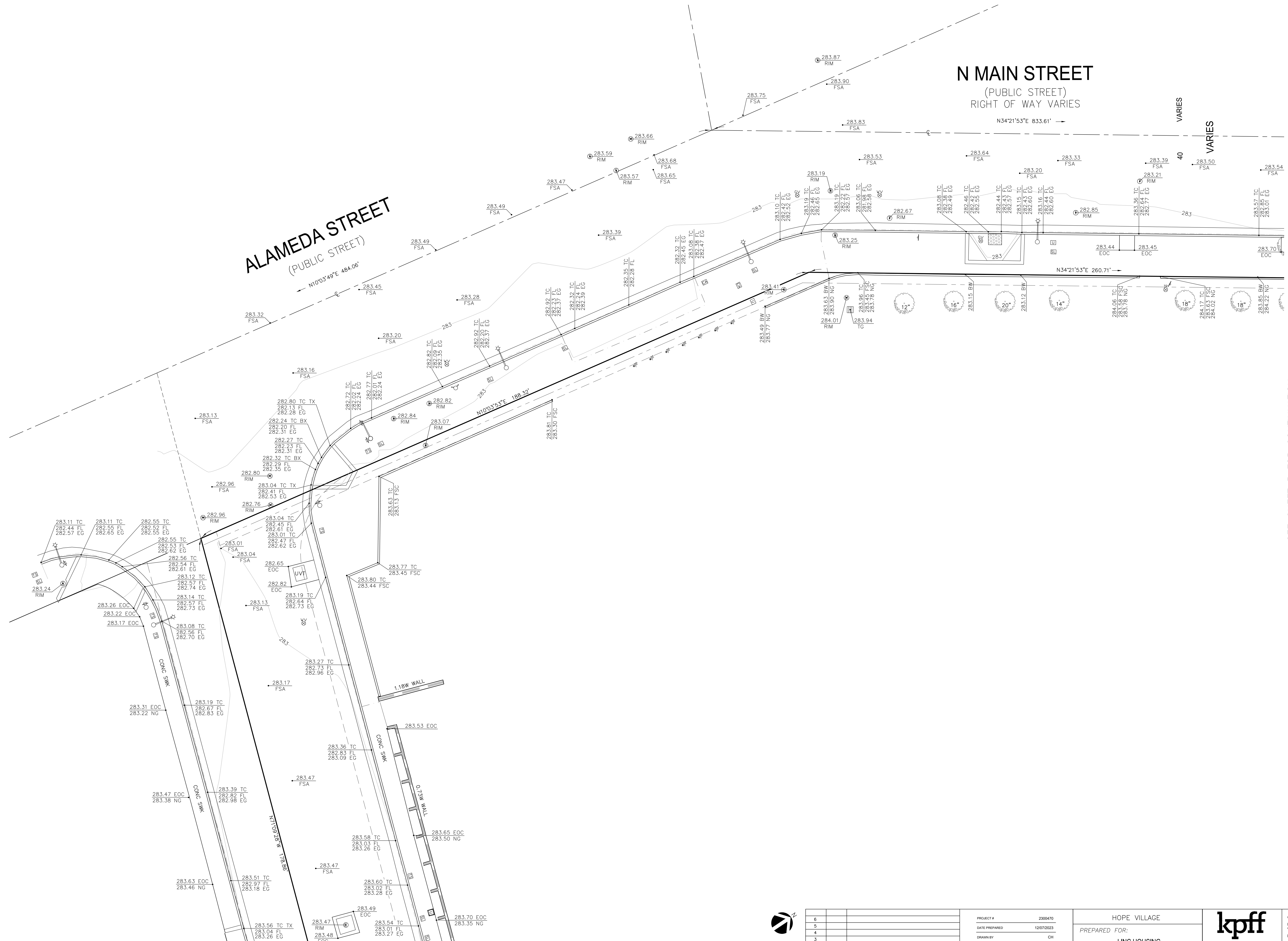
- ⊙ AREA DRAIN (CIRCLE)
- ⊠ AREA DRAIN (SQUARE)
- ☆ SINGLE-ARM AREA LIGHT
- ⊠ DOUBLE-ARM AREA LIGHT
- ⊠ BOLLARD
- ⊠ CABLE TV PULLBOX
- ⊠ CURB DRAIN
- ⊠ IRRIGATION CONTROL BOX
- ⊠ IRRIGATION CONTROL VALVE
- ⊠ ELECTRIC CABINET
- ⊠ ELECTRIC MANHOLE
- ⊠ ELECTRIC PULLBOX
- ⊠ FIRE DEPARTMENT CONNECTION
- ⊠ FIRE HYDRANT
- ⊠ FLAG POLE
- ⊠ GAS VALVE
- ⊠ RISER
- ⊠ SEWER CLEAN OUT
- ⊠ SIGN
- ⊠ STORM DRAIN MANHOLE
- ⊠ STREET LIGHT
- ⊠ STREET LIGHT PULLBOX
- ⊠ TELEPHONE MANHOLE
- ⊠ TRAFFIC PULLBOX
- ⊠ TRAFFIC SIGNAL
- ⊠ TREE
- ⊠ UNIDENTIFIED CABINET
- ⊠ UNIDENTIFIED CLEAN OUT
- ⊠ UNIDENTIFIED MANHOLE
- ⊠ UNIDENTIFIED PULLBOX
- ⊠ UTILITY POLE
- ⊠ VENT
- ⊠ WATER METER
- ⊠ WATER VALVE

ABBREVIATIONS

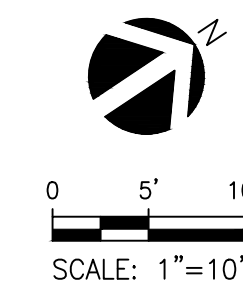
- APN ASSESSORS PARCEL NUMBER
- BLD BUILDING
- BW BACK OF WALK
- BX BOTTOM OF TRANSITION
- CB CATCH BASIN
- CL CENTERLINE
- CLF CHAIN LINK FENCE
- CONC CONCRETE
- DWY DRIVEWAY
- EG EDGE OF GUTTER
- EOC EDGE OF CONCRETE
- ELEV ELEVATED
- ELV ELECTRICAL VAULT
- FDC FIRE DEPARTMENT CONNECTION
- FF FINISHED FLOOR
- FL FLOWLINE
- FSA FINISHED SURFACE ASPHALT
- FSC FINISHED SURFACE CONCRETE
- GB GRADE BREAK
- HP HIGH POINT
- INV INVERT
- LA LANDSCAPE AREA
- M.B. MAP BOOK
- MULTI MULTIPLE
- N NORTH
- NE NORTHEAST
- NG NATURAL GROUND
- PL PROPERTY LINE
- RCP REINFORCED CONCRETE PIPE
- R/W RIGHT-OF-WAY
- S SOUTH
- SW SOUTHWEST
- SSMH SANITARY SEWER MANHOLE
- SWK SIDEWALK
- TC TOP OF CURB
- TG TOP OF GRATE
- TW TOP OF WALL
- TX TOP OF TRANSITION
- TYP. TYPICAL
- UVT UNKNOWN VAULT
- WFI WROUGHT IRON FENCE
- WPB WATER PULLBOX
- WVLT WATER VAULT

LINETYPES

- ▬ BUILDING LINE
- — — CENTERLINE
- ▬ CHAINLINK FENCE
- ▬ CONC. LINE
- ▬ CURB FACE WITH BACK OF CURB (0.5' 0/5)
- ▬ EASEMENT LINE
- ▬ FLOWLINE
- ▬ GRADEBREAK
- ▬ PARCEL LINE
- ▬ PROPERTY LINE
- ▬ RIGHT OF WAY LINE
- ▬ WALL
- ▬ WROUGHT IRON FENCE



SEE SHEET 8 FOR CONTINUATION



NO.	DATE	REVISIONS
6		
5		
4		
3		
2		
1		

PROJECT #	2800470
DATE PREPARED	12/07/2023
DRAWN BY	CH
CHECKED BY	CL

HOPE VILLAGE	
PREPARED FOR:	
LINC HOUSING	
3890 ELLA AVENUE LONG BEACH, CA 90807	

kpff
 790 FLOWER ST., Suite 2100
 Los Angeles, CA 90017
 P: 213.418.0281
 F: 213.266.5204
 www.kpff.com

SEE SHEET 5 FOR CONTINUATION

SHEET 7 OF 8

DESIGN SURVEY

SEE SHEET 7 FOR CONTINUATION

LEGEND

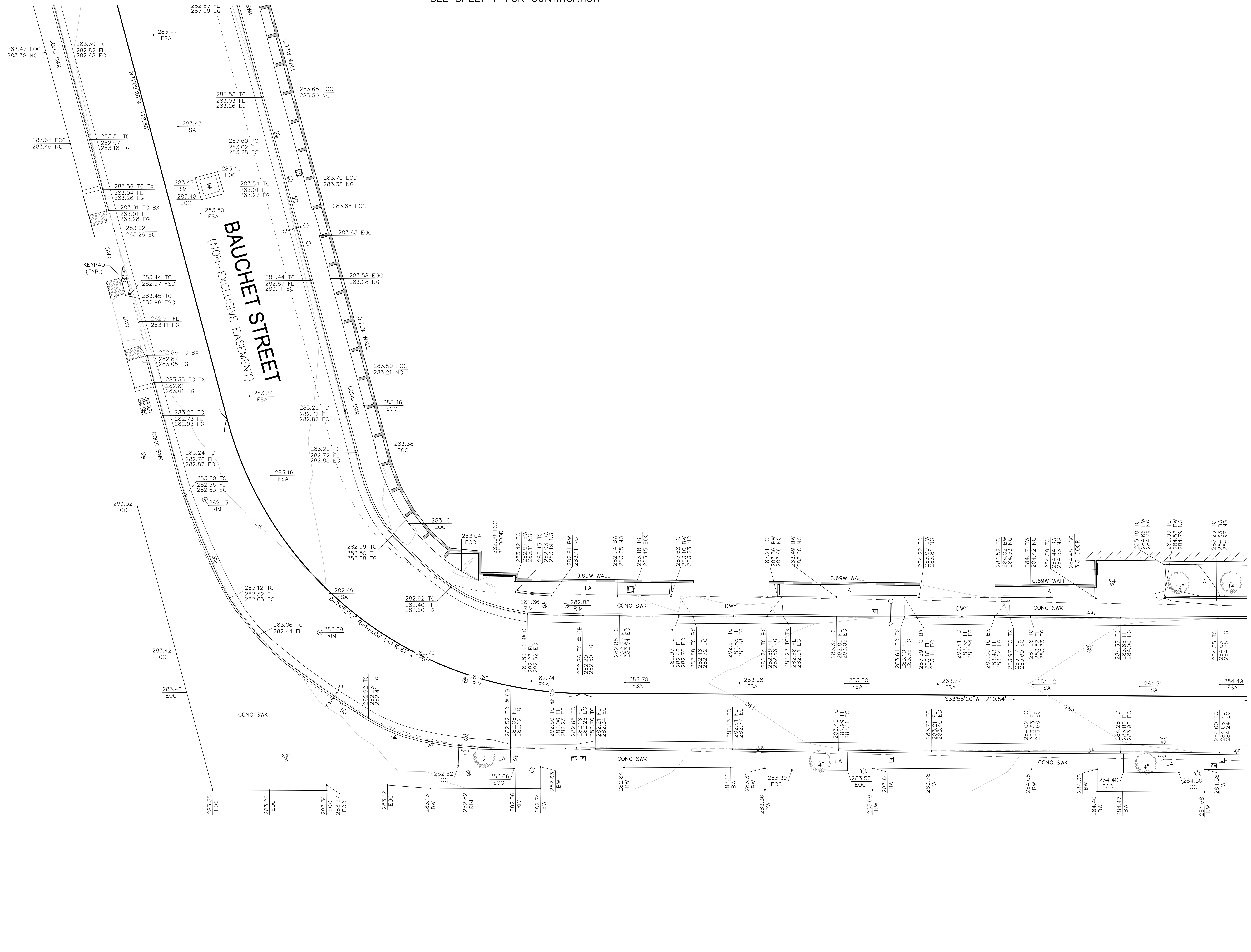
- ⊙ AREA DRAIN (CIRCLE)
- ⊠ AREA DRAIN (SQUARE)
- ☼ SINGLE-ARM AREA LIGHT
- ☼☼ DOUBLE-ARM AREA LIGHT
- ⊕ BOLLARD
- ⊠ CABLE TV PULLBOX
- ⊕ CURB DRAIN
- ⊠ IRRIGATION CONTROL BOX
- ⊠ IRRIGATION CONTROL VALVE
- ⊠ ELECTRIC CABINET
- ⊠ ELECTRIC MANHOLE
- ⊠ ELECTRIC PULLBOX
- ⊠ FIRE DEPARTMENT CONNECTION
- ⊠ FIRE HYDRANT
- ⊠ FLAG POLE
- ⊠ GAS VALVE
- ⊠ RISER
- ⊠ SEWER CLEAN OUT
- ⊠ SIGN
- ⊠ STORM DRAIN MANHOLE
- ⊠ STREET LIGHT
- ⊠ STREET LIGHT PULLBOX
- ⊠ TELEPHONE MANHOLE
- ⊠ TRAFFIC PULLBOX
- ⊠ TRAFFIC SIGNAL
- ⊠ TREE
- ⊠ UNIDENTIFIED CABINET
- ⊠ UNIDENTIFIED CLEAN OUT
- ⊠ UNIDENTIFIED MANHOLE
- ⊠ UNIDENTIFIED PULLBOX
- ⊠ UTILITY POLE
- ⊠ VENT
- ⊠ WATER METER
- ⊠ WATER VALVE

ABBREVIATIONS

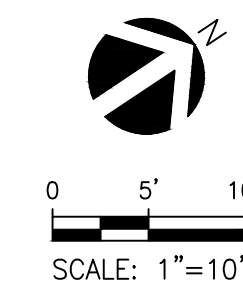
- APN ASSESSORS PARCEL NUMBER
- BLD BUILDING
- BW BACK OF WALK
- BX BOTTOM OF TRANSITION
- CB CATCH BASIN
- CL CENTERLINE
- CLF CHAIN LINK FENCE
- CONC CONCRETE
- DWY DRIVEWAY
- EG EDGE OF GUTTER
- EOC EDGE OF CONCRETE
- ELEV ELEVATED
- ELV ELECTRICAL VAULT
- FDC FIRE DEPARTMENT CONNECTION
- FF FINISHED FLOOR
- FL FLOWLINE
- FSA FINISHED SURFACE ASPHALT
- FSC FINISHED SURFACE CONCRETE
- GB GRADE BREAK
- HP HIGH POINT
- INV INVERT
- LA LANDSCAPE AREA
- M.B. MAP BOOK
- MULTI MULTIPLE
- N NORTH
- NE NORTHEAST
- NG NATURAL GROUND
- PL PROPERTY LINE
- RCP REINFORCED CONCRETE PIPE
- R/W RIGHT-OF-WAY
- S SOUTH
- SW SOUTHWEST
- SSMH SANITARY SEWER MANHOLE
- SWK SIDEWALK
- TC TOP OF CURB
- TG TOP OF GRATE
- TW TOP OF WALL
- TX TOP OF TRANSITION
- TYP. TYPICAL
- UVT UNKNOWN VAULT
- WFI WROUGHT IRON FENCE
- WPB WATER PULLBOX
- WVLT WATER VAULT

LINETYPES

- ▬ BUILDING LINE
- — — CENTERLINE
- ▬ CHAINLINK FENCE
- ▬ CONC LINE
- ▬ CURB FACE WITH BACK OF CURB (0.5' 0/5)
- ▬ EASEMENT LINE
- ▬ FLOWLINE
- ▬ GRADEBREAK
- ▬ PARCEL LINE
- ▬ PROPERTY LINE
- ▬ RIGHT OF WAY LINE
- ▬ WALL
- ▬ WROUGHT IRON FENCE



SEE SHEET 6 FOR CONTINUATION



NO.	DATE	REVISIONS
6		
5		
4		
3		
2		
1		

PROJECT #	2800470
DATE PREPARED	12/07/2023
DRAWN BY	CH
CHECKED BY	CL

HOPE VILLAGE
 PREPARED FOR:
LINC HOUSING
 3899 ELM AVENUE
 LONG BEACH, CA 90807

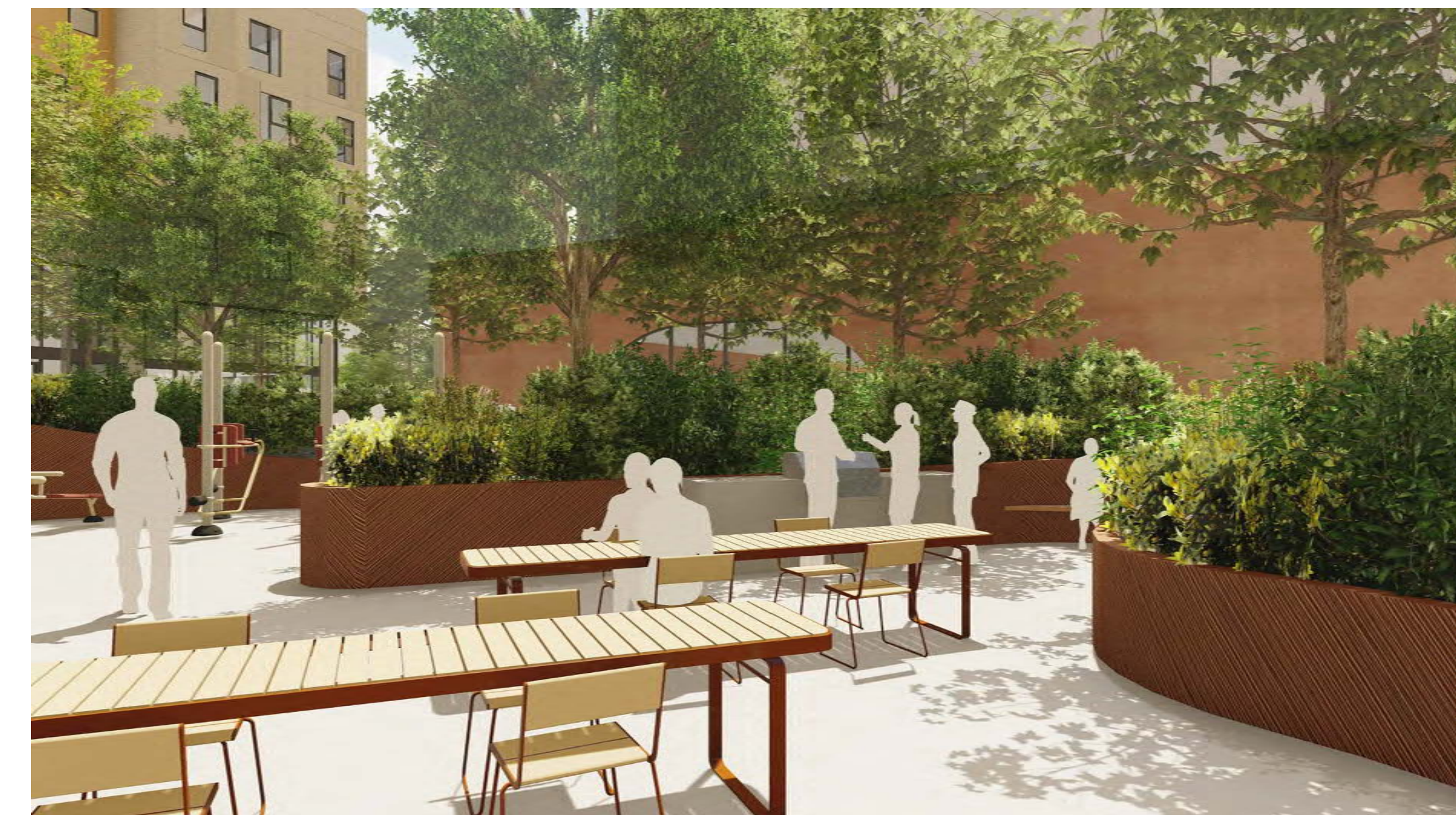
kpff
 790 FLOWER ST., Suite 2100
 Los Angeles, CA 90017
 P: 213.418.0291
 F: 213.266.5204
 www.kpff.com



1 L1 - PLAN
SCALE: N/A



4 L1 - CEREMONIAL GARDEN AMPHITHEATER
SCALE: N/A



5 L1 - RESIDENTIAL FOOD GARDEN, BBQ, OUTDOOR GYM
SCALE: N/A



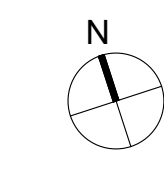
2 L1 - NORTH WEST ENTRY PLAZA
SCALE: N/A



3 L1 - SOUTH WEST WELCOMING PLAZA
SCALE: N/A



6 L1 - TCE ENTRY THRU MEDICINAL GARDEN
SCALE: N/A



APPROVAL STAMP



245 East 3rd Street
Long Beach, California 90802
t 562.901.1500
studio-11.com



3590 ELM AVENUE
LONG BEACH, CA
90807

CHEE
SALETTE

LANDSCAPE
ARCHITECT

1605 SOUTH CENTRAL AVENUE
GLENDALE, CA 91204
TEL: 323.691.6647
EMAIL: tchee@cheesalette.com

TCE MAIN,
LOS ANGELES

800 N. MAIN STREET,
LOS ANGELES, CA,
90012

#	DATE	ISSUE
PZA SUBMITTAL	01/31/2024	
PZA RESUBMITTAL	03/15/2024	
ENTITLEMENT SUBM.	04/19/2024	

JOB NO. 23-099

LANDSCAPE
VIEWS

L0.11

NOT ISSUED FOR CONSTRUCTION



1 L3 - RESIDENTIAL COURTYARD PLAN
SCALE: N/A



2 L7 - RESIDENTIAL BUILDING ROOF DECK PLAN
SCALE: N/A



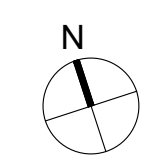
3 L3 - COURTYARD AERIAL VIEW
SCALE: N/A



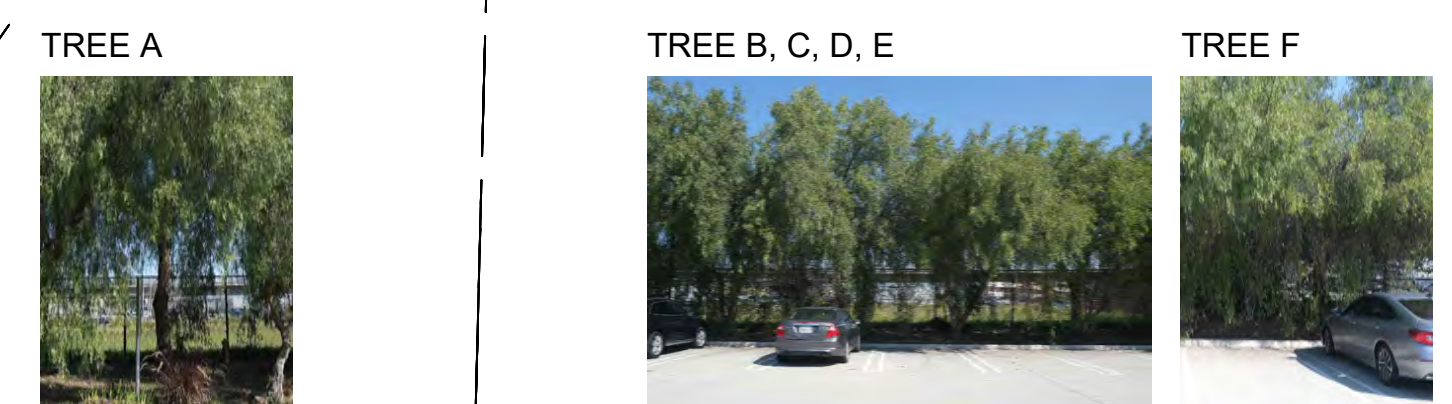
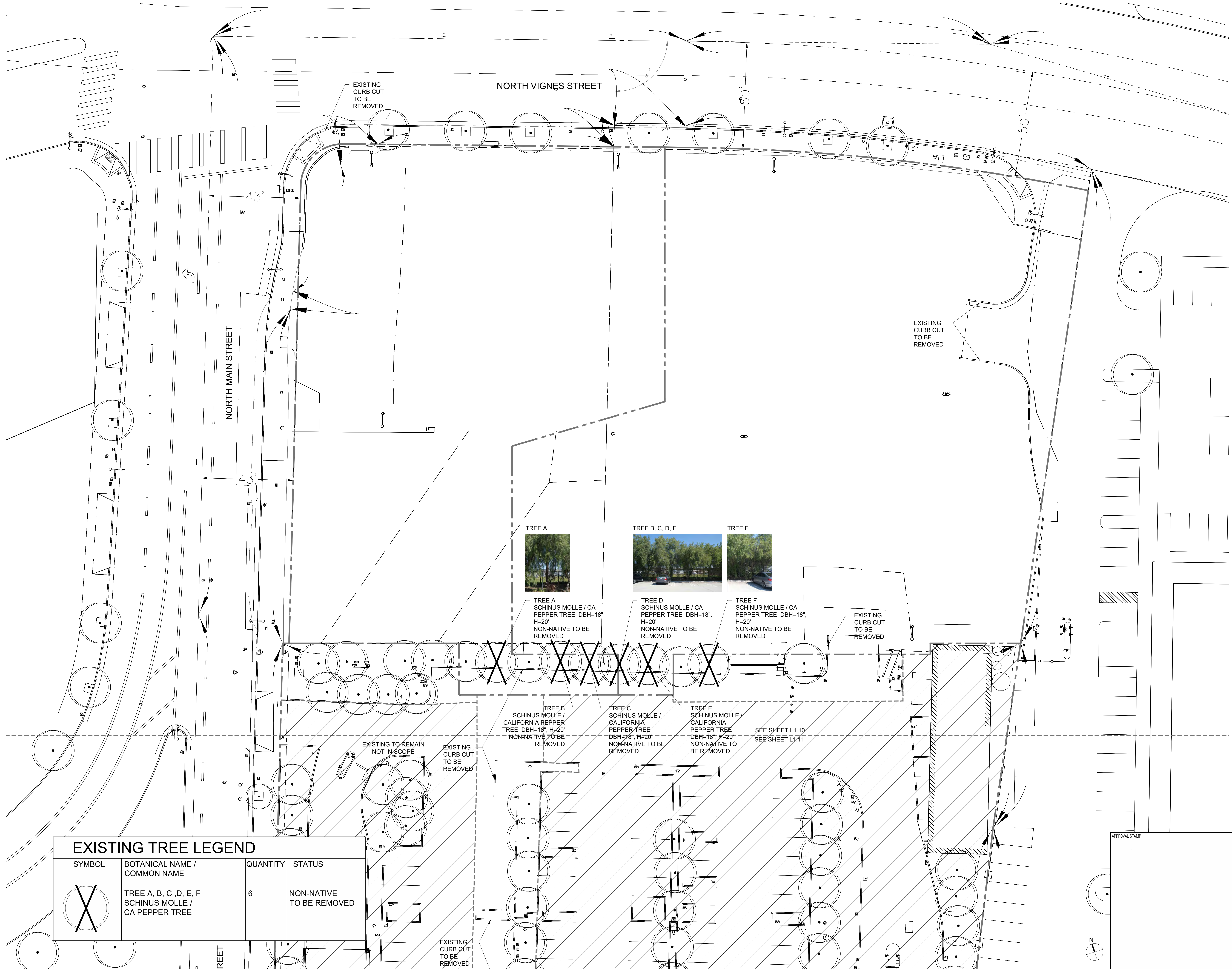
4 L3 - COURTYARD PLAY AREA
SCALE: N/A



5 L7 - RESIDENTIAL COMMUNAL ROOF DECK
SCALE: N/A



APPROVAL STAMP



TREE A
SCHINUS MOLLE / CA PEPPER TREE DBH=18", H=20' NON-NATIVE TO BE REMOVED

TREE B
SCHINUS MOLLE / CALIFORNIA PEPPER TREE DBH=18", H=20' NON-NATIVE TO BE REMOVED

TREE C
SCHINUS MOLLE / CALIFORNIA PEPPER TREE DBH=18", H=20' NON-NATIVE TO BE REMOVED

TREE D
SCHINUS MOLLE / CA PEPPER TREE DBH=18", H=20' NON-NATIVE TO BE REMOVED

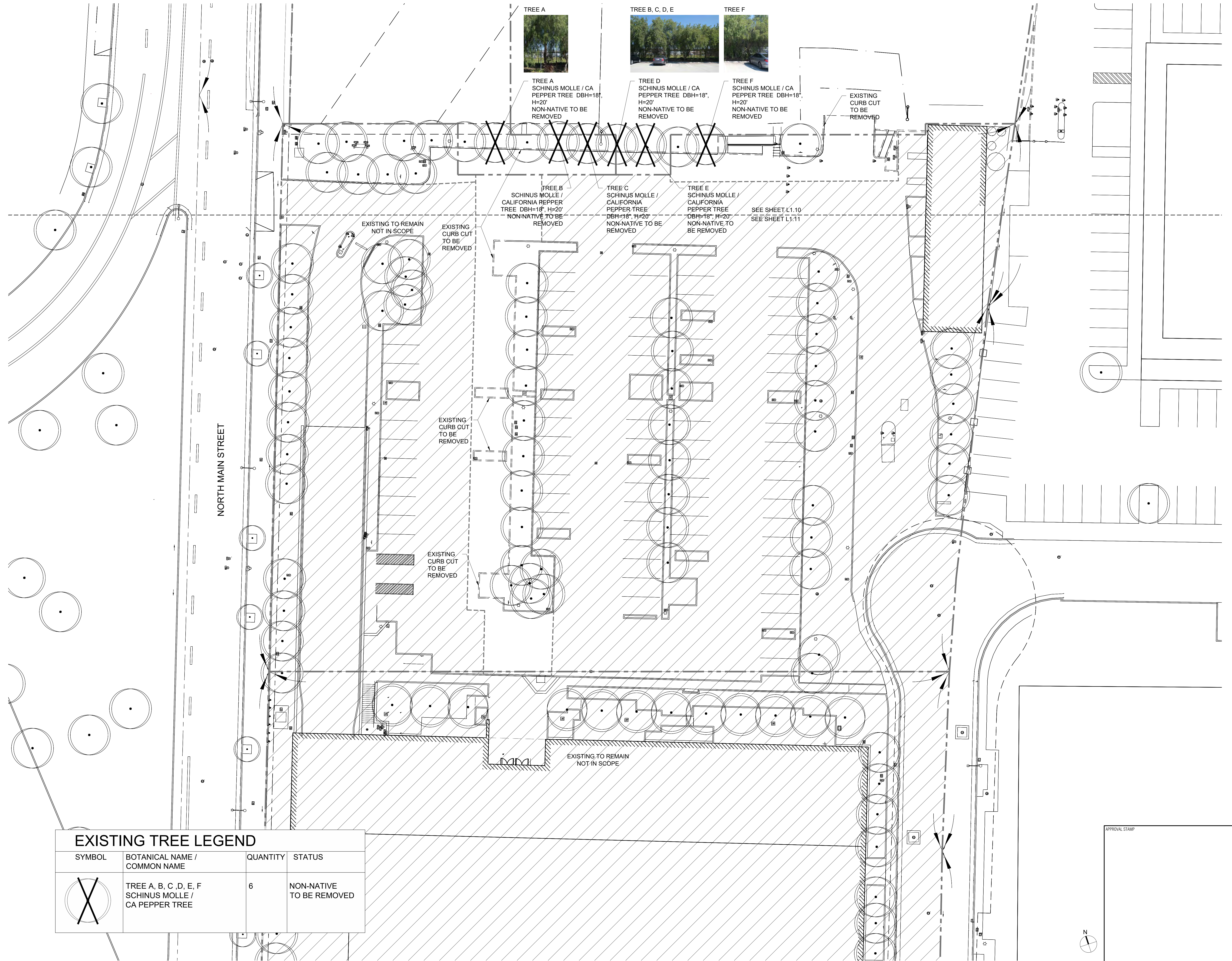
TREE E
SCHINUS MOLLE / CALIFORNIA PEPPER TREE DBH=18", H=20' NON-NATIVE TO BE REMOVED

TREE F
SCHINUS MOLLE / CA PEPPER TREE DBH=18", H=20' NON-NATIVE TO BE REMOVED

SEE SHEET L1.10
SEE SHEET L1.11

EXISTING TREE LEGEND

SYMBOL	BOTANICAL NAME / COMMON NAME	QUANTITY	STATUS
	TREE A, B, C, D, E, F SCHINUS MOLLE / CA PEPPER TREE	6	NON-NATIVE TO BE REMOVED



TREE A
SCHINUS MOLLE / CA
PEPPER TREE DBH=18",
H=20'
NON-NATIVE TO BE
REMOVED

TREE D
SCHINUS MOLLE / CA
PEPPER TREE DBH=18",
H=20'
NON-NATIVE TO BE
REMOVED

TREE F
SCHINUS MOLLE / CA
PEPPER TREE DBH=18",
H=20'
NON-NATIVE TO BE
REMOVED

TREE B
SCHINUS MOLLE /
CALIFORNIA PEPPER
TREE DBH=18", H=20'
NON-NATIVE TO BE
REMOVED

TREE C
SCHINUS MOLLE /
CALIFORNIA
PEPPER TREE
DBH=18", H=20'
NON-NATIVE TO BE
REMOVED

TREE E
SCHINUS MOLLE /
CALIFORNIA
PEPPER TREE
DBH=18", H=20'
NON-NATIVE TO BE
REMOVED

SEE SHEET L1.10
SEE SHEET L1.11

EXISTING TO REMAIN
NOT IN SCOPE

EXISTING CURB CUT
TO BE
REMOVED

EXISTING CURB CUT
TO BE
REMOVED

EXISTING CURB CUT
TO BE
REMOVED

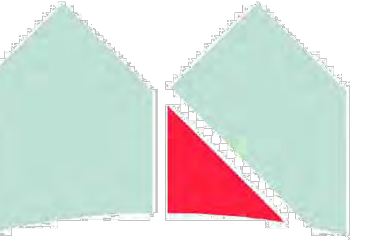
EXISTING TO REMAIN
NOT IN SCOPE

EXISTING TREE LEGEND

SYMBOL	BOTANICAL NAME / COMMON NAME	QUANTITY	STATUS
	TREE A, B, C, D, E, F SCHINUS MOLLE / CA PEPPER TREE	6	NON-NATIVE TO BE REMOVED



245 East 3rd Street
Long Beach, California 90802
T 562.901.1500
STUDIO@11.COM



linc
HOUSING

3590 ELM AVENUE
LONG BEACH, CA
90807

**CHEE
SALETTE**

LANDSCAPE
ARCHITECT

1625 SOUTH CENTRAL AVENUE,
GLENDALE, CA 91204
TEL: 323.691.6697
EMAIL: linc@cheesalette.com

**TCE MAIN,
LOS ANGELES**

800 N. MAIN STREET,
LOS ANGELES, CA,
90012

#	DATE	ISSUE
1	01/31/2024	PZA SUBMITTAL
2	03/15/2024	PZA RESUBMITTAL
3	04/19/2024	ENTITLEMENT SUBM.

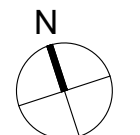
JOB NO. 23-099

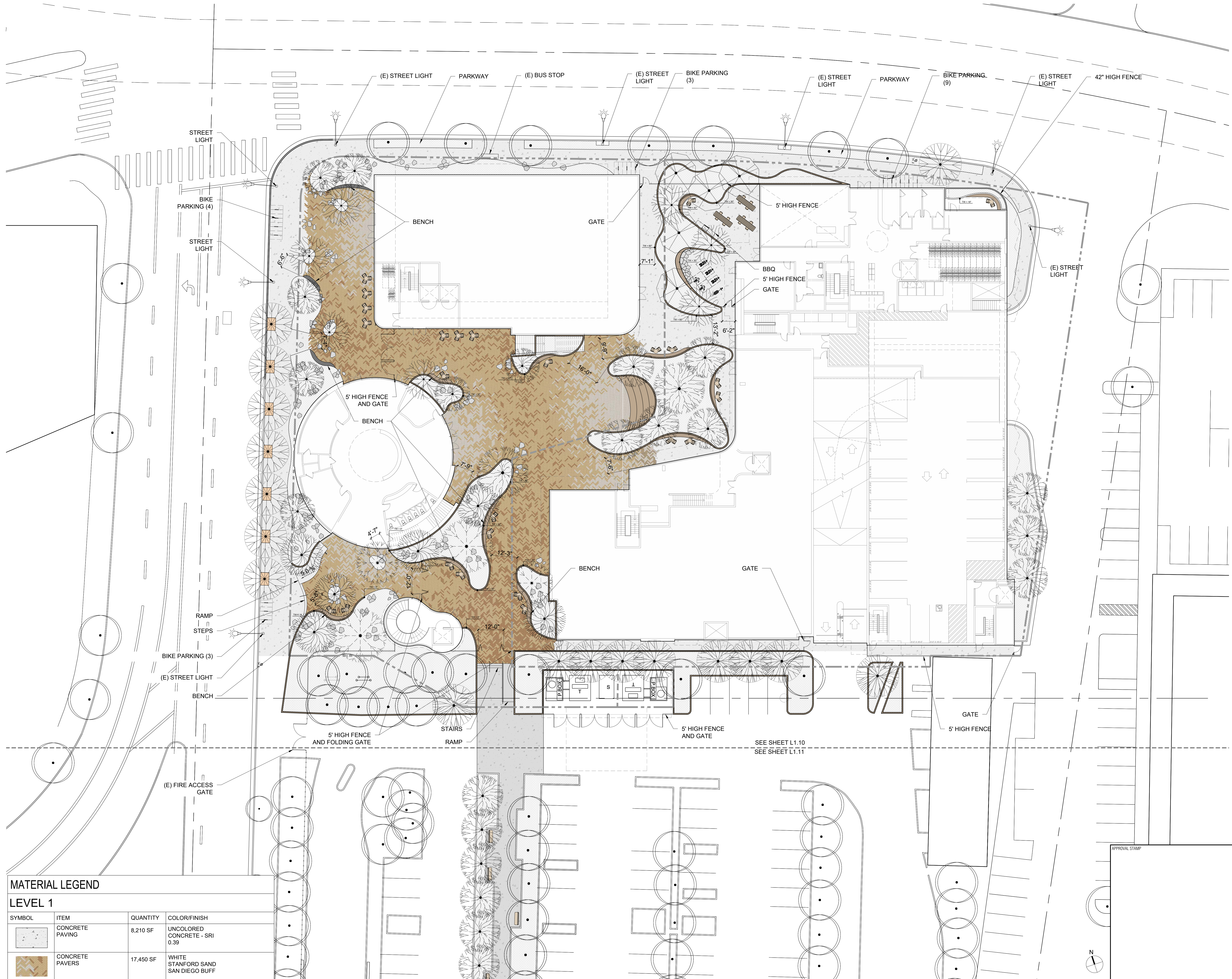
EXISTING TREE
DISPOSITION
PLAN

L1.01

1/8"=1'-0"
NOT ISSUED FOR CONSTRUCTION

APPROVAL STAMP





MATERIAL LEGEND

LEVEL 1			
SYMBOL	ITEM	QUANTITY	COLOR/FINISH
	CONCRETE PAVING	8,210 SF	UNCOLORED CONCRETE - SRI 0.39
	CONCRETE PAVERS	17,450 SF	WHITE STANFORD SAND SAN DIEGO BUFF



245 East 3rd Street
Long Beach, California 90802
T 562.901.1500
STUDIO-11.COM



3590 ELM AVENUE
LONG BEACH, CA
90807

CHEE SALETTE

LANDSCAPE ARCHITECT

1625 SOUTH CENTRAL AVENUE
GLENDALE, CA 91204
TEL: 323.691.6647
EMAIL: linc@cheesalette.com

TCE MAIN, LOS ANGELES

800 N. MAIN STREET,
LOS ANGELES, CA,
90012

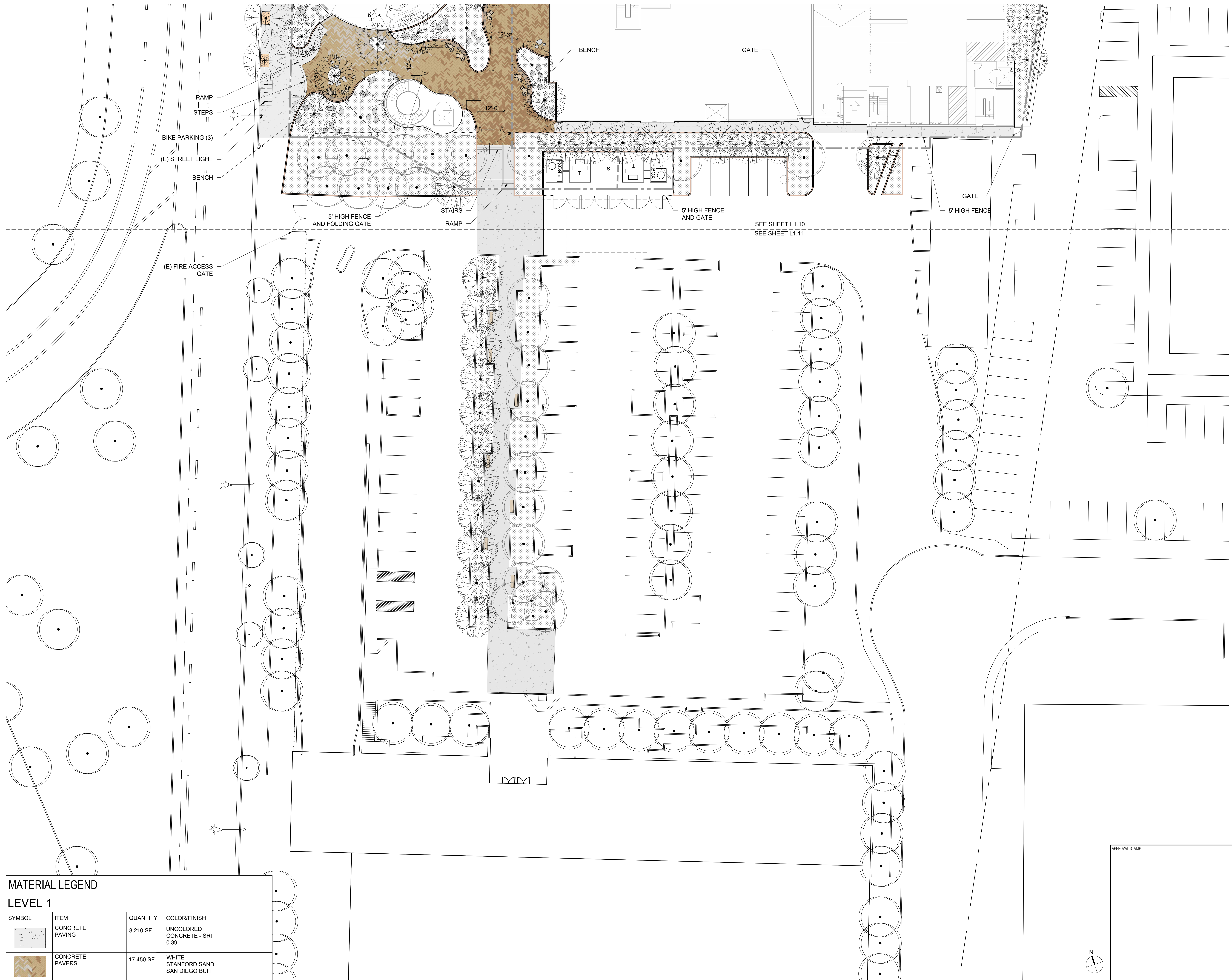
#	DATE	ISSUE
1	01/31/2024	PZA SUBMITTAL
2	03/15/2024	PZA RESUBMITTAL
3	04/19/2024	ENTITLEMENT SUBM.

JOB NO. 23-099

LANDSCAPE LEVEL 01
MATERIAL PLAN

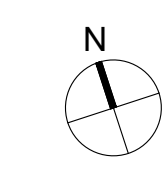
L1.10

1/16"=1'-0"
NOT ISSUED FOR CONSTRUCTION



MATERIAL LEGEND			
LEVEL 1			
SYMBOL	ITEM	QUANTITY	COLOR/FINISH
	CONCRETE PAVING	8,210 SF	UNCOLORED CONCRETE - SRI 0.39
	CONCRETE PAVERS	17,450 SF	WHITE STANFORD SAND SAN DIEGO BUFF

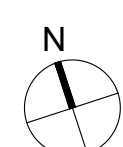
APPROVAL STAMP





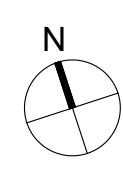
SEE SHEET L1.12
 SEE SHEET L1.13

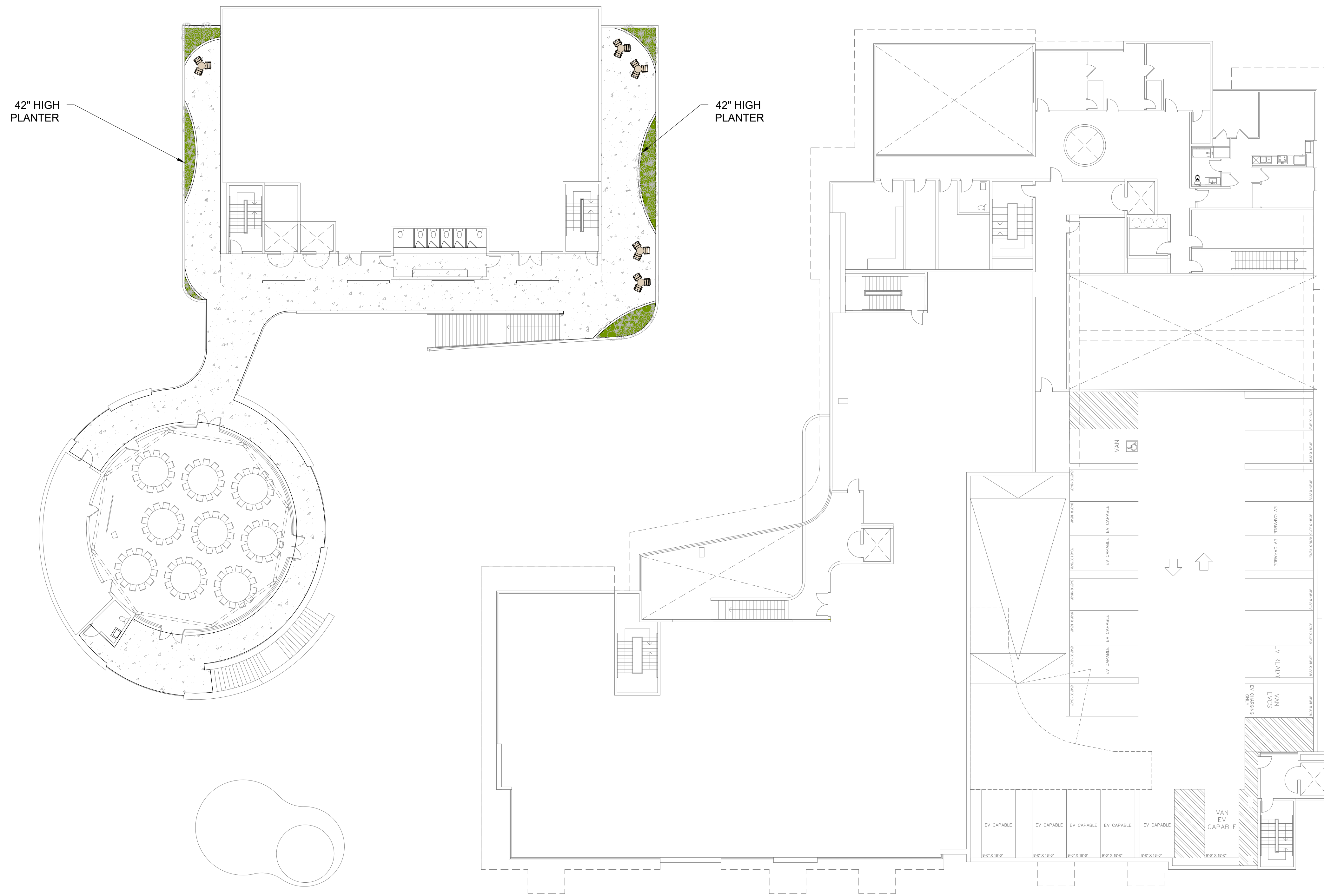
APPROVAL STAMP

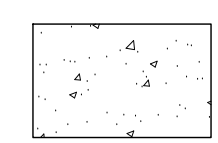


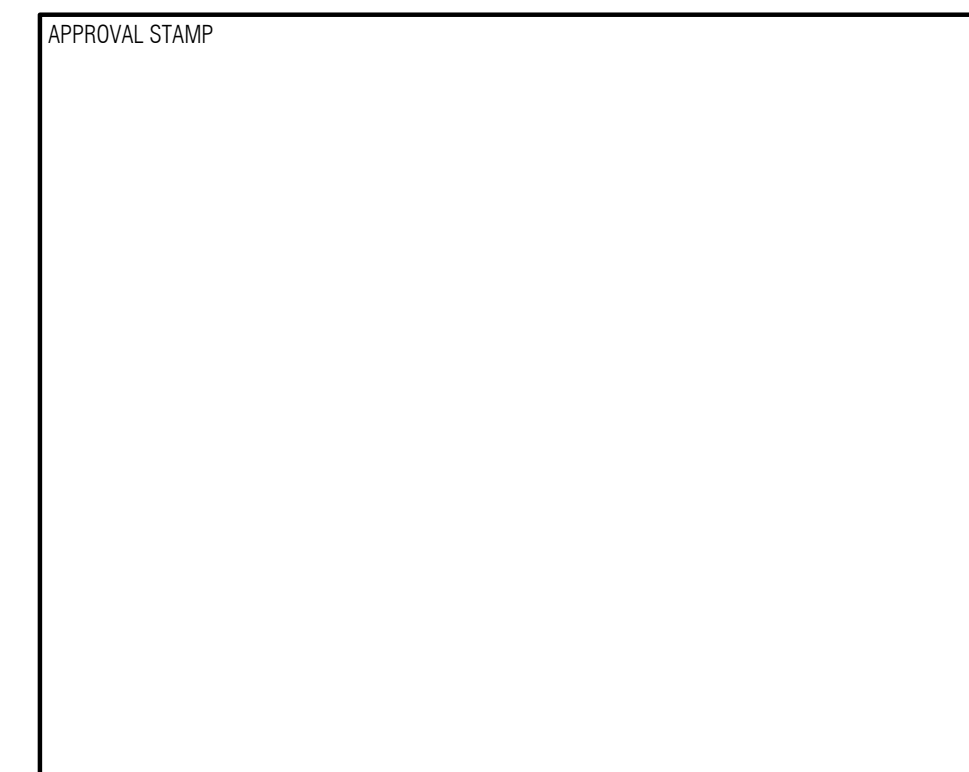
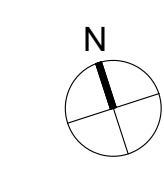


APPROVAL STAMP



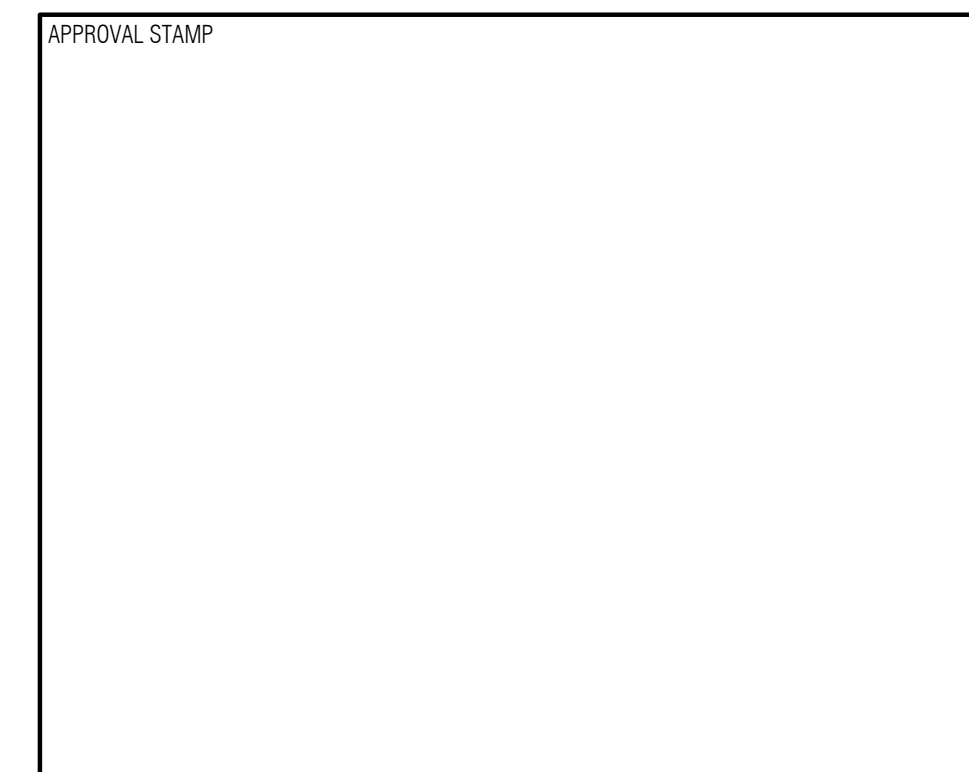
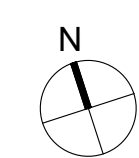


MATERIAL LEGEND			
LEVEL 2			
SYMBOL	ITEM	QUANTITY	COLOR/FINISH
	CONCRETE PAVING	4,835 SF	UNCOLORED CONCRETE - SRI 0.39

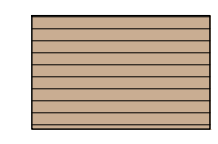


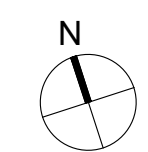


MATERIAL LEGEND			
LEVEL 3			
	CONCRETE PAVING	1,900 SF	UNCOLORED CONCRETE - SRI 0.39
	RESILIENT PAVING	1,330 SF	BRIGHT GREEN, EGGSHELL, LIGHT GRAY, HUNTER GREEN





MATERIAL LEGEND			
LEVEL 7			
	WOOD DECKING	1,787 SF	CUMARU WOOD



APPROVAL STAMP

WATER EFFICIENT LANDSCAPE WORKSHEET							
<small>This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package</small>							
Project Name:		Hope Village					
Project Address:		800 N. Main Street Los Angeles, CA, 90012					
Reference Evapotranspiration (ETo)			50.1	In. / Yr.	Residential Project?		Yes
Hydrozone # / Planting Description*	Plant Factor	Irrigation Method ^b	Irrigation Efficiency (IE) ^c	ETAF (PF / IE)	Landscape Area (Sq. Ft.)	ETAF x Area	Estimated Total Water Use (ETWU) ^d
Regular Landscape Areas							
1. Low Water Use Plantings	0.20	Drip	0.81	0.247	22,260	5,496.3	170,726
3. Low Water Use Plantings	0.20	Spray	0.75	0.267	3,136	836.3	25,976
					Totals:	25,396	6,332.6
Total of All Landscape Areas:		25,396		Estimated Total Water Use (ETWU) Total:		196,702	
				Maximum Applied Water Allowance (MAWA)^e:		433,868	
Hydrozone # / Planting Description		Irrigation Method		Irrigation Efficiency			
E.g.		Overhead Spray or Drip		0.75 for Spray 0.81 for Drip			
1.) Front Lawn							
2.) Low Water Use Plantings							
3.) Medium Water Use Plantings							
*ETWU (Annual Gallons Required) = ETo x 0.62 x ETAF x Area <small>Where 0.62 is a conversion factor that converts acre-inches/acre/year to gallons/square foot/year.</small>							
*MAWA (Annual Gallons Allowed) = ETo x 0.62 x [(ETAF x LA) + ((1 - ETAF) x SLA)] <small>Where 0.62 is a conversion factor that converts acre-inches/acre/year to gallons/square foot/year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is 0.55 for residential projects and 0.45 for non-residential projects.</small>							
Evapotranspiration Adjustment Factor (ETAF) Calculations							
This residential project complies with the WELO and its average ETAF is less than							0.55
Regular Landscape Areas (Excludes Special Landscape Areas)		All Landscape Areas (Includes Special Landscape Areas)					
Total ETAF x Area	6,333	Total ETAF x Area	6,333				
Total Area	25,396	Total Area	25,396				
Average ETAF	0.25	Average ETAF	0.25				

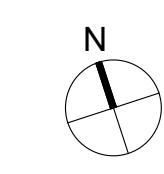
IRRIGATION NOTES

- ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTURAL PLANS BEFORE BEGINNING WORK.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
- THIS DESIGN IS DIAGRAMMATIC. ALL EQUIPMENT SHOWN IN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND IS TO BE INSTALLED WITHIN PLANTING AREAS.
- THE CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER.
- INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL CITY, COUNTY AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.
- ACTUAL LOCATION FOR THE INSTALLATION OF THE BACKFLOW PREVENTER AND THE AUTOMATIC CONTROLLER IS TO BE DETERMINED IN THE FIELD BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
- CONTRACTOR IS TO PROVIDE AN ADDITIONAL PILOT WIRE FROM CONTROLLER ALONG ENTIRETY OF MAIN LINE TO THE LAST RCV ON EACH AND EVERY LEG OF MAIN LINE. LABEL SPARE WIRES AT BOTH ENDS.
- ALL PIPE UNDER PAVED AREAS TO BE INSTALLED IN SLEEVING TWICE THE DIAMETER OF THE PIPE CARRIED. SEE LEGEND FOR TYPE. ALL WIRE UNDER PAVED AREAS TO BE INSTALLED IN A SCH. 40 SLEEVE THE SIZE REQUIRED TO EASILY PULL WIRE THROUGH. ALL SLEEVES TO BE INSTALLED WITH A MINIMUM DEPTH AS SHOWN ON THE SLEEVING DETAILS. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF THE PAVING.
- ALL QUICK COUPLER AND REMOTE CONTROL VALVES TO BE INSTALLED IN SHRUB OR GROUND COVER AREAS WHERE POSSIBLE. ALL QUICK COUPLER AND REMOTE CONTROL VALVES TO BE INSTALLED AS SHOWN ON THE INSTALLATION DETAILS. INSTALL ALL QUICK COUPLER AND REMOTE CONTROL VALVES WITHIN 18" OF HARDSCAPE.
- ALL HEADS ARE TO BE INSTALLED WITH THE NOZZLE, SCREEN AND ARCS SHOWN ON THE PLANS. ALL HEADS ARE TO BE ADJUSTED TO PREVENT OVERSPRAY ONTO BUILDINGS, WALLS, FENCES AND HARDSCAPE. THIS INCLUDES, BUT NOT LIMITED TO, ADJUSTMENT OF DIFFUSER PIN OR ADJUSTMENT SCREW, REPLACEMENT OF PRESSURE COMPENSATING SCREENS, REPLACEMENT OF NOZZLES WITH MORE APPROPRIATE RADIUS UNITS AND THE REPLACEMENT OF NOZZLES WITH ADJUSTABLE ARC UNITS.
- THE CONTRACTOR SHALL USE PROPER GROUNDING TECHNIQUES FOR GROUNDING THE CONTROLLER AND RELATED EQUIPMENT PER MANUFACTURERS SPECIFICATIONS. SWEENEY AND ASSOCIATES RECOMMENDS MEASURING FOR PROPER GROUND AT LEAST ONCE ANNUALLY, AND NECESSARY ADJUSTMENTS MADE TO COMPLY WITH MANUFACTURER SPECIFICATIONS.
- CONTRACTOR SHALL INSTALL ADDITIONAL CHECK VALVES TO HEADS AND LATERALS AS REQUIRED TO PREVENT LOW HEAD DRAINAGE.

IRRIGATION MATERIAL LEGEND

SYMBOL	DESCRIPTION	DETAIL
	6" POP-UP BUBBLER HEAD WITH STREAM BUBBLER NOZZLE. EACH SYMBOL REPRESENTS TWO (2) BUBBLERS TO PROVIDE A TOTAL OF TWO (2) BUBBLERS PER TREE.	A,B
	6" POP-UP TURF HEAD WITH HIGH EFFICIENCY NOZZLES	A
	SUBSURFACE DRIP TUBING, PRESSURE COMPENSATING EMITTERS INTERNALLY INSTALLED IN THE DRIP TUBING AT 12" O.C. SPACING. DRIP TUBING SHALL BE EQUIPPED WITH A CONTINUOUS EXTERIOR CUPRON STRIPE, COPPER OXIDE INFUSED EMITTERS AND A PHYSICAL BARRIER TO PREVENT ROOT INTRUSION INTO THE DRIP EMITTER. DRIP EMITTERS SHALL BE CONTINUOUS FLUSHING TYPE AND EQUIPPED WITH A CHECK VALVE AND ANTI-SIPHON FEATURE.	C,D
	1.5" POTABLE (DOMESTIC) DEDICATED IRRIGATION WATER METER WITH 1.5" SERVICE LINE. VERIFY SIZE, LOCATION AND PRESSURE IN FIELD.	N/A
	975XLS, 3/4" - 2" RP BACK FLOW PREVENTION DEVICE WITH WYE STRAINER, INSTALL WITH BRASS NIPPLES, UNIONS AND FITTINGS, SIZED PER DEVICE	E
	NORMALLY OPEN, BRASS MASTER CONTROL VALVE (MCV). WIRE MCV TO THE CONTROLLER USING A SEPARATE PILOT AND GROUND WIRE, ROUTE INSIDE CONDUIT WITH FLOW SENSOR WIRE.	F
	ULTRASONIC TYPE FLOW SENSOR (FS), WITH FIPT END CONNECTIONS. WIRE THE FS TO CONTROLLER USING TWO (2) #14UF AWG WIRES INSIDE A 1 1/4" SCH. 40 PVC (GRAY) ELECTRICAL CONDUIT.	G
	VXX101N-SC XX" SLO-CLOSE SCH. 80 PVC, TRUE-UNION BALL VALVE WITH SOLVENT WELD SOCKET CONNECTIONS, LINE SIZE PER MAINLINE.	H
	1" QUICK COUPLER VALVE WITH LOCKING VINYL COVER	I
	PRESSURE REGULATING, PLASTIC REMOTE CONTROL VALVE (RCV).	J
	PLASTIC DRIP REMOTE CONTROL VALVE (DRCV) ASSEMBLY.	K
	SMART CONTROLLER EQUIPPED WITH A CELLULAR MODEM CARTRIDGE TO ALLOW FOR COMMUNICATION WITH CENTRAL CONTROL SOFTWARE AND "GLOBAL WEATHER" EVAPOTRANSPIRATION RATE DAILY WEATHER DATA SERVICE. GROUND THE CONTROLLER AS RECOMMENDED BY THE MANUFACTURER. THE CONTRACTOR SHALL REGISTER THE CONTROLLER WITH RAIN BIRD, ACTIVATE THE CENTRAL CONTROL SERVICE, AND FULLY PROGRAM THE CONTROLLER FOR AUTOMATIC PROGRAM / SCHEDULE ADJUSTMENT WITH THE WEATHER DATA DOWNLOAD SERVICE.	L
	RSD-BEX WIRED RAIN SENSOR, MOUNT IN RGRVSS ENCLOSURE ON THE SIDE OF THE CONTROLLER ENCLOSURE, WIRE TO THE CONTROLLER.	L
	120 VOLT ELECTRICAL POWER FOR CONTROLLER, PROVIDED BY ELECTRICIAN, VERIFY ACTUAL LOCATION IN FIELD	N/A
	PVC PIPE 2" - 2 1/2" CL. 315, SOLVENT WELD WITH SCH. 80 PVC FITTINGS, AS MAINLINES INSTALLED 18" BELOW FINISHED GRADE	M
	PVC PIPE SCH. 40 AS SLEEVING, TWICE THE DIAMETER OF PIPE OR WIRE BUNDLE CARRIED (2" MINIMUM SIZE) INSTALL ALL PIPE AND WIRE UNDER PAVING, HARDSCAPE, ETC. INSIDE SLEEVES.	N

I HAVE COMPLIED WITH THE CRITERIA OF THE IRRIGATION GUIDELINES AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN



APPROVAL STAMP



245 East 3rd Street
Long Beach, California 90802
t 562.901.1500
studio@11.com



3590 ELM AVENUE
LONG BEACH, CA
90807

CHEE
SALETTE

LANDSCAPE
ARCHITECT

1625 SOUTH CENTRAL AVENUE,
GLENDALE, CA 91204
TEL: 323.691.6697
EMAIL: tchee@cheesalette.com

TCE MAIN,
LOS ANGELES

800 N. MAIN STREET,
LOS ANGELES, CA,
90012

#	DATE	ISSUE
1	PZA SUBMITTAL	01/31/2024
2	PZA RESUBMITTAL	03/15/2024
3	ENTITLEMENT SUBM.	04/19/2024

JOB NO. 23-099

1/8" = 1'-0"

IRRIGATION
LEGEND &
NOTES

L10.00

NOT ISSUED FOR CONSTRUCTION



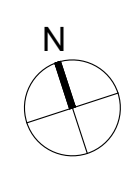
IRRIGATION POINT OF CONNECTION #1;
REFER TO NOTE "A"

IRRIGATION CONTROLLER "A";
REFER TO NOTE "B"

MATCHLINE - SEE SHEET L11.11

MATCHLINE - SEE SHEET L11.11

I HAVE COMPLIED WITH THE CRITERIA OF THE IRRIGATION GUIDELINES AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN



APPROVAL STAMP

IRRIGATION NOTES

NOTE A:
THIS IRRIGATION WATER POINT OF CONNECTION (POC) REQUIRES A SEPARATE, DEDICATED IRRIGATION WATER METER CONNECTED TO THE MUNICIPAL WATER SUPPLY. THE WATER METER MUST BE SHOWN ON THE CIVIL IMPROVEMENT PLAN AND IS OUTSIDE OF THE IRRIGATION SCOPE OF WORK. THIS DOCUMENT SHALL SERVE AS COORDINATION BETWEEN THE IRRIGATION DESIGNER AND THE CIVIL ENGINEER AND MUST BE PROVIDED TO THE CIVIL ENGINEER.

POINT OF CONNECTION (POC) #1 SHALL BE A 1" DOMESTIC WATER METER WITH A 1.5" SERVICE LINE. THE CONTRACTOR SHALL VERIFY THE ACTUAL LOCATION, WATER TYPE, METER SIZE AND WATER PRESSURE IN THE FIELD PRIOR TO STARTING WORK. MEASUREMENT OF THE STATIC (NO WATER MOVING) WATER PRESSURE IS ACCEPTABLE FOR POTABLE WATER SYSTEMS WHERE NO PUMP HAS BEEN INDICATED ON THESE PLANS. WHEN USING RECYCLED WATER, OR ON POTABLE WATER SYSTEMS REQUIRING A PUMP, ONLY THE MEASUREMENT OF DYNAMIC (WATER MOVING THROUGH THE METER) WATER PRESSURE, SHALL BE ACCEPTABLE. THE DYNAMIC WATER PRESSURE SHALL BE MEASURED AT THE MAXIMUM SYSTEM DEMAND AS INDICATED BELOW. IF ANY OF THE POC INFORMATION SHOWN ON THESE DRAWINGS IS FOUND TO BE DIFFERENT THAN THE ACTUAL POC INFORMATION GATHERED IN THE FIELD, IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT AND IRRIGATION CONSULTANT. SHOULD THE CONTRACTOR FAIL TO VERIFY THE POC INFORMATION AS SHOWN HEREIN, ANY CHANGES REQUIRED BY LOW PRESSURE OR VOLUME SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

WATER PRESSURE AT POC:	N/A	PSI (STATIC / DYNAMIC)
DESIGN WATER PRESSURE:	N/A	PSI
MAXIMUM SYSTEM DEMAND:	N/A	GPM
PRESSURE BOOST REQUIRED:	N/A	PSI
RESIDUAL WATER PRESSURE:	N/A	PSI

NOTE B:
CONTROLLER "A" SHALL BE A "SMART" CONTROLLER OF THE BRAND, MODEL AND STATION SIZE AS INDICATED ON THE IRRIGATION MATERIALS LEGEND. THE CONTROLLER SHALL BE INSTALLED IN THE APPROXIMATE LOCATION SHOWN. THE CONTRACTOR SHALL COORDINATE THE REQUIRED ELECTRICAL POWER SUPPLY AT THIS LOCATION WITH THE OWNER'S AUTHORIZED REPRESENTATIVE. FINAL LOCATION OF CONTROLLER AND ELECTRICAL POINT OF CONNECTION SHALL BE CONFIRMED WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.

THIS IRRIGATION CONTROLLER REQUIRES A SEPARATE, DEDICATED 120V IRRIGATION POWER PEDESTAL. THE POWER PEDESTAL MUST BE SHOWN ON THE CIVIL IMPROVEMENT PLAN AND IS OUTSIDE OF THE IRRIGATION SCOPE OF WORK. THIS DOCUMENT SHALL SERVE AS COORDINATION BETWEEN THE IRRIGATION DESIGNER AND THE CIVIL ENGINEER AND MUST BE PROVIDED TO THE CIVIL ENGINEER.

NOTE C:
THESE PLANS ARE DIAGRAMMATIC. THE MAINLINE AND RELATED IRRIGATION EQUIPMENT IS SHOWN WITHIN THE PAVING FOR CLARITY ONLY. THE ACTUAL LOCATION OF MAINLINE AND RELATED IRRIGATION EQUIPMENT SHALL BE WITHIN PLANTER AND A MINIMUM OF 18" OFF ADJACENT HARDSCAPE AND OTHER OBSTACLES, TYPICAL.

NOTE D: (IF NO OVERHEAD SPRAY HEADS ARE USED, REMOVE THIS NOTE)
CONTRACTOR SHALL ADJUST ALL HEADS AS REQUIRED TO ACCOMMODATE ANY VERTICAL OBSTRUCTIONS THAT MAY OCCUR IN THE LANDSCAPE, INCLUDING BUT NOT LIMITED TO LIGHT POLES, FIRE HYDRANTS, TREES, ETC. WHEN A SLIGHT RELOCATION OF THE HEAD IS NOT SUFFICIENT TO CLEAR THE OBSTACLE, OR IF IT NEGATIVELY AFFECTS THE COVERAGE, AN ADDITIONAL HEAD SHALL BE INSTALLED TO PLACE ONE HEAD ON EITHER SIDE OF THE OBSTACLE. THE NOZZLES OF THESE TWO HEADS SHALL HAVE ARC PATTERNS THAT ADD UP TO THE ORIGINAL ARC PATTERN OF THE HEAD INDICATED ON THE PLANS. THE CONTRACTOR SHALL VERIFY ALL HEAD LAYOUT WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.

NOTE E:
THESE PLANS ARE DIAGRAMMATIC. TREE BUBBLERS AND LATERAL LINES ARE SHOWN WITHIN THE PAVING FOR CLARITY ONLY. THE ACTUAL LOCATIONS SHALL BE WITHIN THE PLANTER. THE TREE BUBBLERS SHALL BE ALIGNED WITH TREES AS SHOWN ON THE PLANTING PLANS, AND AS DIRECTED BY OWNER'S AUTHORIZED REPRESENTATIVE. THE CONTRACTOR SHALL CONFIRM ALL LAYOUT IN FIELD WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.



245 East 3rd Street
Long Beach, California 90802
t 562.901.1500
STUDIO-11.COM



3590 ELM AVENUE
LONG BEACH, CA
90807

**CHEE
SALETTE**

LANDSCAPE
ARCHITECT

1625 SOUTH CENTRAL AVENUE,
GLENDALE, CA 91204
TEL: 323.691.6697
EMAIL: tchee@cheesalette.com

**TCE MAIN,
LOS ANGELES**

800 N. MAIN STREET,
LOS ANGELES, CA,
90012

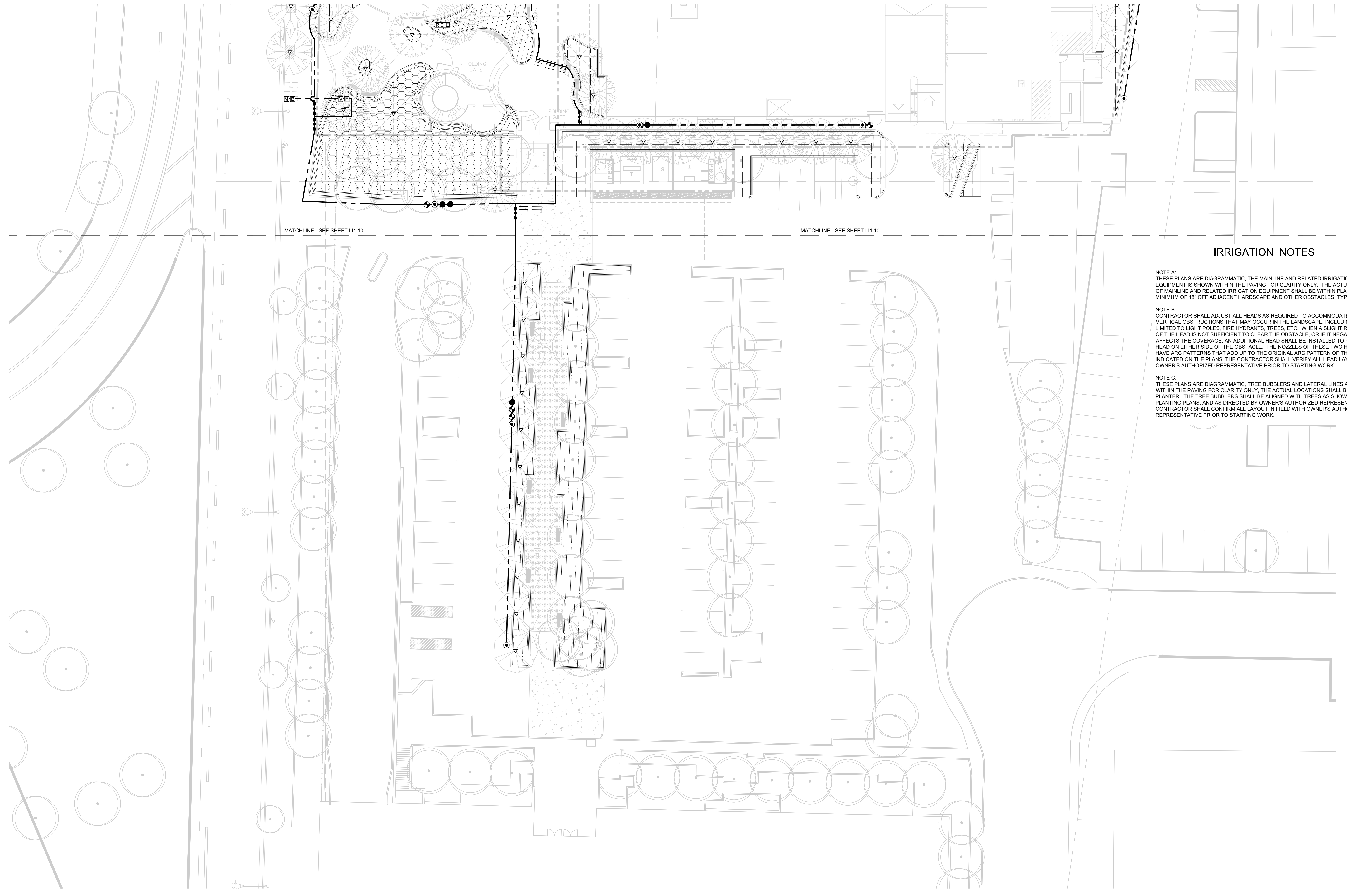
#	DATE	ISSUE
1	01/13/2024	PZA SUBMITTAL
2	03/15/2024	PZA RESUBMITTAL
3	04/19/2024	ENTITLEMENT SUBM.

JOB NO. 23-099

1/16" = 1'-0"

**IRRIGATION
PLAN
LEVEL 01
L11.10**

NOT ISSUED FOR CONSTRUCTION



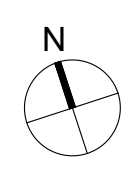
IRRIGATION NOTES

NOTE A:
 THESE PLANS ARE DIAGRAMMATIC. THE MAINLINE AND RELATED IRRIGATION EQUIPMENT IS SHOWN WITHIN THE PAVING FOR CLARITY ONLY. THE ACTUAL LOCATION OF MAINLINE AND RELATED IRRIGATION EQUIPMENT SHALL BE WITHIN PLANTER AND A MINIMUM OF 18" OFF ADJACENT HARDSCAPE AND OTHER OBSTACLES, TYPICAL.

NOTE B:
 CONTRACTOR SHALL ADJUST ALL HEADS AS REQUIRED TO ACCOMMODATE ANY VERTICAL OBSTRUCTIONS THAT MAY OCCUR IN THE LANDSCAPE, INCLUDING BUT NOT LIMITED TO LIGHT POLES, FIRE HYDRANTS, TREES, ETC. WHEN A SLIGHT RELOCATION OF THE HEAD IS NOT SUFFICIENT TO CLEAR THE OBSTACLE, OR IF IT NEGATIVELY AFFECTS THE COVERAGE, AN ADDITIONAL HEAD SHALL BE INSTALLED TO PLACE ONE HEAD ON EITHER SIDE OF THE OBSTACLE. THE NOZZLES OF THESE TWO HEADS SHALL HAVE ARC PATTERNS THAT ADD UP TO THE ORIGINAL ARC PATTERN OF THE HEAD INDICATED ON THE PLANS. THE CONTRACTOR SHALL VERIFY ALL HEAD LAYOUT WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.

NOTE C:
 THESE PLANS ARE DIAGRAMMATIC. TREE BUBBLERS AND LATERAL LINES ARE SHOWN WITHIN THE PAVING FOR CLARITY ONLY. THE ACTUAL LOCATIONS SHALL BE WITHIN THE PLANTER. THE TREE BUBBLERS SHALL BE ALIGNED WITH TREES AS SHOWN ON THE PLANTING PLANS, AND AS DIRECTED BY OWNER'S AUTHORIZED REPRESENTATIVE. THE CONTRACTOR SHALL CONFIRM ALL LAYOUT IN FIELD WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.

I HAVE COMPLIED WITH THE CRITERIA OF THE IRRIGATION GUIDELINES AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN



APPROVAL STAMP

CHEE SALETTE

LANDSCAPE ARCHITECT

1625 SOUTH CENTRAL AVENUE,
 GLENDALE, CA 91204
 TEL: 323.691.6607
 EMAIL: tchee@cheesalettelandscape.com

TCE MAIN, LOS ANGELES

800 N. MAIN STREET,
 LOS ANGELES, CA,
 90012

#	DATE	ISSUE
1	PZA SUBMITTAL	01/31/2024
2	PZA RESUBMITTAL	03/15/2024
3	ENTITLEMENT SUBM.	04/19/2024

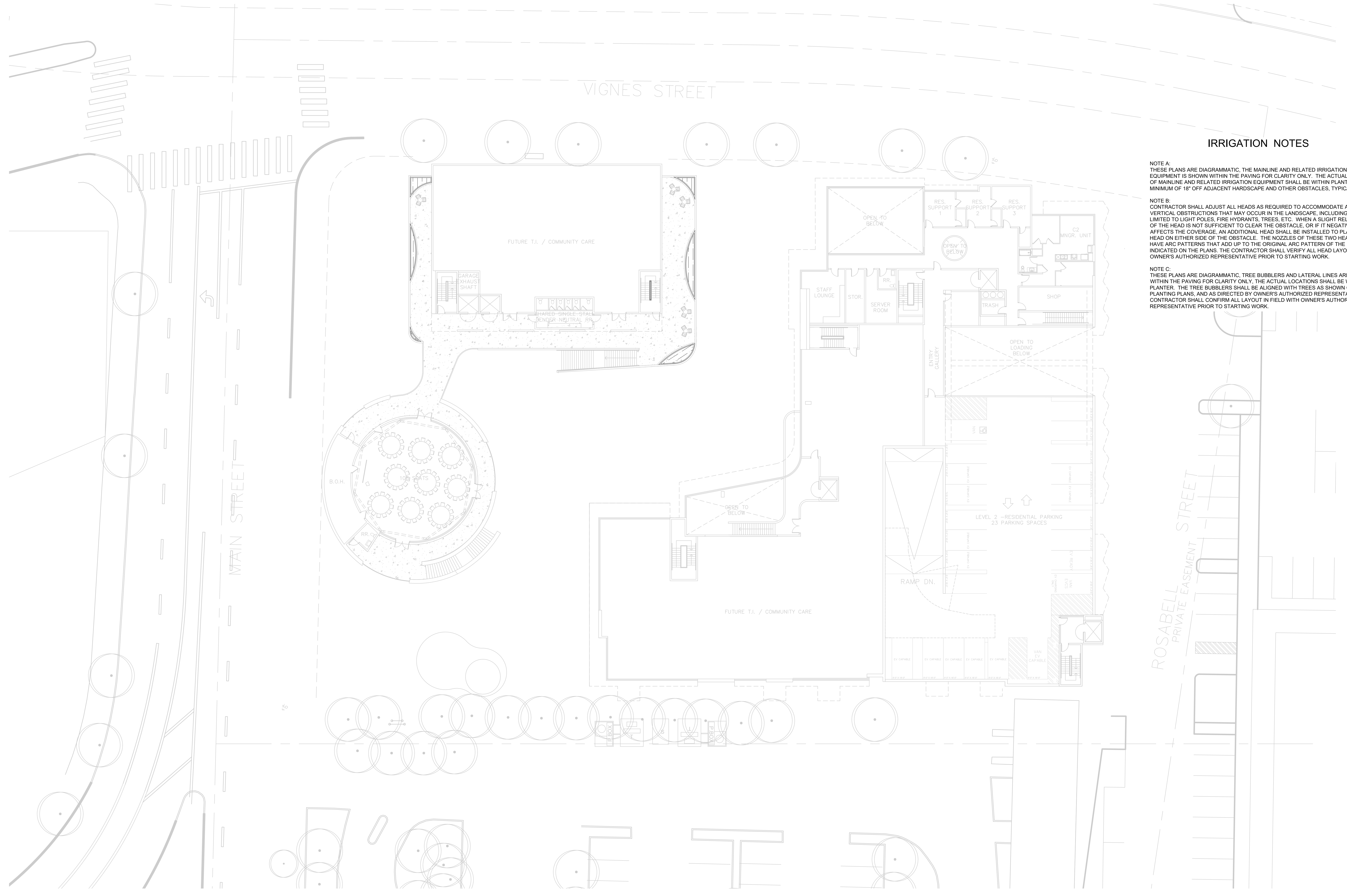
JOB NO. 23-099

1/16" = 1'-0"

IRRIGATION PLAN
 LEVEL 01

L11.11

NOT ISSUED FOR CONSTRUCTION



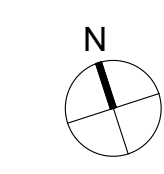
IRRIGATION NOTES

NOTE A:
 THESE PLANS ARE DIAGRAMMATIC. THE MAINLINE AND RELATED IRRIGATION EQUIPMENT IS SHOWN WITHIN THE PAVING FOR CLARITY ONLY. THE ACTUAL LOCATION OF MAINLINE AND RELATED IRRIGATION EQUIPMENT SHALL BE WITHIN PLANTER AND A MINIMUM OF 18" OFF ADJACENT HARDSCAPE AND OTHER OBSTACLES, TYPICAL.

NOTE B:
 CONTRACTOR SHALL ADJUST ALL HEADS AS REQUIRED TO ACCOMMODATE ANY VERTICAL OBSTRUCTIONS THAT MAY OCCUR IN THE LANDSCAPE, INCLUDING BUT NOT LIMITED TO LIGHT POLES, FIRE HYDRANTS, TREES, ETC. WHEN A SLIGHT RELOCATION OF THE HEAD IS NOT SUFFICIENT TO CLEAR THE OBSTACLE OR IF IT NEGATIVELY AFFECTS THE COVERAGE, AN ADDITIONAL HEAD SHALL BE INSTALLED TO PLACE ONE HEAD ON EITHER SIDE OF THE OBSTACLE. THE NOZZLES OF THESE TWO HEADS SHALL HAVE ARC PATTERNS THAT ADD UP TO THE ORIGINAL ARC PATTERN OF THE HEAD INDICATED ON THE PLANS. THE CONTRACTOR SHALL VERIFY ALL HEAD LAYOUT WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.

NOTE C:
 THESE PLANS ARE DIAGRAMMATIC. TREE BUBBLERS AND LATERAL LINES ARE SHOWN WITHIN THE PAVING FOR CLARITY ONLY. THE ACTUAL LOCATIONS SHALL BE WITHIN THE PLANTER. THE TREE BUBBLERS SHALL BE ALIGNED WITH TREES AS SHOWN ON THE PLANTING PLANS, AND AS DIRECTED BY OWNER'S AUTHORIZED REPRESENTATIVE. THE CONTRACTOR SHALL CONFIRM ALL LAYOUT IN FIELD WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.

I HAVE COMPLIED WITH THE CRITERIA OF THE IRRIGATION GUIDELINES AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN



APPROVAL STAMP



245 East 3rd Street
 Long Beach, California 90802
 t 562.901.1500
 STUDIO-11.COM



3590 ELM AVENUE
 LONG BEACH, CA
 90807

**CHEE
 SALETTE**

LANDSCAPE
 ARCHITECT

1625 SOUTH CENTRAL AVENUE
 GLENDALE, CA 91204
 TEL: 323-691-6667
 EMAIL: tchee@cheesalette.com

**TCE MAIN,
 LOS ANGELES**

800 N. MAIN STREET,
 LOS ANGELES, CA,
 90012

#	DATE	ISSUE
1	PZA SUBMITTAL	01/31/2024
2	PZA RESUBMITTAL	03/15/2024
3	ENTITLEMENT SUBM.	04/19/2024

JOB NO. 23-099

1/8" = 1'-0"

IRRIGATION
 PLAN
 LEVEL 02

LI1.20

NOT ISSUED FOR CONSTRUCTION



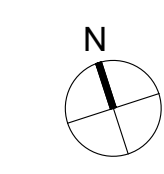
IRRIGATION NOTES

NOTE A:
 THESE PLANS ARE DIAGRAMMATIC, THE MAINLINE AND RELATED IRRIGATION EQUIPMENT IS SHOWN WITHIN THE PAVING FOR CLARITY ONLY. THE ACTUAL LOCATION OF MAINLINE AND RELATED IRRIGATION EQUIPMENT SHALL BE WITHIN PLANTER AND A MINIMUM OF 18" OFF ADJACENT HARDSCAPE AND OTHER OBSTACLES, TYPICAL.

NOTE B:
 CONTRACTOR SHALL ADJUST ALL HEADS AS REQUIRED TO ACCOMMODATE ANY VERTICAL OBSTRUCTIONS THAT MAY OCCUR IN THE LANDSCAPE, INCLUDING BUT NOT LIMITED TO LIGHT POLES, FIRE HYDRANTS, TREES, ETC. WHEN A SLIGHT RELOCATION OF THE HEAD IS NOT SUFFICIENT TO CLEAR THE OBSTACLE, OR IF IT NEGATIVELY AFFECTS THE COVERAGE, AN ADDITIONAL HEAD SHALL BE INSTALLED TO PLACE ONE HEAD ON EITHER SIDE OF THE OBSTACLE. THE NOZZLES OF THESE TWO HEADS SHALL HAVE ARC PATTERNS THAT ADD UP TO THE ORIGINAL ARC PATTERN OF THE HEAD INDICATED ON THE PLANS. THE CONTRACTOR SHALL VERIFY ALL HEAD LAYOUT WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.

NOTE C:
 THESE PLANS ARE DIAGRAMMATIC, TREE BUBBLERS AND LATERAL LINES ARE SHOWN WITHIN THE PAVING FOR CLARITY ONLY. THE ACTUAL LOCATIONS SHALL BE WITHIN THE PLANTER. THE TREE BUBBLERS SHALL BE ALIGNED WITH TREES AS SHOWN ON THE PLANTING PLANS, AND AS DIRECTED BY OWNER'S AUTHORIZED REPRESENTATIVE. THE CONTRACTOR SHALL CONFIRM ALL LAYOUT IN FIELD WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.

I HAVE COMPLIED WITH THE CRITERIA OF THE IRRIGATION GUIDELINES AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN



APPROVAL STAMP



245 East 3rd Street
 Long Beach, California 90802
 t 562.901.1500
 STUDIO-11.COM



3590 ELM AVENUE
 LONG BEACH, CA
 90807

CHEE SALETTE

LANDSCAPE ARCHITECT

1625 SOUTH CENTRAL AVENUE,
 GLENDALE, CA 91204
 TEL: 323-691-6617
 EMAIL: chee@cheesalett.com

TCE MAIN, LOS ANGELES

800 N. MAIN STREET,
 LOS ANGELES, CA,
 90012

#	DATE	ISSUE
1	PZA SUBMITTAL	01/31/2024
2	PZA RESUBMITTAL	03/15/2024
3	ENTITLEMENT SUBM.	04/19/2024

JOB NO. 23-099



IRRIGATION PLAN
 LEVEL 03

LI1.30

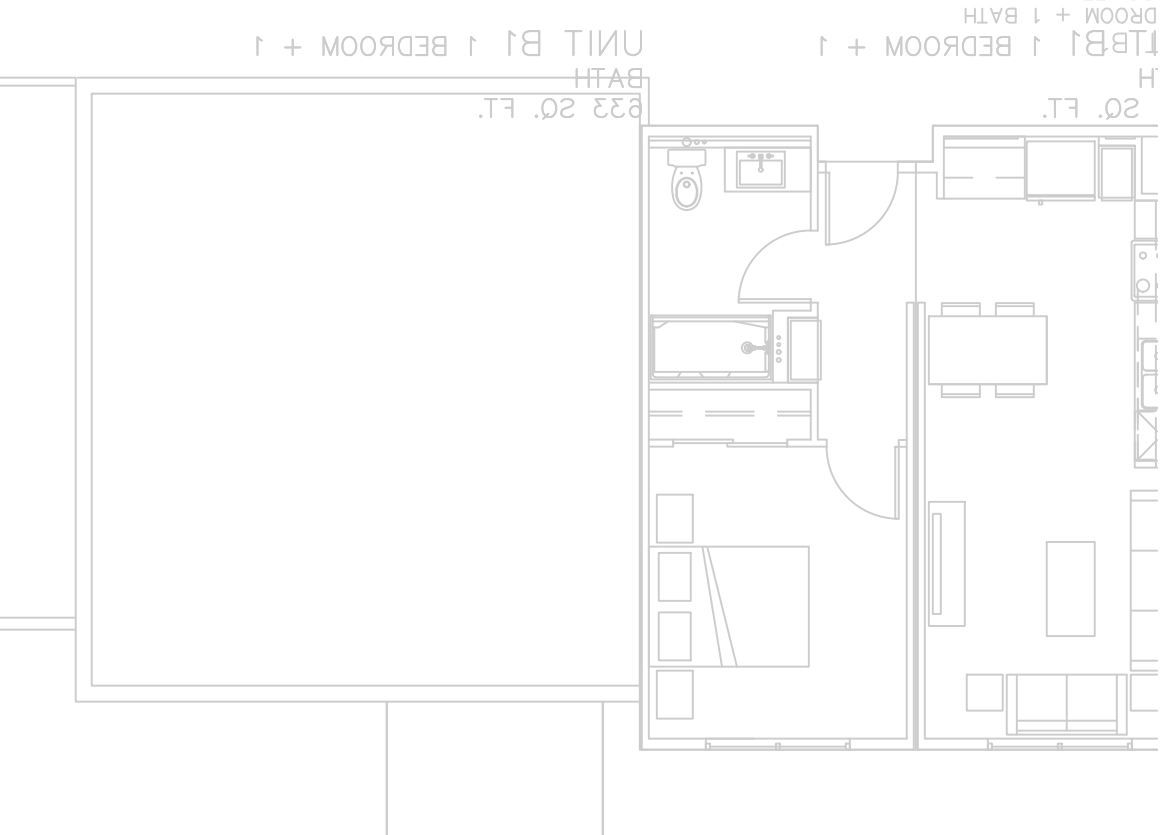
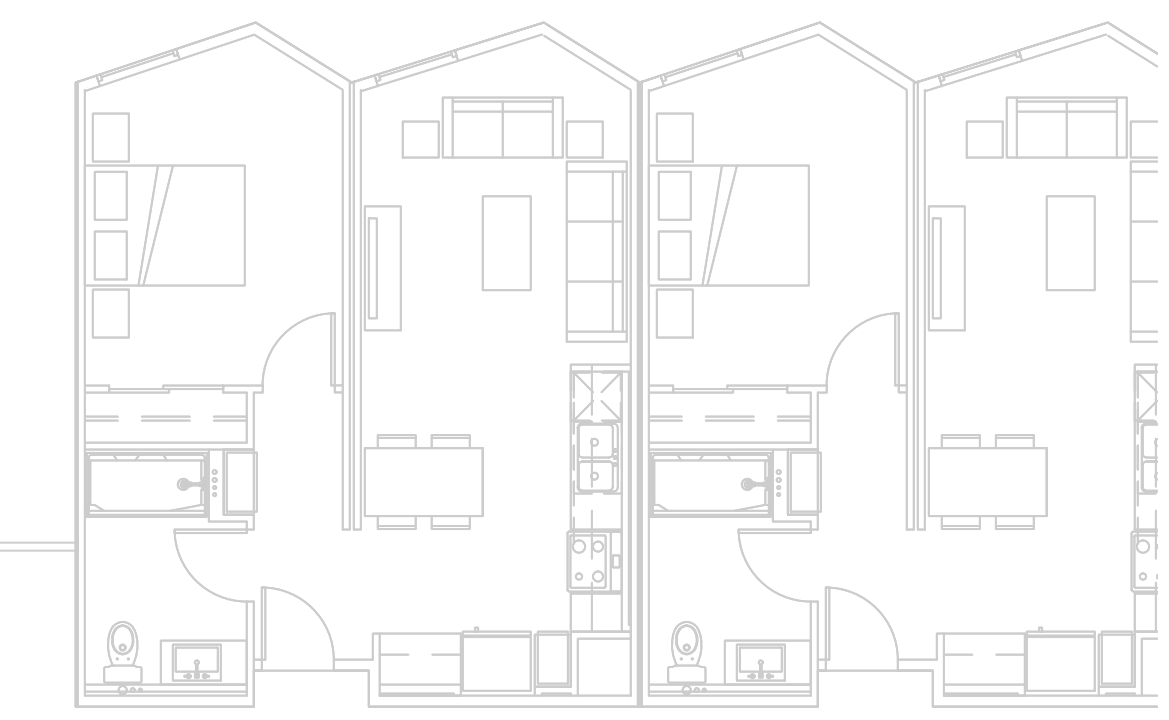
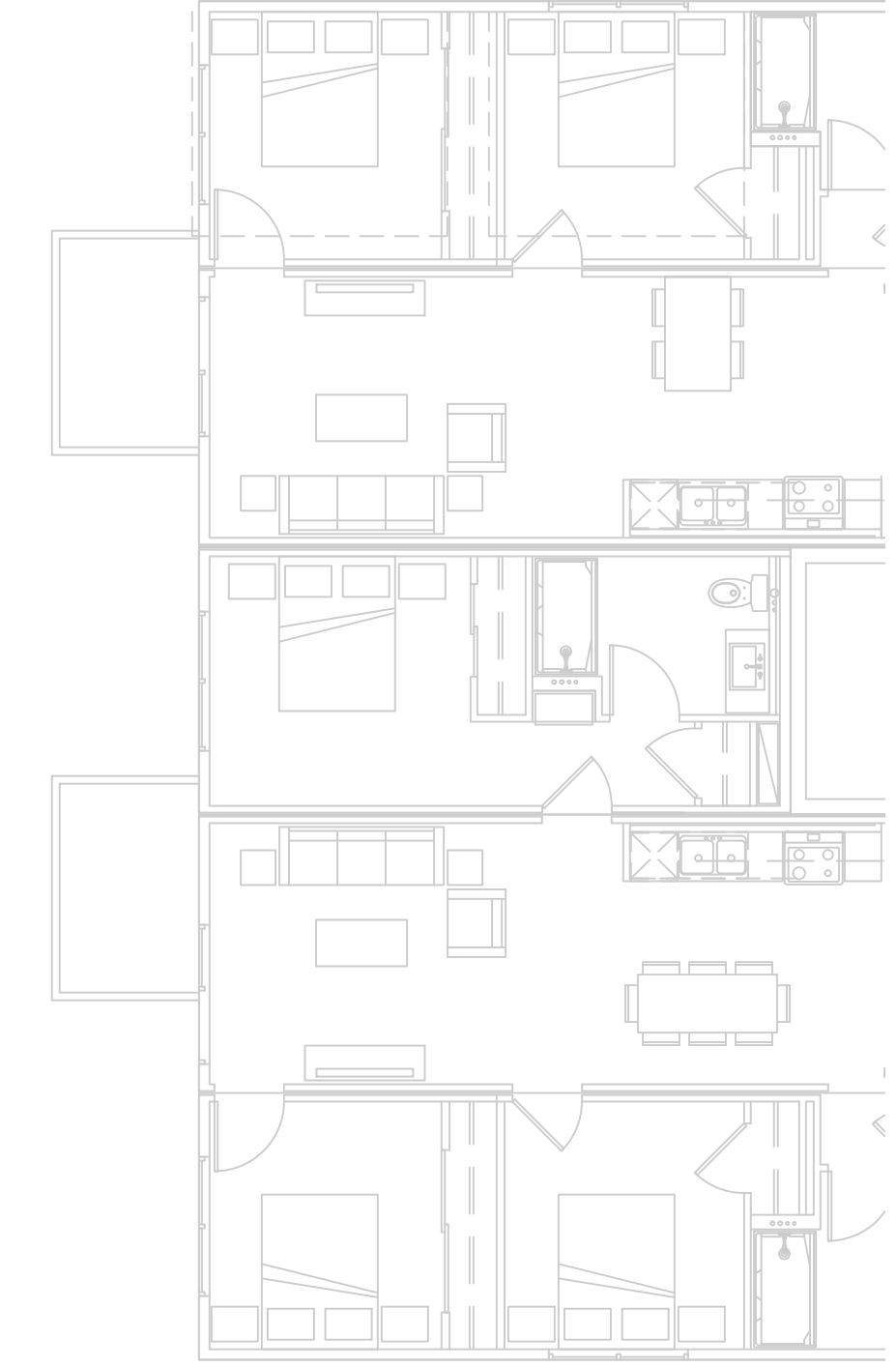
NOT ISSUED FOR CONSTRUCTION

IRRIGATION NOTES

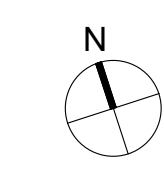
NOTE A:
THESE PLANS ARE DIAGRAMMATIC. THE MAINLINE AND RELATED IRRIGATION EQUIPMENT IS SHOWN WITHIN THE PAVING FOR CLARITY ONLY. THE ACTUAL LOCATION OF MAINLINE AND RELATED IRRIGATION EQUIPMENT SHALL BE WITHIN PLANTER AND A MINIMUM OF 18" OFF ADJACENT HARDSCAPE AND OTHER OBSTACLES, TYPICAL.

NOTE B:
CONTRACTOR SHALL ADJUST ALL HEADS AS REQUIRED TO ACCOMMODATE ANY VERTICAL OBSTRUCTIONS THAT MAY OCCUR IN THE LANDSCAPE, INCLUDING BUT NOT LIMITED TO LIGHT POLES, FIRE HYDRANTS, TREES, ETC. WHEN A SLIGHT RELOCATION OF THE HEAD IS NOT SUFFICIENT TO CLEAR THE OBSTACLE, OR IF IT NEGATIVELY AFFECTS THE COVERAGE, AN ADDITIONAL HEAD SHALL BE INSTALLED TO PLACE ONE HEAD ON EITHER SIDE OF THE OBSTACLE. THE NOZZLES OF THESE TWO HEADS SHALL HAVE ARC PATTERNS THAT ADD UP TO THE ORIGINAL ARC PATTERN OF THE HEAD INDICATED ON THE PLANS. THE CONTRACTOR SHALL VERIFY ALL HEAD LAYOUT WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.

NOTE C:
THESE PLANS ARE DIAGRAMMATIC. TREE BUBBLERS AND LATERAL LINES ARE SHOWN WITHIN THE PAVING FOR CLARITY ONLY. THE ACTUAL LOCATIONS SHALL BE WITHIN THE PLANTER. THE TREE BUBBLERS SHALL BE ALIGNED WITH TREES AS SHOWN ON THE PLANTING PLANS, AND AS DIRECTED BY OWNER'S AUTHORIZED REPRESENTATIVE. THE CONTRACTOR SHALL CONFIRM ALL LAYOUT IN FIELD WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.



I HAVE COMPLIED WITH THE CRITERIA OF THE IRRIGATION GUIDELINES AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN



APPROVAL STAMP



245 East 3rd Street
Long Beach, California 90802
t 562.901.1500
STUDIO-11.COM



3590 ELM AVENUE
LONG BEACH, CA
90807

CHEE
SALETTE

LANDSCAPE
ARCHITECT

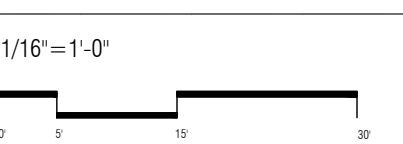
1625 SOUTH CENTRAL AVENUE,
GLENDALE, CA 91204
TEL: 323.691.6607
EMAIL: tchee@cheesalette.com

TCE MAIN,
LOS ANGELES

800 N. MAIN STREET,
LOS ANGELES, CA,
90012

#	DATE	ISSUE
1	PZA SUBMITTAL	01/31/2024
2	PZA RESUBMITTAL	03/15/2024
3	ENTITLEMENT SUBM.	04/19/2024

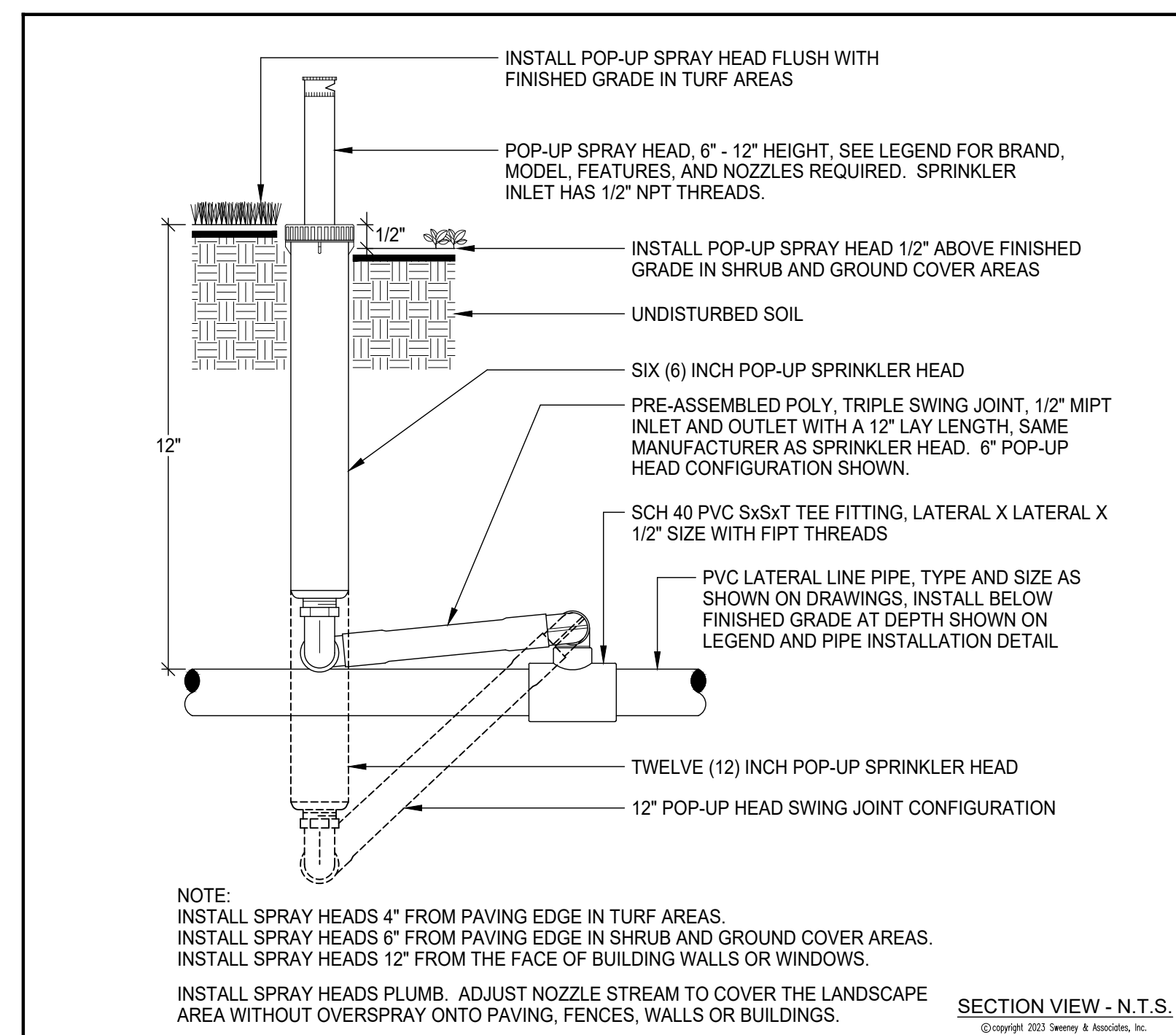
JOB NO. 23-099



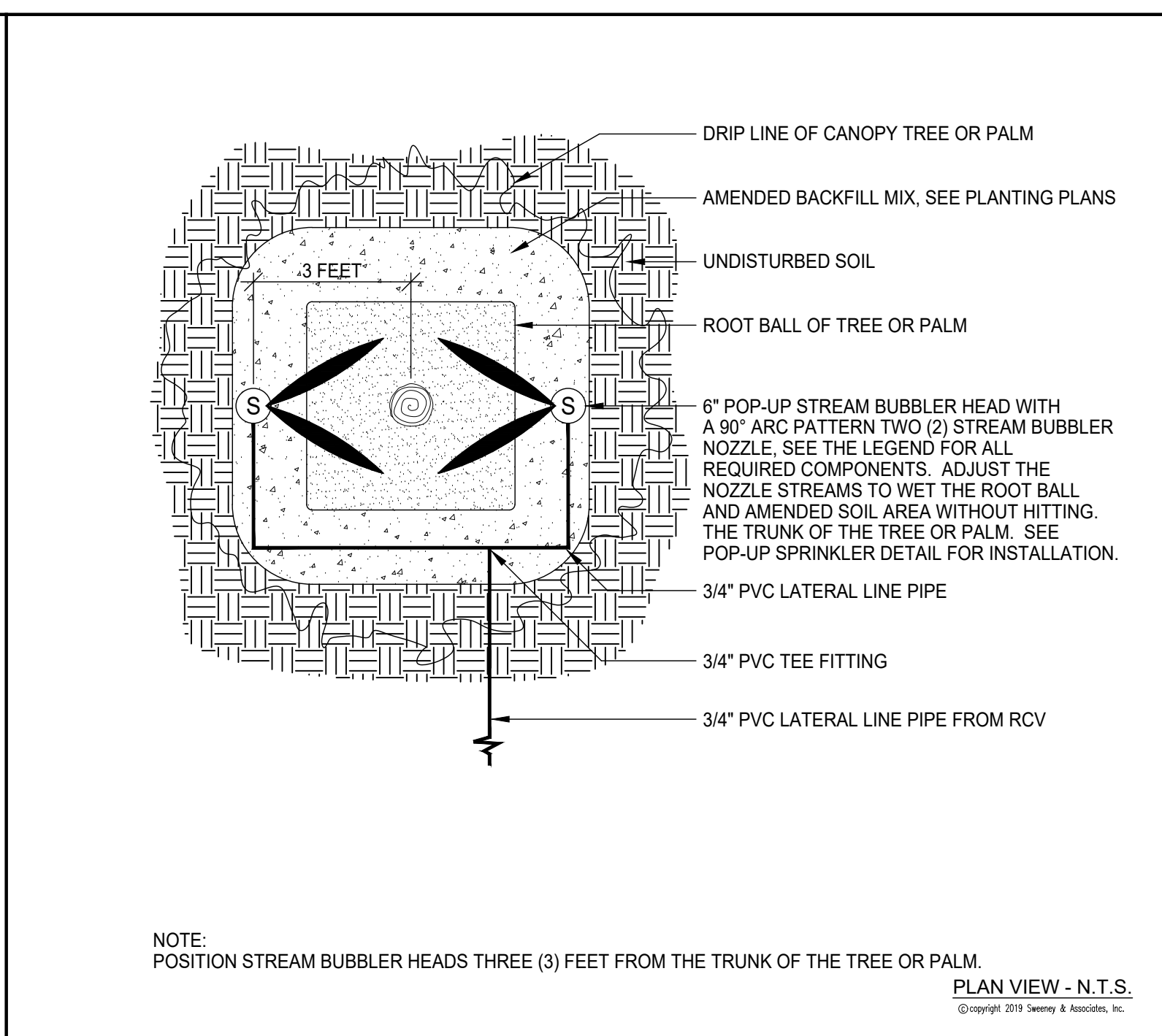
IRRIGATION
PLAN
LEVEL 07

L11.70

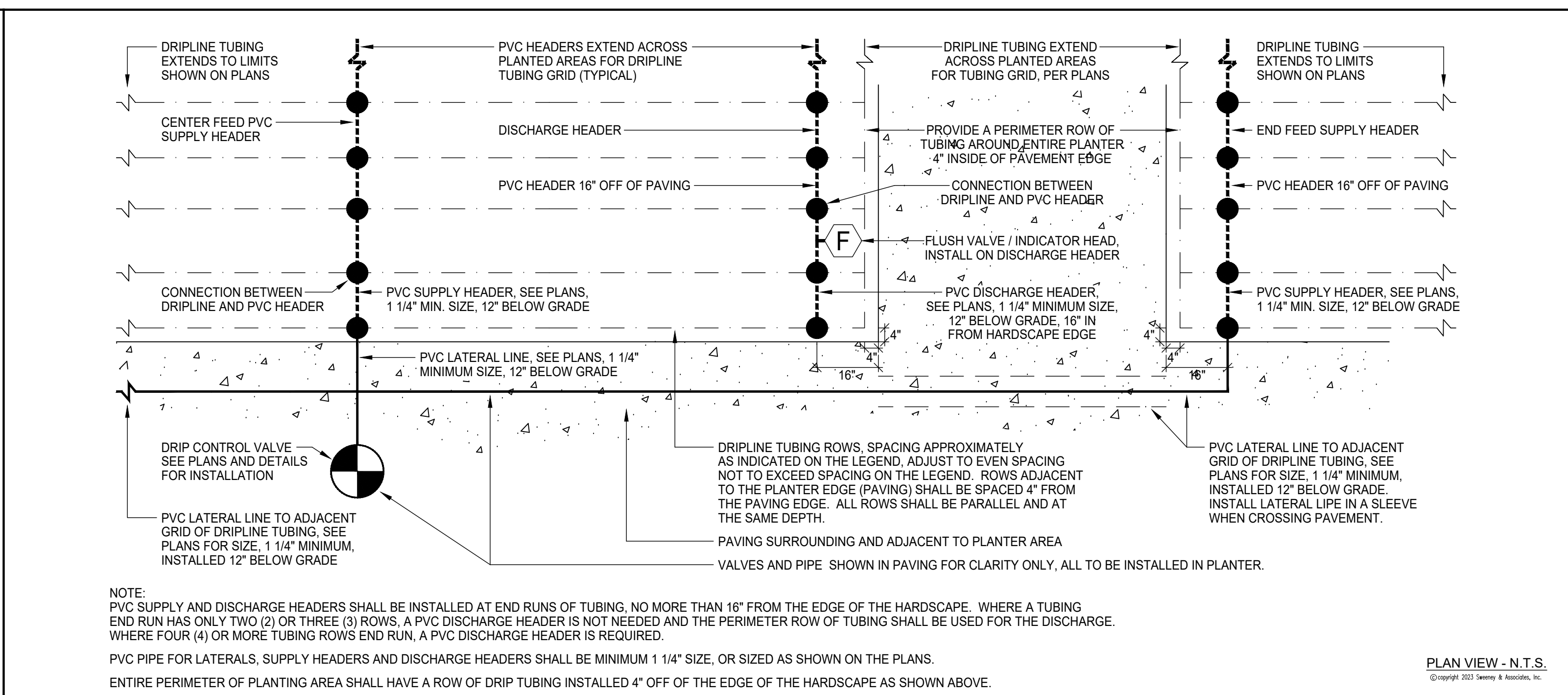
NOT ISSUED FOR CONSTRUCTION



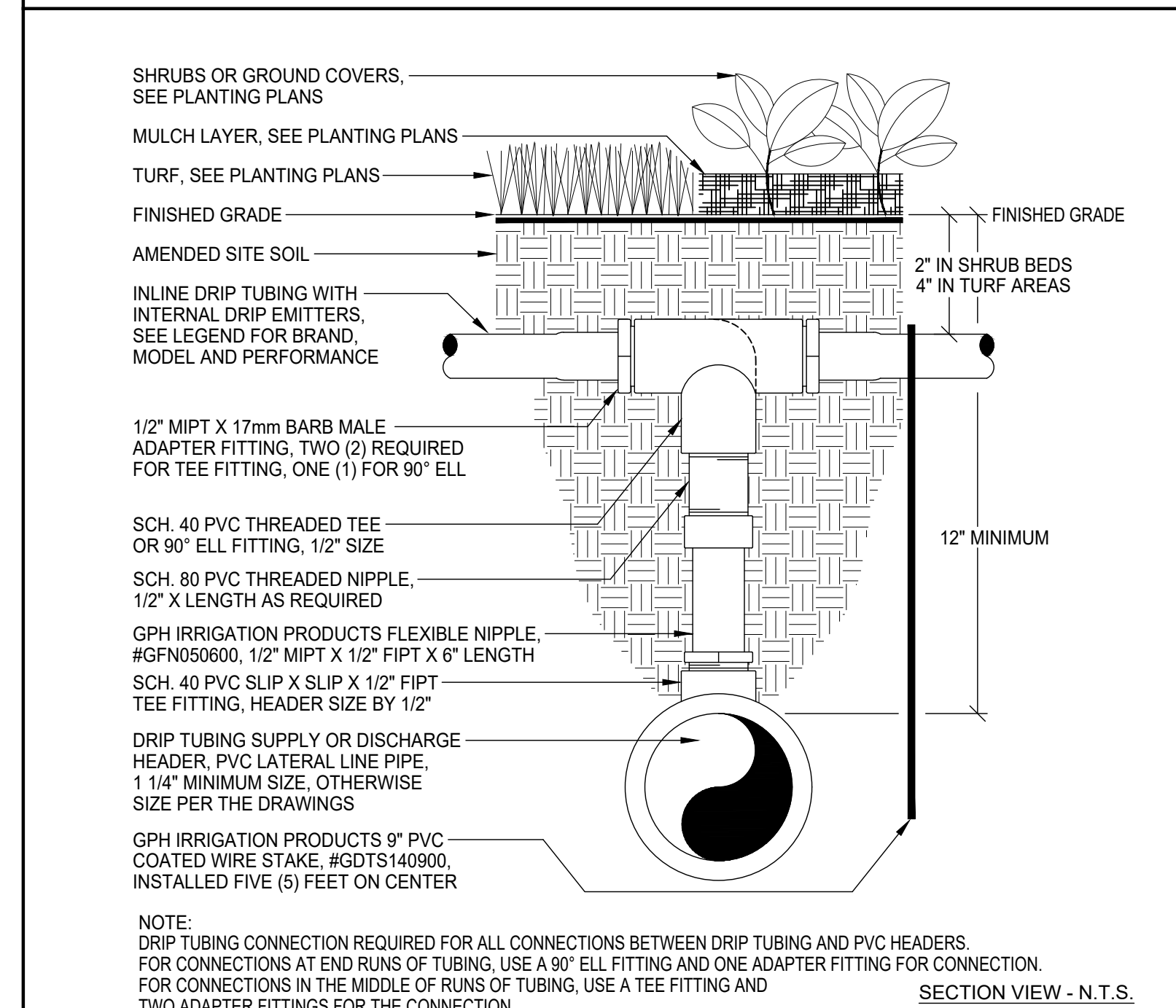
A POP-UP SPRAY / BUBBLER HEAD



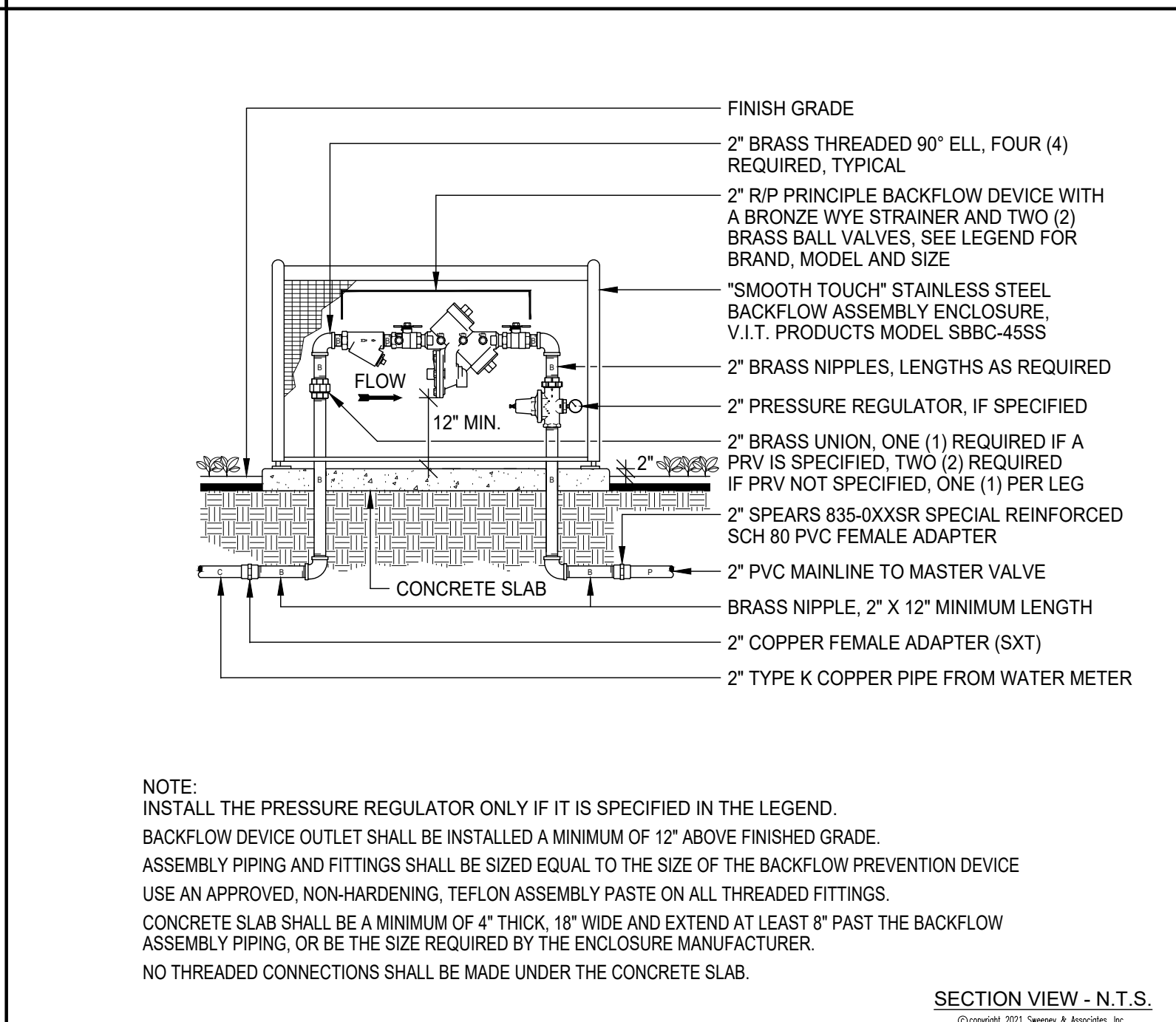
B TREE BUBBLER LAYOUT



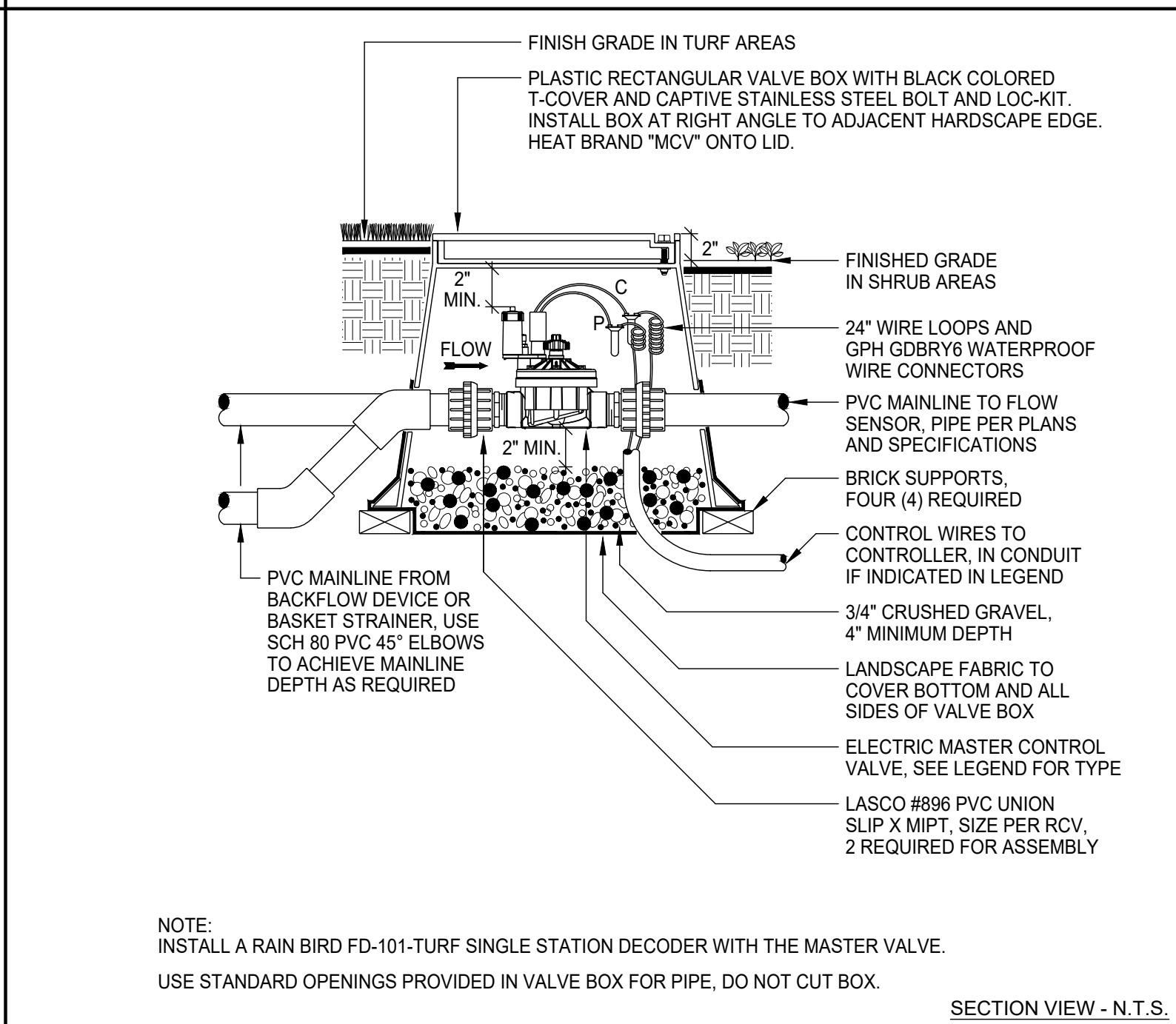
C DRIP TUBING LAYOUT



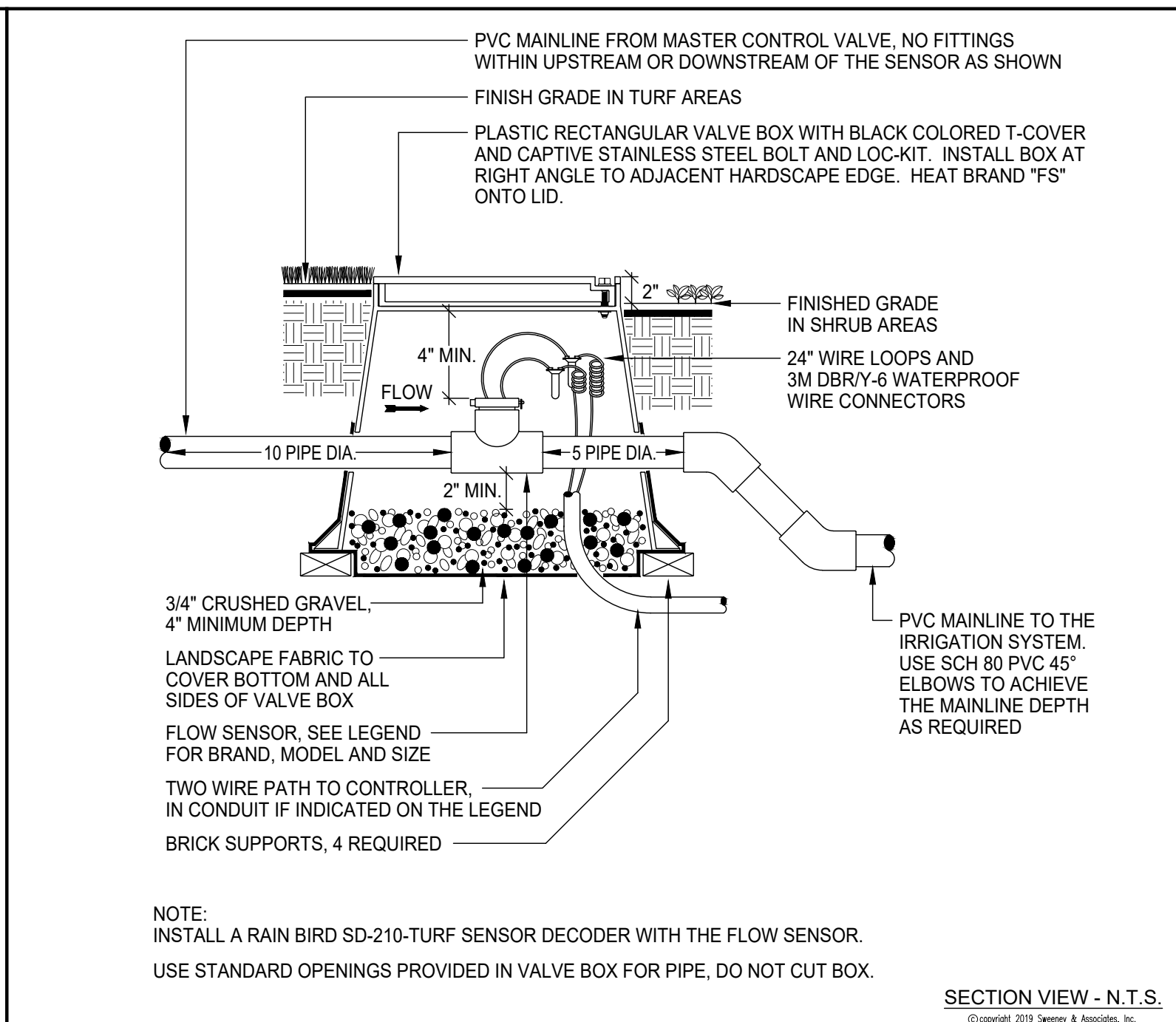
D DRIPLINE TUBING



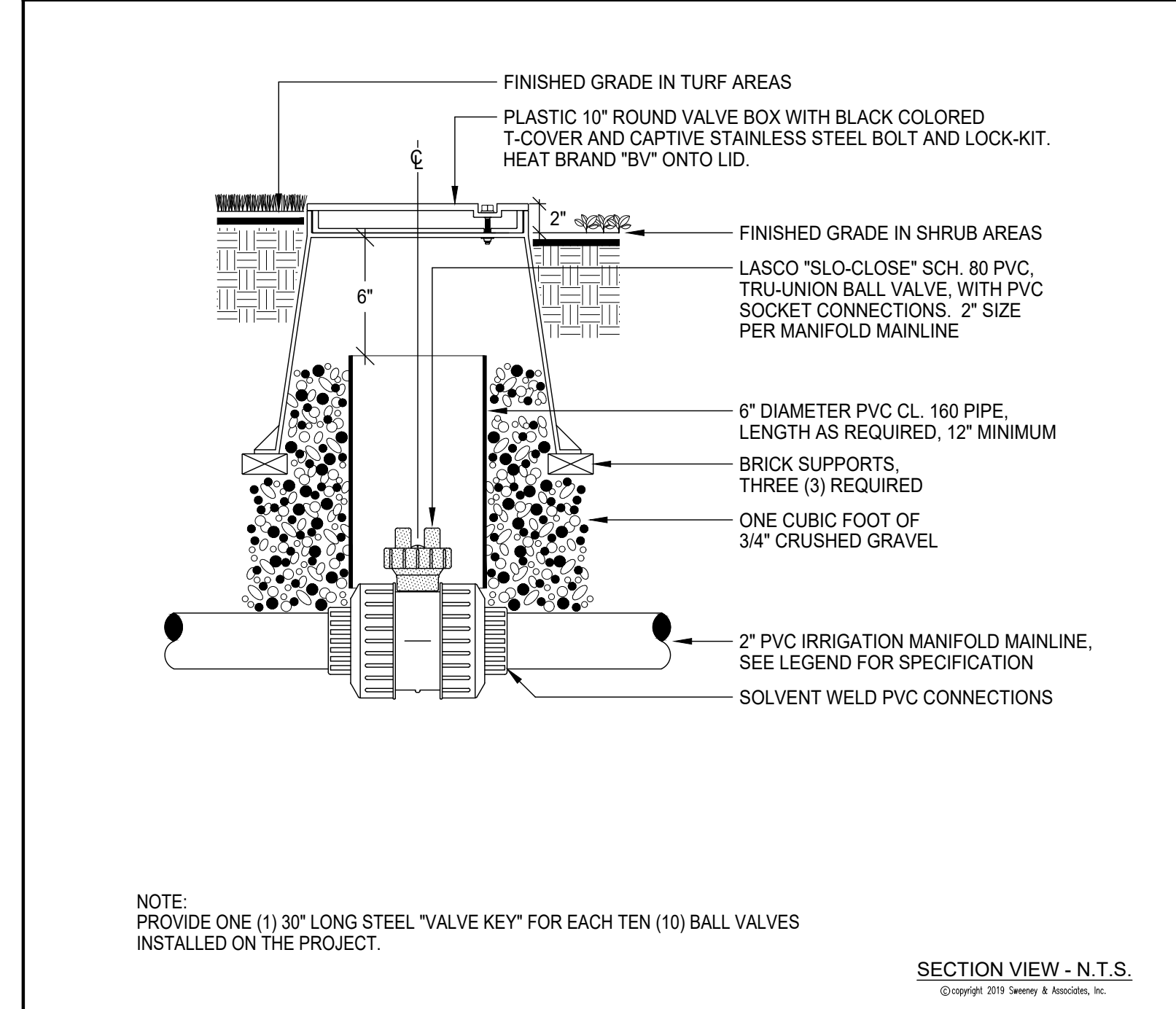
E BACKFLOW DEVICE



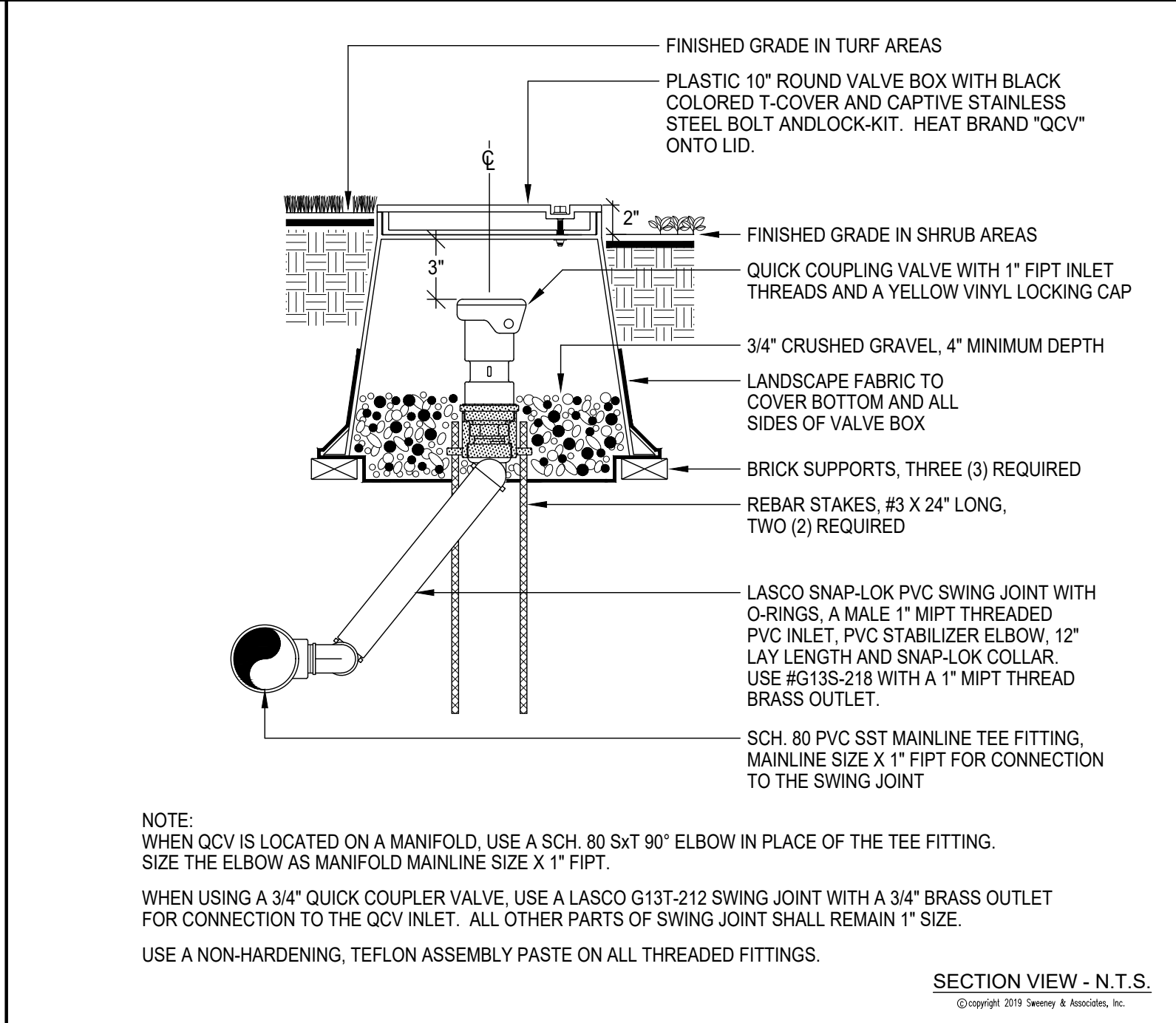
F MASTER CONTROL VALVE



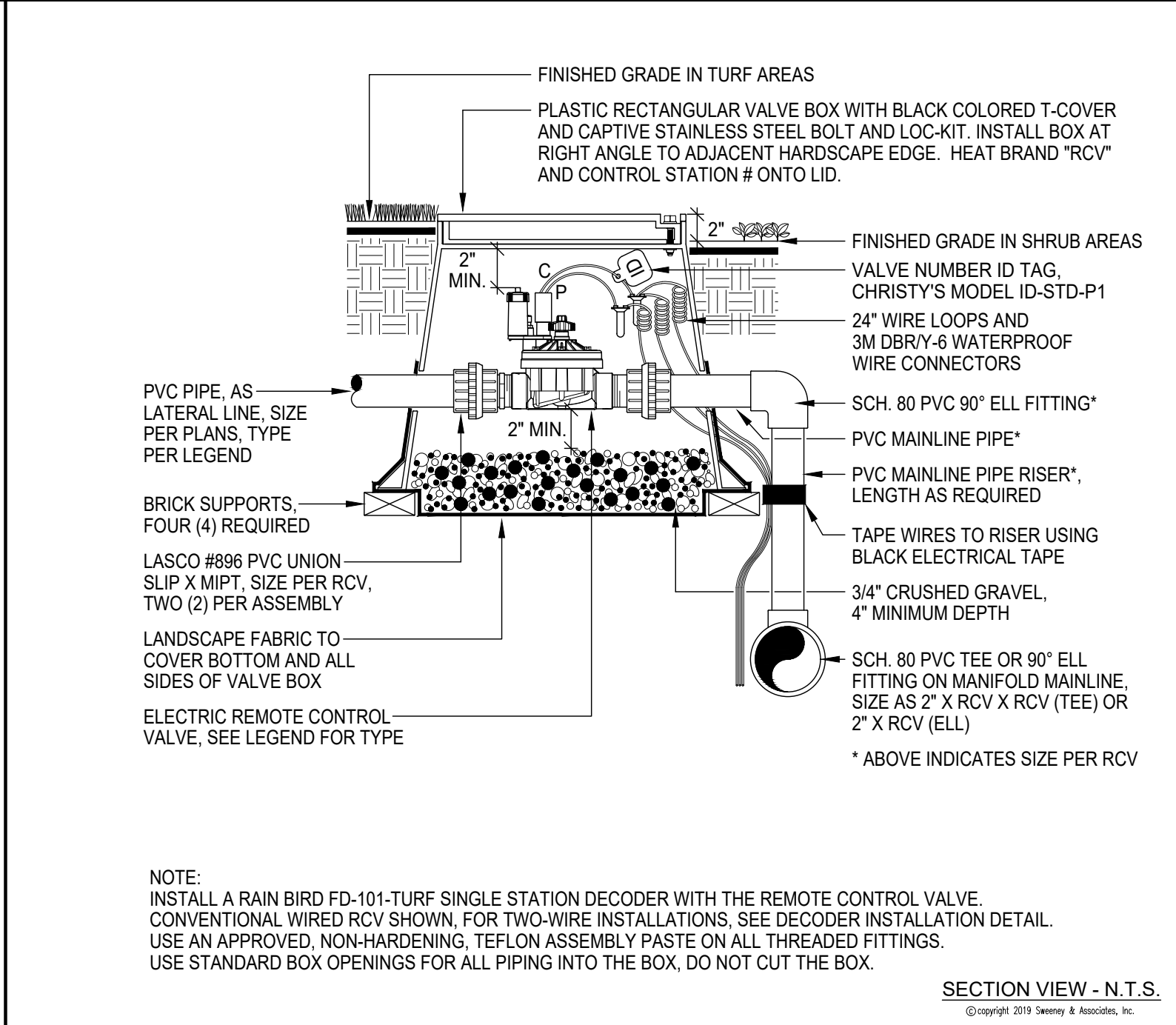
G FLOW SENSOR



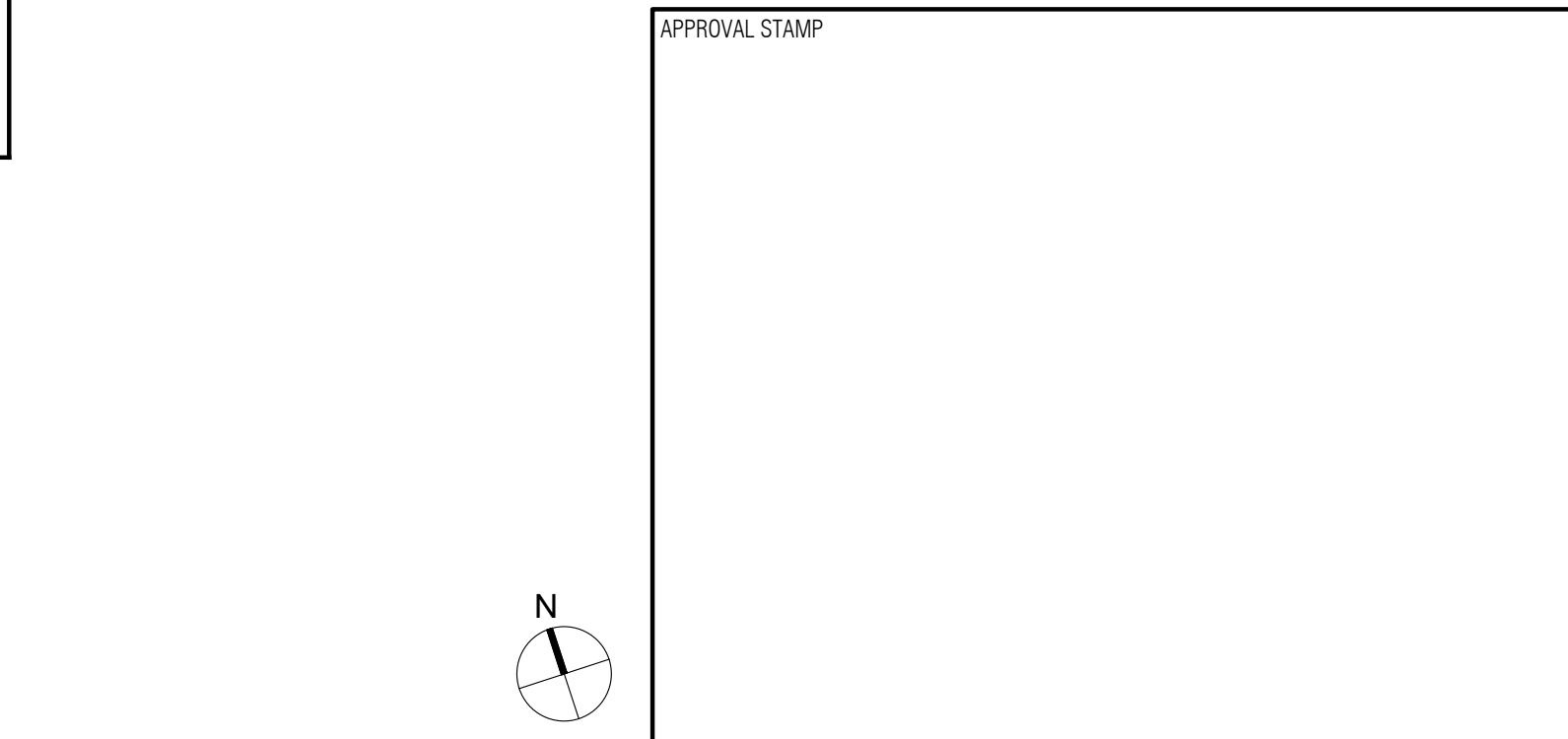
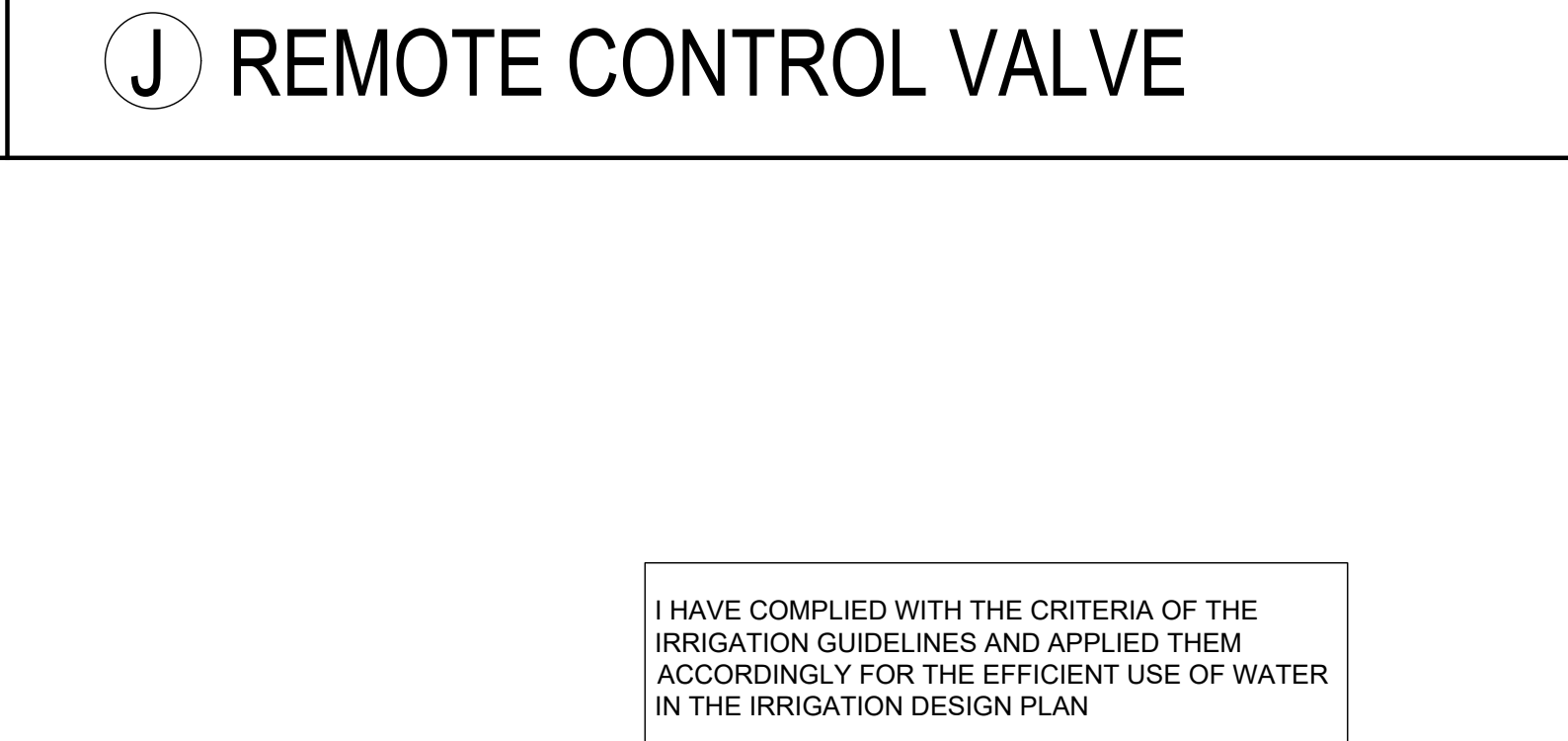
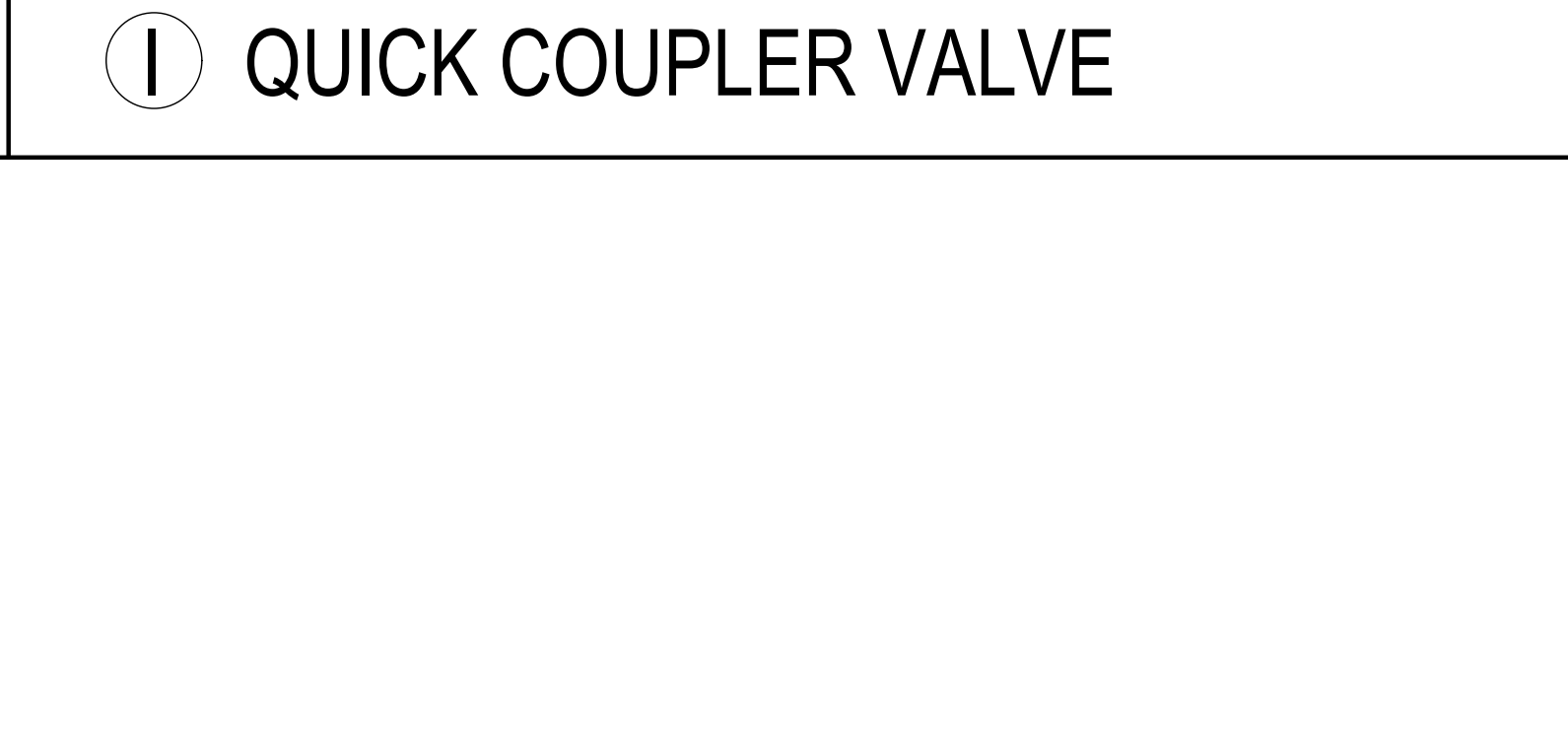
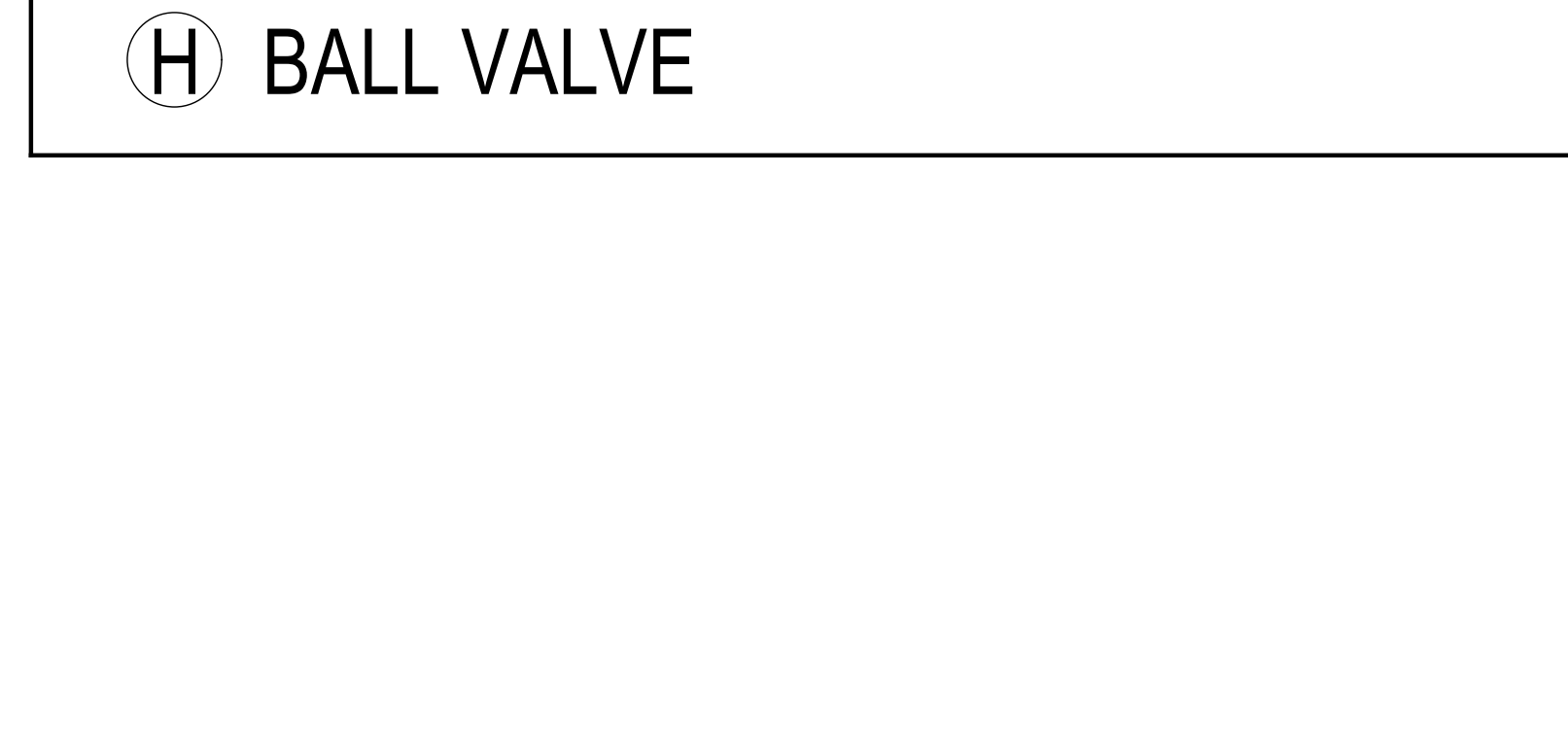
H BALL VALVE



I QUICK COUPLER VALVE



J REMOTE CONTROL VALVE



245 East 3rd Street
Long Beach, California 90802
t 562.901.1500
STUDIO-11.COM



3590 ELM AVENUE
LONG BEACH, CA
90807



LANDSCAPE ARCHITECT

1625 SOUTH CENTRAL AVENUE,
GLENDALE, CA 91204
TEL: 323.499.6697
EMAIL: t@cheesalette.com

**TCE MAIN,
LOS ANGELES**

800 N. MAIN STREET,
LOS ANGELES, CA,
90012

#	DATE	ISSUE
PZA SUBMITTAL	01/31/2024	
PZA RESUBMITTAL	03/15/2024	
ENTITLEMENT SUBM.	04/19/2024	

JOB NO. 23-099

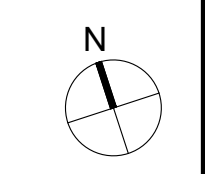
1/16" = 1'-0"

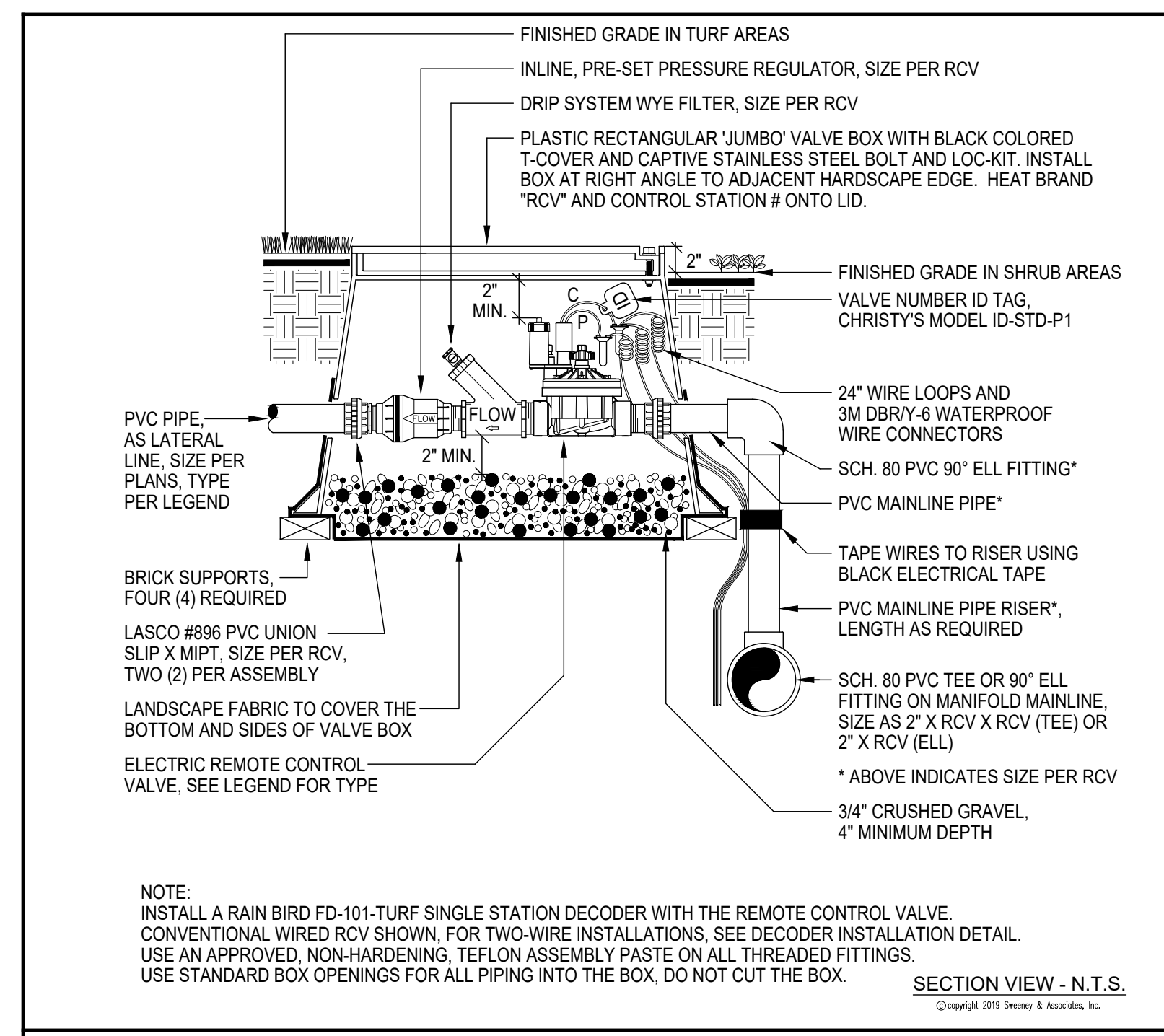
IRRIGATION
DETAILS

L12.00

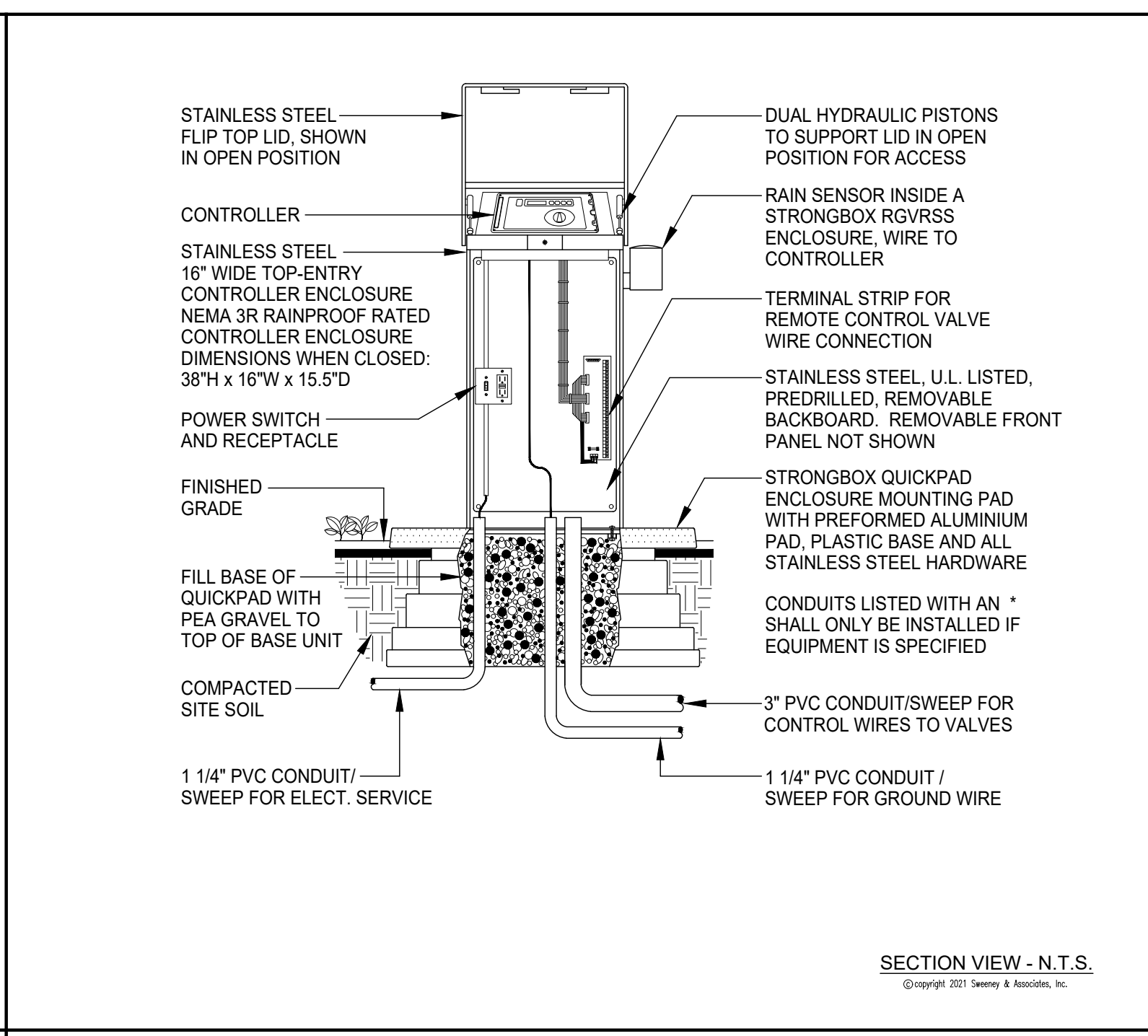
NOT ISSUED FOR CONSTRUCTION

I HAVE COMPLIED WITH THE CRITERIA OF THE IRRIGATION GUIDELINES AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN

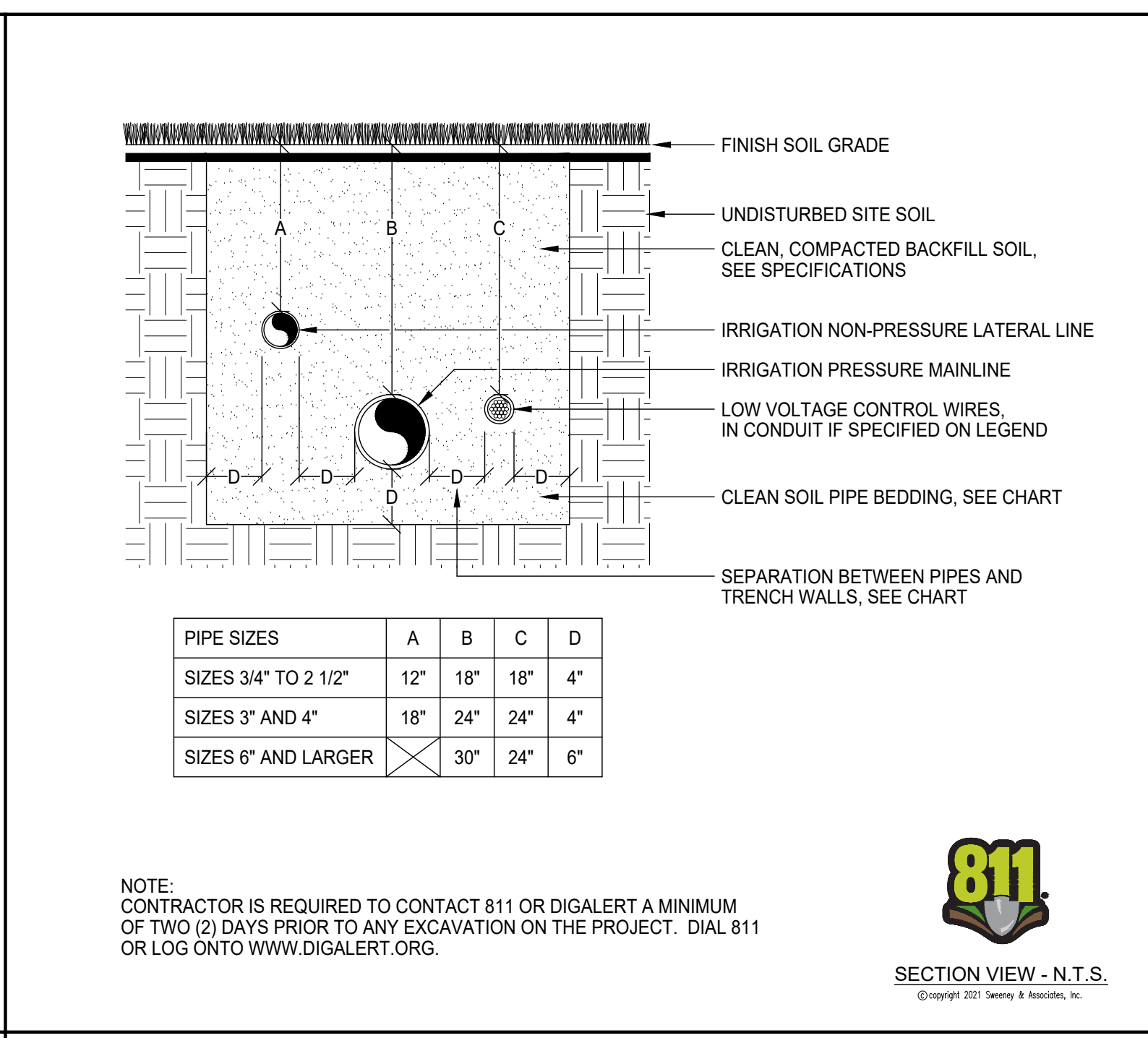




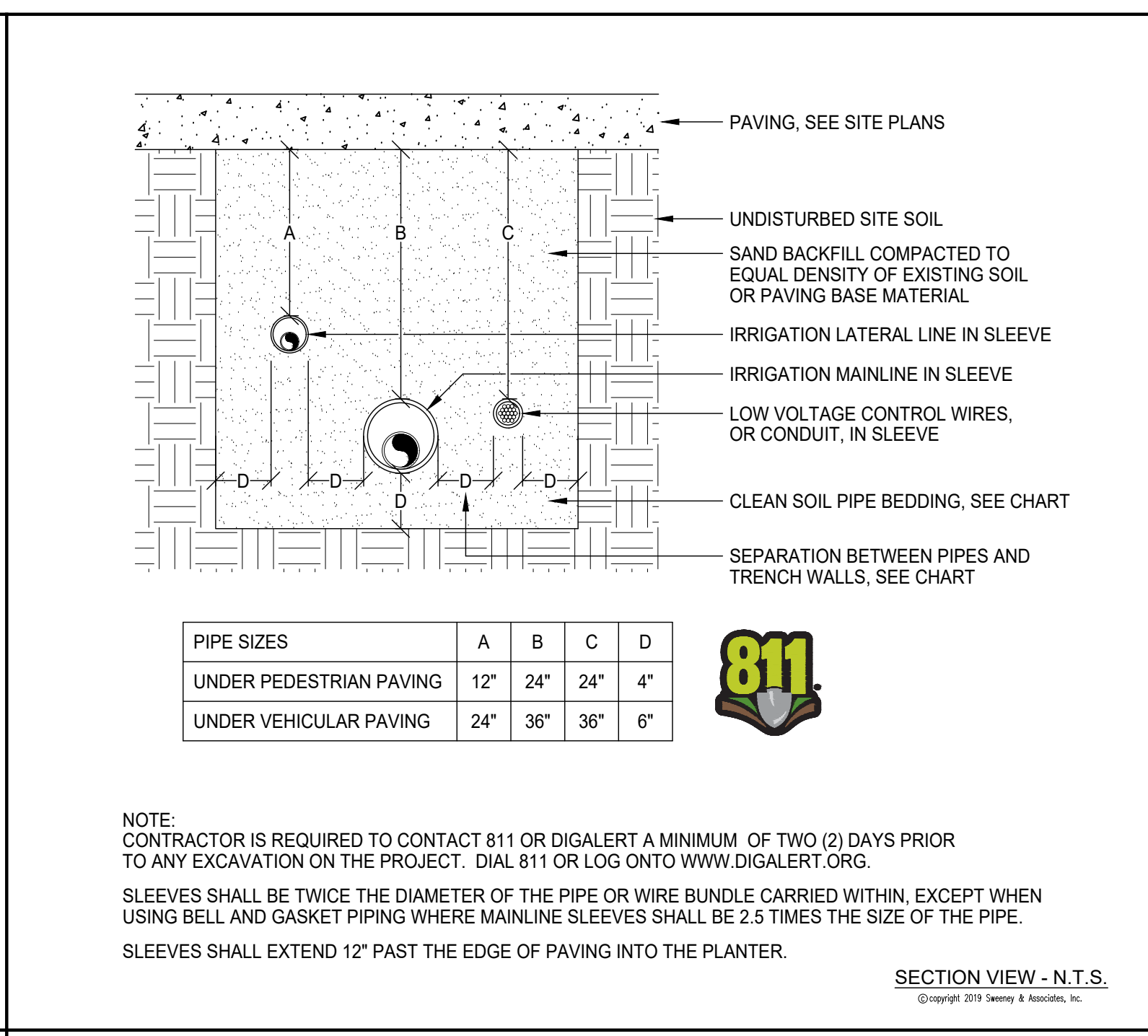
K DRIP RCV ASSEMBLY



L CONTROLLER ENCLOSURE

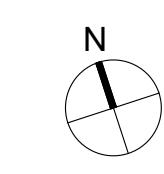


M PIPE INSTALLATION



N SLEEVE INSTALLATION

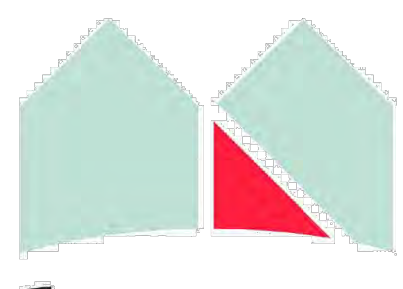
I HAVE COMPLIED WITH THE CRITERIA OF THE IRRIGATION GUIDELINES AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN



APPROVAL STAMP



245 East 3rd Street
Long Beach, California 90802
t 562.901.1500
STUDIO-11.COM



3590 ELM AVENUE
LONG BEACH, CA
90807

CHEE SALETTE

LANDSCAPE ARCHITECT

1625 SOUTH CENTRAL AVENUE,
GLENDALE, CA 91204
TEL: 323.691.6647
EMAIL: linc@cheesalette.com

TCE MAIN, LOS ANGELES

800 N. MAIN STREET,
LOS ANGELES, CA,
90012

#	DATE	ISSUE
1	01/31/2024	PZA SUBMITTAL
2	03/15/2024	PZA RESUBMITTAL
3	04/19/2024	ENTITLEMENT SUBM.

JOB NO. 23-099

IRRIGATION DETAILS

L12.01

NOT ISSUED FOR CONSTRUCTION

CITY OF LOS ANGELES
INTER-DEPARTMENTAL CORRESPONDENCE

DATE of Distribution: May 20, 2024

TO: Subdivision Committee Members

FROM: Department of City Planning, **CENTRAL** Project Planning

SUBJECT: **Subdivision Filing Notification and Distribution – Tract Map & Haul Route**

Case Number: VTT-84471

Map Type: Tract Map subdivision & Haul Route

Map Stamp Date: May 10, 2024

Community Plan: Central City North

Application Filing Date: May 06, 2024

Project Address 800 N North Main Street

NC: Historic Cultural Norht

Hillside: No

- | | |
|--|--|
| <input checked="" type="checkbox"/> Council District: 14 | <input checked="" type="checkbox"/> LAFD – Engineering/Hydrant Unit |
| <input checked="" type="checkbox"/> Neighborhood Council (NC) (No SB9) | <input checked="" type="checkbox"/> Bureau of Street Lighting (No SB9) |
| <input checked="" type="checkbox"/> Bureau of Engineering | <input checked="" type="checkbox"/> Department of Recreation and Parks |
| <input checked="" type="checkbox"/> Dept of Building and Safety - Grading | <input checked="" type="checkbox"/> Bureau of Sanitation |
| <input checked="" type="checkbox"/> Dept of Building and Safety - Zoning | <input checked="" type="checkbox"/> LAUSD CEQA (No P.S.) |
| <input checked="" type="checkbox"/> DWP Real Estate | <input checked="" type="checkbox"/> LAUSD Transportation (No P.S.) |
| <input checked="" type="checkbox"/> DWP Water Distribution Engineering | <input checked="" type="checkbox"/> County Health Department (No. P.S.) |
| <input checked="" type="checkbox"/> Urban Forestry Land Development | <input checked="" type="checkbox"/> GIS |
| <input checked="" type="checkbox"/> Office of Historic Resources | <input type="checkbox"/> LADOT Dev Review - Valley |
| <input checked="" type="checkbox"/> Los Angeles Housing Department (No P.S.) | <input type="checkbox"/> LADOT Dev Review - Citywide |

Hillside Projects/Haul Route Projects Only

Does case include a Haul Route?

Yes **No**

- BSS – Haul Route Investigation and Enforcement
- Animal Regulation (Hillside Only)

LADOT District Office

- Central (CD 1, 9, 14)
- Hollywood (CD 4, 10, 13)
- Western (CD 5, 11)
- East Valley (CD 3, 5, 6, 12)
- Southern (CD 8, 15)

RECOMMENDATION REPORTS DUE BY: 39 Days

Please send your reports to the following e-mail address: planning.central@lacity.org

Thank you.

Pursuant to Sections 17.50 through 17.60 of the Los Angeles Municipal Code, the attached SB 9 Urban Lot Split/Parcel map/Tract map is submitted for your consideration. The Advisory Agency will await your report and recommendation regarding the above matter for 39 days. If we have not received a written report from you after 40 days from the date of filing, we will assume that you have no report to make.

VINCENT P. BERTONI, AICP
Advisory Agency

VANESSA SOTO
Deputy Advisory Agency

**CENTRAL PROJECT
PLANNING**

planning.central@lacity.org

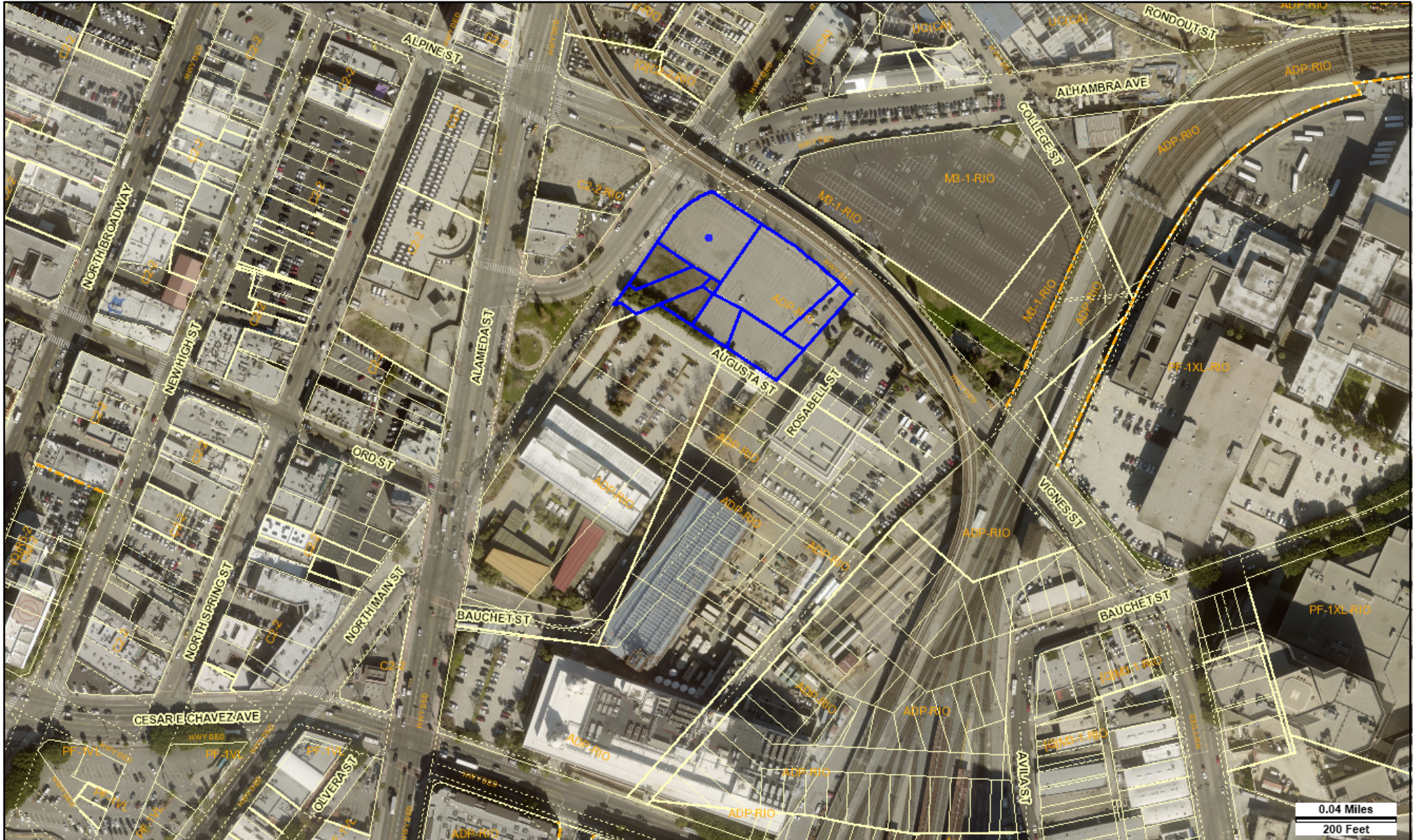
ATTACHMENT 3

ZIMAS INTRANET

LARIAC6 2020 Color-Ortho

05/21/2024

City of Los Angeles
Department of City Planning



Address: 908 N MAIN ST

Tract: CITY LANDS OF LOS ANGELES

Zoning: ADP-RIO

APN: 5409015026

Block: None

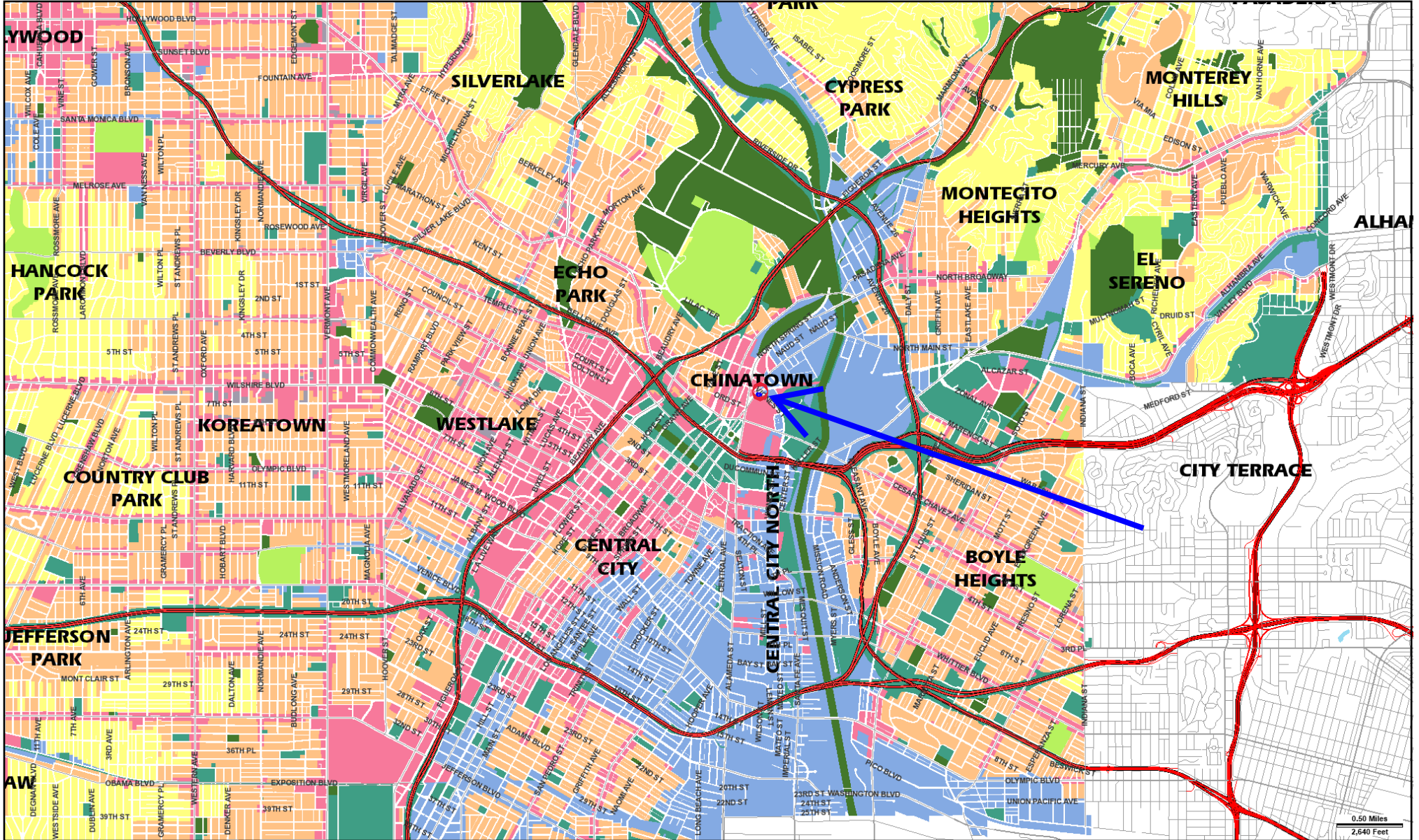
General Plan: Regional Center Commercial

PIN #: 133-5A215 82

Lot: PT "UNNUMBERED LT"

Arb: 353





Address: 908 N MAIN ST

Tract: CITY LANDS OF LOS ANGELES

Zoning: ADP-RIO

APN: 5409015026

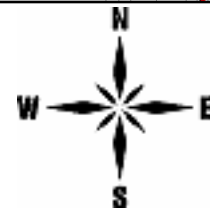
Block: None

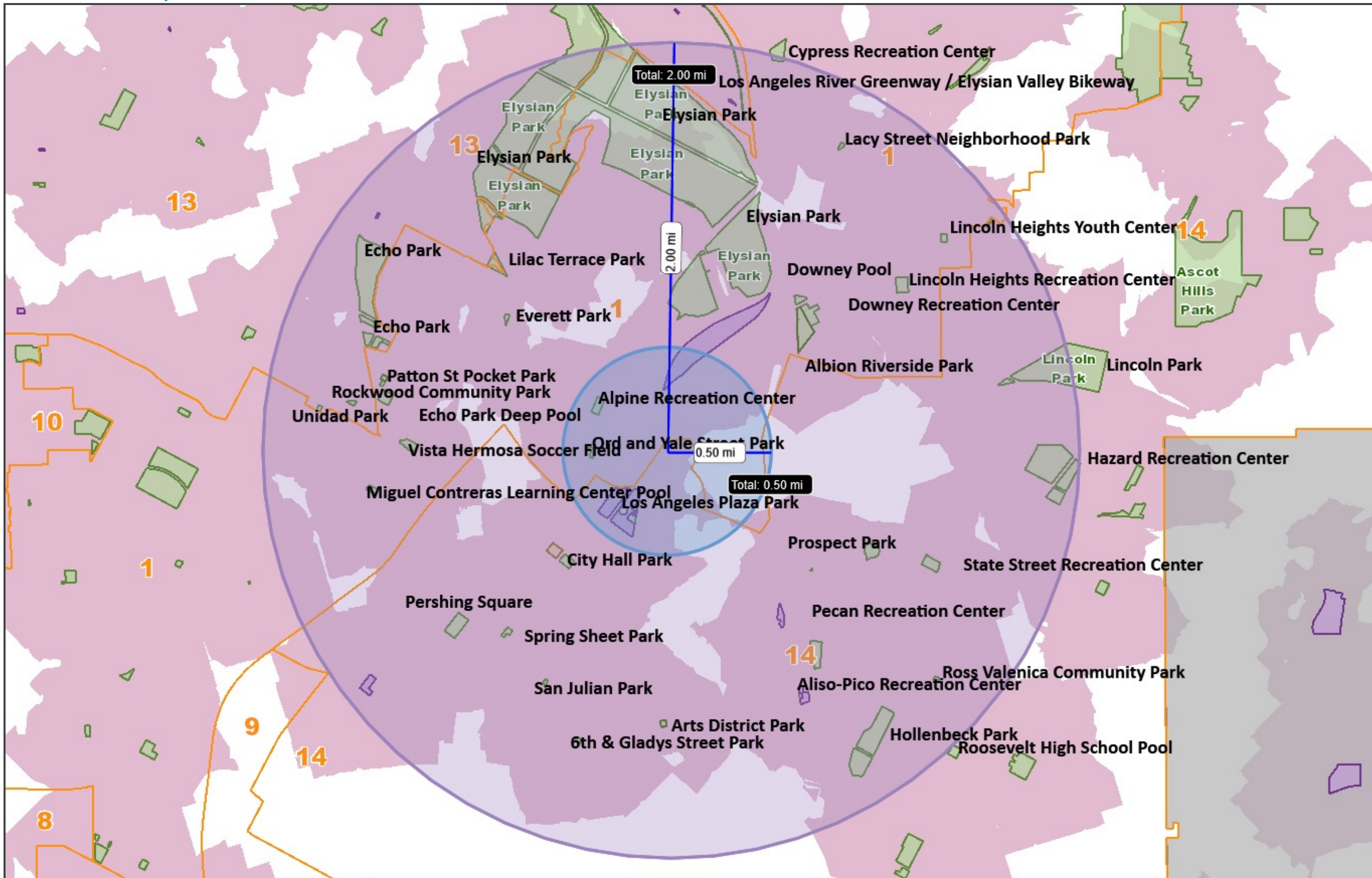
General Plan: Regional Center Commercial

PIN #: 133-5A215 82

Lot: PT "UNNUMBERED LT"

Arb: 353





LEGEND

- City Council Districts
- Existing Parks
- Non-RAP
- RAP
- Future Parks
- City Limits
- All Improved Service Areas

NOTES

Construction of a new seven-story mixed-use building consisting of approximately 124 units and ground floor community services as well as the construction of two new community services buildings.



SCALE 1: 36,112

Disclaimer: This map is for informational purposes only and relies on data from a variety of sources, which may or may not be accurate or current. The City of Los Angeles assumes no responsibility arising from the use of this map. The map and associated data are provided "as is" without warranty of any kind.

© City of Los Angeles, Department of Recreation and Parks
Printed: 12/04/2023



EQUITABLE PARKS & AMENITIES
DECISION SUPPORT SYSTEM

Park Analysis Report



Scenario Information

Scenario Name:

800 North Main Street and 1081 North Vignes Street

Description:

Construction of a new seven-story mixed-use building consisting of approximately 124 units and ground floor community services as well as the construction of two new community services buildings.

Scenario Type:

New Park

Park Class:

Improved

Baseline Dataset*:

All Parks (RAP and Non-RAP)

*The baseline dataset is the existing parks dataset whose service areas are used to calculate the currently non-served metrics given below in blue. These residents and households, which would be served by the proposed park, are not currently served by any existing park in the baseline dataset.

Population and Age Breakdown

Household and Income Breakdown

	Total Residents Served:	Currently Non-Served Residents Served:
Residents Served:	11,553	7,426

	Total Households Served:	Currently Non-Served Households Served:
Households Served:	1,603	0

Residents Served by Age

Households Served by Annual Income

Under Age 5:	168	0
Age 5 to 9:	235	0
Age 10 to 14:	240	0
Age 15 to 17:	147	1
Age 18 to 64:	9,798	7,340
Age 65 and Over:	965	85

Under \$25,000:	1,122	0
\$25,000 to \$34,999:	100	0
\$35,000 to \$49,999:	66	0
\$50,000 to \$74,999:	53	0
\$75,000 and Over:	262	0

Source: Census/ACS 2010